

corner of 95th Avenue and Camelback Road and is in the Yucca District. Staff Contact: Tom Dixon, Senior Planner.

- VI. OTHER BUSINESS
- VII. OTHER BUSINESS FROM THE FLOOR
- VIII. PLANNING STAFF REPORT
- IX. COMMISSION COMMENTS AND SUGGESTIONS
- X. NEXT MEETING: November 6, 2014
- XI. ADJOURNMENT

FOR SPECIAL ACCOMMODATIONS



Please contact Diana Figueroa at (623) 930-2808 or dfigueroa@glendaleaz.com at least three working days prior to the meeting if you require special accommodations due to a disability. Hearing impaired persons should call (623) 930-2197.

After 5:00 p.m. on Monday, prior to the meeting, staff reports for the above referenced cases will be available online at <http://www.glendaleaz.com/planning/boardsandcommissions.cfm>. If after reviewing the material you require further assistance, please call the staff contact listed for each application at (623) 930-2800.

In accordance with [Title 38](#) of the Arizona Revised Statute (A.R.S.), upon a public majority vote of a quorum of the Planning Commission, the Commission may hold an executive session, which will not be open to the public, regarding any item listed on the agenda but only for the following purpose:

- (i) discussion or consideration of records exempt by law from public inspection (A.R.S. § 38-431.03(A)(.2));
- (ii) discussion or consultation for legal advice with the city's attorneys (A.R.S. § 38-431.03(A)(3)); or
- (iii) discussion of consultation with the city's attorneys regarding the city's position regarding contracts that are the subject of negotiations, in pending or contemplated litigation, or in settlement discussions conducted in order to avoid or resolve litigation (A.R.S. § 38-431.03(A)(4)).

Confidentiality Requirements Pursuant to A.R.S. § 38-431.03(C)(D): Any person receiving executive session information pursuant to A.R.S. § 38-431.02 shall not disclose that information except to the Attorney General or County Attorney by agreement of the Planning Commission, or as otherwise ordered by a court of competent jurisdiction.

**MINUTES
CITY OF GLENDALE PLANNING COMMISSION**

**CITY COUNCIL CHAMBERS
5850 WEST GLENDALE AVENUE
GLENDALE, ARIZONA 85301**

**THURSDAY, JUNE 5, 2014
6:00 PM**

CALL TO ORDER

The meeting was called to order at approximately 6:00 p.m.

Commissioners Present: Commissioners Johnston, Lenox, Hirsch, Berryhill, and Vice Chairperson Aldama were in attendance.

Commissioner Absent: Commissioner Dobbelaere was absent and excused.

City Staff Present: Tabitha Perry, Assistant Planning Director, Remigio Cordero, Planner, Russ Romney, Deputy City Attorney, and Diana Figueroa, Recording Secretary.

APPROVAL OF MINUTES

Commissioner Lenox made a motion to approve the minutes of the April 3, 2014 Planning Commission Hearing. Commissioner Johnston seconded the motion, which passed unanimously.

WITHDRAWALS AND CONTINUANCES

Vice Chairperson Aldama called for any withdrawals and/or continuances. There were none.

PUBLIC HEARING ITEMS

Vice Chairperson Aldama called for staff's presentation.

CUP14-02:

A request by Bob Hatch representing Chick-fil-A to approve a conditional use permit for a restaurant with a drive-thru in the C-2 (General Commercial) zoning district. The proposal will demolish the existing Circle K gas station and convenience store and construct a new 4,825 square foot restaurant with drive-thru service. The site is a 52,098 square foot pad located at the northwest corner of 59th Avenue and Thunderbird Road (5908 West Thunderbird Road) and in the Sahuaro District.

Remigio Cordero, Planner, stated Conditional Use Permit (CUP) CUP14-02 was a request by Bob Hatch representing Chick-fil-A to approve a conditional use permit for a restaurant with a drive-thru in the C-2 General Commercial zoning district. He said the property is located at the northwest of 59th Avenue and Thunderbird Road and it is approximately 1.19 acres in size and is a 52,098 square foot pad. He explained the proposal will demolish the existing Circle K gas

station and convenience store and construct a new 4,825 square foot restaurant with drive-thru service. He stated the applicant will provide 30% landscape coverage and provide adequate onsite parking as well as accommodate a queuing of more than six vehicles. He indicated that traffic will flow in a counterclockwise direction around the building. He noted that ingress and egress to the site will be right in and right out only on Thunderbird Road and 59th Avenue. He added this will ensure a more efficient traffic flow to and from the site.

He said that on April 24, 2014, the applicant mailed notification letters to adjacent property owners and interested parties. He noted the applicant received one email response in support of the request. He noted Planning did not receive any response regarding the request.

Mr. Cordero stated that in regards to the findings, the existing C-2 zoning is compatible with the General Plan designation of GC. The zoning allows for a convenience use subject to CUP approval and the proposed use is compatible with adjacent uses in the vicinity. He noted that approval of the CUP request will not have an adverse effect on the adjacent properties or the surrounding community. In addition, all applicable city departments have reviewed the application and recommend approval.

In conclusion, Mr. Cordero stated this request appears to meet the required findings for Conditional Use Permit approval subject to the stipulations listed in the staff report.

Vice Chairperson Aldama called for questions from the Commission.

Commissioner Berryhill asked what will be done with the old fuel storage tanks on the ground when construction begins. Mr. Cordero explained the process stating the applicant will be removing the tanks from the site. He stated they were required by ordinance from the County as well as report to the Environmental Protection Agency.

Vice Chairperson Aldama called for the applicant to make a presentation.

Bob Hatch representing Chick-fil-A, stated that it had been a pleasure working with staff on developing this site. He said they have incorporated all of the recommendations into the site plan. He explained the traffic flow improvements summarized in the staff report. He said they agree with staff's recommendations and stipulations and was excited to move forward with this project.

Vice Chairperson Aldama opened the public hearing. He stated he had one speaker card.

Davita Solter, speaker, stated that she had no issues with Chick-fil-A, however, noted the area is being saturated with fast food places. She explained that traffic was a problem and people have trouble getting into the Safeway parking because of all the traffic congestion from the many restaurants. She hopes the Commission recommends further planning with the traffic and safety division. She added she did not receive a city notification for this application.

Commissioner Johnston stated the Planning Commission did meet the 500' radius requirement for notification and the speaker lives beyond that radius. He asked the speaker if she thought a

Chick-fil-A would bring more traffic than a Circle K. The speaker responded yes, especially on a fund raiser night.

Vice Chairperson Aldama called for the applicant to make any closing remarks.

Mr. Hatch stated they take concerns from neighbors very seriously as well as the traffic issues. He explained that was why they had agreed with staff's stipulation to widen the roads as well as the change to better the flow of traffic. He also talked about the many upgrades for that location at Vice Chairperson Aldama's request.

Vice Chairperson Aldama asked if they anticipate many fundraisers at this location. Mr. Hatch stated he could not speak to that since he was on the construction side and not on the operation side.

Vice Chairperson Aldama closed the public hearing.

Vice Chairperson Aldama called for a motion on CUP14-02.

Commissioner Johnston made a motion to recommend approval of CUP14-02, subject to stipulations in the staff report. Commissioner Lenox seconded the motion, which passed unanimously.

Russ Romney, Deputy City Attorney, said this decision is final approval by the Planning Commission subject to a written appeal if filed within 15 days.

CUP14-03: A request by Jesus Ortega representing The Church of Jesus Christ Latter-Day Saints to approve a conditional use permit for a thrift store (Retail Service Center) in the C-2 (General Commercial) zoning district. The property is located west of the southwest corner of 67th Avenue and Bell Road (6825 West Bell Road) and in the Sahuaro District.

Remigio Cordero, Planner, stated Conditional Use Permit (CUP) CUP14-03 is a request by Jesus Ortega representing The Church of Jesus Christ Latter-Day Saints to approve a conditional use permit for a thrift store in the C-2 General Commercial zoning district. He said the property is located west of the southwest corner of 67th Avenue and Bell Road and is 10.80 acres in size. He said the property owner is proposing to construct two buildings on a 10 acre pad site. He explained the proposed thrift store will be within a new 50,043 square foot building. He added vehicular access will be provided off of existing internal drives that are fed from Bell Road and 67th Avenue. He said an existing driveway provides secondary access to 69th Avenue.

He stated the retail entrance will be on the north side of the building and the drop off location for donated items is located on the rear portion and will be screened from public view. He noted regular store hours will be from 10 a.m. to 6 p.m. on Mondays, and 10 a.m. to 9 p.m. Tuesday through Saturday. He said the store will be closed on Sundays.

He stated that on February 18, 2014, the applicant mailed notification letters to adjacent property owners and interested parties notifying them of a neighborhood meeting to discuss their CUP proposal. On March 5, 2014 a neighborhood meeting was held at the City of Glendale Council Chambers Building. He said there was one resident in attendance, along with city staff, and members of the project team. He explained issues brought up during the meeting were if the building was going to be two stories and, if so, would there be windows looking into the backyards of the homes. He indicated the applicant addressed these concerns and informed the residents that the two buildings being constructed will not exceed one story and the buildings will not have windows looking into neighboring properties.

He stated that in regards to the findings, the proposed thrift store is consistent with the policies of the General Plan and the purpose of the C-2 zoning district. He said thrift stores are permitted in this zoning district subject to CUP approval. He noted that all applicable city departments have reviewed the application and recommend approval of the application.

In conclusion, Mr. Cordero stated this request appears to meet the required findings for CUP14-03 and should be approved subject to the stipulations listed in the staff report. He asked for questions from the Commission.

Vice Chairperson Aldama called for questions from the Commission.

Commissioner Hirsch inquired as to the screening for donations as well as the storage of the donated materials. Mr. Cordero explained the graphic provided by the applicant. It showed that on the southwestern portion of the site is where the donation site is located under a canopy. He said from there the designated industries will collect the items immediately and place them inside.

Vice Chairperson Aldama called for the applicant to make a presentation.

Richard Clutter, applicant's representative, stated they were grateful to bring this project to the city. He assured the Commission that the drop off area was properly screened and have made a lot of effort to position the building so the drop off area was in the rear of the property and blocked from view.

Vice Chairperson Aldama inquired if there were any issues with loitering. Mr. Clutter replied that there was no loitering in the rear of the property since it is screened and fenced. He added that during business hours there were employees manning the donation area.

Vice Chairperson Aldama opened the public hearing. There were no speakers.

Vice Chairperson Aldama called for questions or comments from staff or Commissioners. There were none.

Vice Chairperson Aldama closed the public hearing.

Vice Chairperson Aldama called for a motion on CUP14-03.

Commissioner Lenox recommended approval of CUP14-03, subject to stipulations in the staff report. Commissioner Hirsch seconded the motion, which passed unanimously.

Vice Chairperson Aldama asked for any closing comments.

Commissioner Johnston stated he would like to disclose that he was a member of this church in a leadership role. He added the leadership role was not a paid role; therefore, he was not an employee of the church. Mr. Romney stated he saw no conflict of interest since there was no financial gain of any kind with his involvement in this church.

Russ Romney, Deputy City Attorney, said this decision is final approval by the Planning Commission subject to a written appeal if filed within 15 days.

CUP14-04: A request by Mays & Company Real Estate Development, on behalf of Arizona General Hospital ER, to approve a conditional use permit to allow a 7,123 square foot emergency medical care facility with twenty-four (24) hour operation in the C-2 (General Commercial) zoning district. The property is located west of the southwest corner of 51st Avenue and Olive Avenue (5171 West Olive Avenue) and in the Barrel District.

Remigio Cordero, Planner, stated this was a request by Mays & Company Real Estate Development, on behalf of Arizona General Hospital ER, to approve a conditional use permit to allow a 7,123 square foot emergency medical care facility with twenty-four hour operation in the C-General Commercial zoning district. The property is located west of the southwest corner of 51st and Olive Avenues and is 1.89 acres in size.

He stated that Arizona General ER will construct a 7,456 square foot freestanding building that will provide off street parking and new landscaping throughout the parcel. Additionally, the architecture will match the Olive Marketplace theme and provide outpatient services only. He indicated that Arizona General ER will provide conscious sedation and not administer general anesthesia. He informed them they will also provide ambulatory services to patients that require care by a full service hospital. He said it is stated within the narrative that Arizona General ER only transports five to seven patients a month to a full service hospital. He stated that the urgent care will have adequate vehicular access throughout the site with a drive aisle that wraps around the building. He added that there will be an additional private driveway that will connect to the shopping center.

Mr. Cordero stated that on March 20, 2014, the applicant mailed notification letters to adjacent property owners and interested parties notifying them of a neighborhood meeting. On April 23, 2014, a neighborhood meeting was held at the City of Glendale Council Chambers Building. He explained that only the applicant's project team and City Staff attended, and none of the residents notified attended the meeting.

He stated that in regards to the findings the existing C-2 zoning district is compatible with the General Plan designation of Planned Commercial. Additionally, a medical clinic that operates 24 hours is a permitted land use subject to CUP approval. He noted the site is adequate in size and shape to accommodate the intended use and the building setbacks and landscaping meet the zoning ordinance standards. He indicated that all applicable city departments have reviewed the application and recommend approval of the application.

In conclusion, Mr. Cordero stated this request appears to meet the required findings for CUP14-04 and should be approved subject to the stipulations listed in the staff report. He asked for questions from the Commission.

Vice Chairperson Aldama called for questions from the Commission.

Commissioner Hirsch inquired as to the five to seven transports a month to a full service hospital. He asked what would precipitate a transport and would it be an emergency situation that might require sirens and lights. Mr. Cordero referred the question to the applicant.

Vice Chairperson Aldama called for the applicant to make a presentation.

Michelle Smith, applicant's representative and Chuck Bennett, project architect came forward to answer questions. She stated that in regards to Commissioner Hirsch's question, the five to seven trips came from historical data. She explained that of those transports, 10% or one would be an emergency. She added that they can require in the ambulance service contract that the sirens not come on until they reach Litchfield or a highway out of the neighborhoods. She provided details on the project and the great working relationship they had with city staff.

Vice Chairperson Aldama opened the public hearing.

Don Abid, speaker, stated that in regards to the building, he would like to see a six foot wall placed on the west and south side of the building. He said this would prevent trash from blowing into the neighborhood. He also questioned the term ER since he found no application with them and wonders if they are actually an ER center.

Ms. Smith stated that in regards to the six foot wall that was suggested, she believes the neighborhood was still expanding and growing. She further indicated that this was an operating licensed emergency room. She asked Mr. Bennett to explain further. Mr. Bennett explained that they were actually required to build the hospital first and this site will be a department of the hospital operating under an umbrella license. He noted the hospital was currently under construction near 51st Avenue and Baseline Road.

Commissioner Johnston remarked that it seemed like a very long way to transport a serious emergency. Mr. Bennett explained that this facility was for people who don't want to travel to a hospital and wait for hours. Therefore, the idea is that at this location, you are seen in five minutes for 90% of the patients. He stated there was a transfer agreement that does not require you to go to that particular hospital and can be taken where you want to go. Commissioner

Johnston asked if there was a requirement that they have to go to their hospital. Mr. Bennett responded no. Ms. Smith added that in fact, they will be taken to the closest hospital.

Commissioner Hirsch asked for clarification if they had approval and a license in place that includes as many as 10 ER facilities. Mr. Bennett responded yes.

Commissioner Johnston inquired as to the distinction between this ER hospital and Urgent Care. Mr. Bennett explained that ER hospitals have to be licensed to call themselves ER hospitals. He added that another big distinction was that Urgent Care typically closes at 6:00 p.m. or 8:00 p.m. and they are required to be a 24 hour seven days a week operation mandated by state law.

There were no further comments.

Vice Chairperson Aldama called for a motion on CUP14-04.

Commissioner Johnston recommended approval of CUP14-04, subject to stipulations in the staff report. Commissioner Berryhill seconded the motion, which passed unanimously.

Vice Chairperson Aldama asked for any additional comments.

Commissioner Johnston thanked Ms. Smith and Mr. Bennett for their informative presentation. He appreciated their time in answering the Commissioner's questions since this was a new venture coming to Glendale.

Vice Chairperson Aldama also expressed his gratitude.

Russ Romney, Deputy City Attorney, said this decision is final approval by the Planning Commission subject to a written appeal if filed within 15 days.

OTHER BUSINESS

Vice Chairperson Aldama called for Other Business.

Tabitha Perry, Assistant Planning Director, indicated included in their packet was a letter dated April 24, 2014 from the Governing Services Committee. She said the letter serves as an appreciation and reminder of their commitment to serve as a Board and Commission member. She noted that without their dedication and commitment to staff, staff would not be able to proceed with conducting city business. She said their attendance was vital to staff being able to process applications and proceed with obligations to hold public hearing meetings that have been previously legally posted. Therefore, if aware in advance that they will be unable to attend a scheduled meeting, please advise staff so they can prepare accordingly.

PLANNING STAFF REPORT

Vice Chairperson Aldama asked if there was a Planning Staff Report. There was none.

COMMISSION COMMENTS AND SUGGESTIONS

Vice Chairperson Aldama called for Comments and Suggestions.

Commissioner Johnston thanked Mr. Penilla for his service on the Commission. He noted that although he did not know all the circumstances involving his departure, he respects him and appreciates his service to this community since he was here a number of years. Therefore, he would like to thank him publicly for all the great work he has done in serving the City.

Commissioner Hirsch referenced the last case on the agenda and suggested staff makes a note regarding the wall for the blowing trash comment from the resident. He stated the resident's concerns were not unfounded.

Vice Chairperson Aldama also thanked Mr. Penilla for his service to this Commission and the City.

MOTION TO VACATE THE JULY 3, 2014 PUBLIC HEARING

Commissioner Johnston made a motion to vacate the July 3, 2014, Public Hearing. Commissioner Berryhill seconded the motion. The motion passed unanimously.

ADJOURNMENT

With no further business, Commissioner Berryhill made a motion to adjourn the meeting. Commissioner Johnston seconded the motion, which was approved unanimously. The meeting adjourned at 7:01 p.m.

NEXT MEETING: June 19, 2014 Special Workshop at 6:00 p.m.

**MINUTES
CITY OF GLENDALE PLANNING COMMISSION**

**CITY COUNCIL CHAMBERS
5850 WEST GLENDALE AVENUE
GLENDALE, ARIZONA 85301**

**THURSDAY, JULY 17, 2014
6:00 PM**

CALL TO ORDER

The meeting was called to order at approximately 6:00 p.m.

Commissioners Present: Commissioners Dobbelaere, Lenox, Hirsch, Berryhill, and Vice Chairperson Aldama were in attendance.

Commissioner Absent: Commissioner Johnston was absent and excused.

City Staff Present: Tabitha Perry, Assistant Planning Director, Thomas Ritz, Senior Planner, AICP, Deborah Robberson, Deputy City Attorney, and Diana Figueroa, Recording Secretary.

APPROVAL OF MINUTES

Vice Chairperson Aldama called for a vote of the May 1, 2014 Planning Commission Public Hearing minutes.

Commissioner Dobbelaere made a motion to approve the minutes of the May 1, 2014 Planning Commission Hearing. Commissioner Lenox seconded the motion, which passed unanimously.

WITHDRAWALS AND CONTINUANCES

Vice Chairperson Aldama called for any withdrawals and/or continuances. There were none.

PUBLIC HEARING ITEMS

Vice Chairperson Aldama called for staff's presentation clarifying that the following two items would be presented concurrently but the Planning Commission will make separate motions on the items.

1. **GPA14-02:** A request by Keith Kesti, Atwell LLC, representing Phoenix SNF Real Estate Group, LLC, to amend the General Plan land use designation from BP (Business Park) to INST (Institutional) and to amend the North Valley Specific Area Plan land use designation from BP (Business Park) to INST (Institutional) on an approximately 3.88 acre property located at 7201 West Camino San Xavier and is located in the Sahuaro District. Staff Contact: Thomas Ritz, AICP, Senior Planner.

2. **ZON14-03:** A request by Keith Kesti, Atwell LLC, representing Phoenix SNF Real Estate Group LLC, to rezone approximately 3.88 acres from Planned Area Development (PAD) to Planned Area Development (PAD) amended to permit a Skilled Nursing Facility as a permitted use. The property is located at 7201 West Camino San Xavier and is located in the Sahuaro District. Staff Contact: Thomas Ritz, AICP, Senior Planner.

Mr. Thomas Ritz, AICP, Senior Planner, stated General Plan Amendment GPA14-02 and Rezoning Application ZON14-03, are requests by Mr. Keith Kesti, Atwell LLC/BVP Arrowhead LLC, to amend the General Plan from Business Park (BP) to Institutional (INST) and amend the North Valley Specific Area Plan (NVSAP) from Business Park (BP) to Institutional (INST) and to rezone from Planned Area Development (PAD) to Planned Area Development (PAD) Amended. This request will permit the construction of a skilled nursing facility on approximately 3.88 acres.

He said the property is located northeast of the northeast corner of Bell Road and 73rd Avenue at 7201 West Camino San Xavier and is 3.88 acres in size. The North Valley Specific Area Plan was adopted on December 12, 1989 by the Glendale City Council and it acts as the General Plan for this area.

Mr. Ritz said there have been no recent land use actions on the property.

He described the project as a new 78,000 square foot skilled nursing facility. The proposed building will be three stories tall and will include 96 private patient room suites, a physical rehabilitation gym, a full service kitchen and dining facilities, activity areas, administrative offices and related services.

The Planned Area Development as amended will add Skilled Nursing Facility to the list of permitted uses in the PAD, will amend the maximum height permitted to 60 feet from the current 56 feet, will permit a 0.47 Floor Area Ratio (FAR) from the current .3, and will establish the standard of 1.20 parking spaces per bed, resulting in a minimum of 130 parking spaces required for this use, as the current Planned Area Development does not establish required parking criteria for this type of use.

He said all landscaping will meet the required amounts and other requirements of the city's landscape ordinance, including providing over 20 percent landscape area. All signs will meet current sign ordinance criteria.

In conclusion, Mr. Ritz stated this request appears to meet the required findings and the Planning Commission should recommend approval of GPA14-02 as filed and ZON14-03, subject to the conditions listed in the staff report. This request will permit the construction of a skilled nursing facility on approximately 3.88 acres.

Vice Chairperson Aldama called for the applicant's presentation.

Mr. Curtis Hendershott, H&L Architecture, introduced himself, and stated Mr. Ritz summarized the project very well. To explain further, there were questions received from the adjacent retail

businesses. Mr. Hendershott said one of the concerns was the proposed wall height and the possibility of the wall blocking the retail frontage. The project and the location of the facility were explained, and he added the facility will be located behind the retail space therefore no access will be blocked. Another business asked if access through their drive would be allowed. Both inquiries were addressed. He had no further comments.

Vice Chairperson Aldama called for questions from the Commission. There were none.

Vice Chairperson Aldama opened the public hearing. No one wished to speak.

Vice Chairperson Aldama closed the public hearing.

Vice Chairperson Aldama made a motion to recommend approval of GPA14-02.

Commissioner Lenox made a motion to recommend approval of GPA14-02. Commissioner Hirsch seconded the motion, which passed unanimously.

Deborah Robberson said this decision is a recommendation which will be forwarded to the City Council for final approval.

Commissioner Dobbelaere made a motion to recommend approval of ZON14-03. Commissioner Lenox seconded the motion, which passed unanimously.

Deborah Robberson, said this decision is a recommendation which will be forwarded to the City Council for final approval.

OTHER BUSINESS

Vice Chairperson Aldama called for Other Business. There was none.

PLANNING STAFF REPORT

Vice Chairperson Aldama asked if there was a Planning Staff Report. Ms. Perry introduced Tom Dixon, Senior Planner, a new hire of the Planning Division.

COMMISSION COMMENTS AND SUGGESTIONS

Vice Chairperson Aldama called for Comments and Suggestions. There were none.

MOTION TO VACATE THE AUGUST 7, 2014 PUBLIC HEARING

Commissioner Hirsch made a motion to vacate the August 7, 2014, Public Hearing. Commissioner Berryhill seconded the motion. The motion passed unanimously.

ADJOURNMENT

With no further business, Commissioner Lenox made a motion to adjourn. Commissioner Dobbelaere seconded the motion, which was approved unanimously. The meeting adjourned at 6:19 p.m.

NEXT MEETING: September 4, 2014 Public Hearing at 6:00 p.m.



Planning Staff Report

DATE: October 2, 2014 **AGENDA ITEM:** /

TO: Planning Commission

FROM: Tabitha Perry, Assistant Planning Director

PRESENTED BY: Remigio Cordero, Planner

SUBJECT: **REZONING (ZON) APPLICATION ZON13-10: SABRE BUSINESS PARK LOCATED AT 16602 WEST BETHANY HOME ROAD**

REQUEST: Rezone from A-1 (Agricultural) to M-1 (Light Industrial).

APPLICANT/OWNER: Beus Gilbert, PLLC / Peter Peter Cottontail and Four Leaf Operations LLC

REQUIRED ACTION: The Planning Commission must conduct a public hearing and determine if this request is in the best long-term interest of this neighborhood and consistent with the General Plan.

RECOMMENDATION: The Planning Commission should recommend approval subject to stipulations.

PROPOSED MOTION: Move to recommend approval of ZON13-10 subject to the stipulations contained in the staff report.

SUMMARY: Sabre Business Park consists of five parcels that are approximately 147 acres. The applicant is requesting to rezone the property from A-1 (Agricultural) zoning district to M-1 (Light Industrial) zoning district. Rezoning to M-1 will allow these properties to conform to the General Plan designation which is LCLU (Luke Compatible Land Use).

COMMISSION ACTION: Motion made by Commissioner _____ to recommend _____ subject to staff report stipulations. Motion seconded by Commissioner _____. The motion was approved ___ to ___.

DETAILS OF REQUEST:

General Plan Designation:

The property is designated as LCLU (Luke Compatible Land Use).

Property Location and Size:

The properties are located at the northeast and southeast corners of the Loop 303 freeway and Bethany Home Road.

History:

These five parcels are under Maricopa County jurisdiction. On September 9, 2014, City Council held a public hearing on the blank petition for AN-173 to begin the process of annexing these properties into the Glendale city limits. Maricopa County approved the Military Airport and Ancillary Military Facility Overlay for these properties. The Military Compatibility Permit (MCP) allows uses that are close to what is allowed in the M-1 zoning district.

Project Details:

Sabre Business Park consists of five parcels that total 147 acres in size. The properties were zoned RU-43 with an MCP Overlay and when the annexation will be finalized they will be zoned A-1. The applicant is proposing to rezone these properties from A-1 to M-1 to bring them into conformance with the current General Plan Land Use designation.

CERTIFICATE OF ADEQUATE SCHOOL FACILITIES:

The proposed rezoning does not consist of any residential land uses. A Certificate of Adequate School Facilities was not required.

CITIZEN PARTICIPATION TO DATE:

Applicant's Citizen Participation Process:

On October 18, 2013, the applicant mailed notification letters to adjacent property owners and interested parties. The applicant received two email responses in support of the applicant's request. Planning did not receive any response regarding the request. The applicant's Citizen Participation Final Report is attached.

Planning Commission Public Hearing:

A Notice of Public Hearing was published in *The Glendale Star* on September 11, 2014. Notification postcards of the public hearing were mailed to adjacent property owners and interested parties on September 12, 2014. The property was posted by the applicant on September 12, 2014.

STAFF FINDINGS AND ANALYSIS:

Findings:

- The amendment is consistent with the policies and objectives of the Glendale General Plan;

- The proposed amendment furthers the public health, safety and general welfare of the citizens of Glendale; and
- If the amendment is to the official Zoning Map, the proposed change will include any conditions necessary to mitigate any adverse impacts on the businesses, persons, or properties adjacent to the requested amendment.
- A finding is made that Section 3.812 (Adequate School Facilities) of the Zoning Ordinance is not applicable.

Analysis:

- Rezoning to M-1 is consistent with the General Plan.
- The M-1 zoning district is the most appropriate zoning district for these properties. Sabre Business Park is located within the Luke Air Force Base noise contour 65LDN. Industrial land uses for these properties are appropriate for this region considering the impact from daily activities conducted on the base and the close proximity to the base runway.
- All applicable city departments have reviewed the application and recommend approval of the application.

RECOMMENDATION:

The Planning Commission should recommend approval of this request, subject to the following stipulations:

1. Dedication of additional right-of-way on Bethany Home Road to provide a total half-width of 65 feet shall be made before building permits are issued for any development on the property.
2. All half-street improvements on Bethany Home Road adjacent to the site shall be completed with development of the property. Required improvement standards are determined by the City of Glendale Design Guidelines for Site Development and Infrastructure Construction.

ATTACHMENTS:

1. Applicant's Narrative, date stamped March 19, 2014.
2. Citizen Participation Final Report (without mailing labels), approved March 19, 2014.
3. Vicinity Zoning Map.
4. Aerial Photograph, dated November 2013.

PROJECT MANAGER:

Remigio Cordero, Planner (623) 930-2597
rcordero@glendaleaz.com

REVIEWED BY:



Planning Director

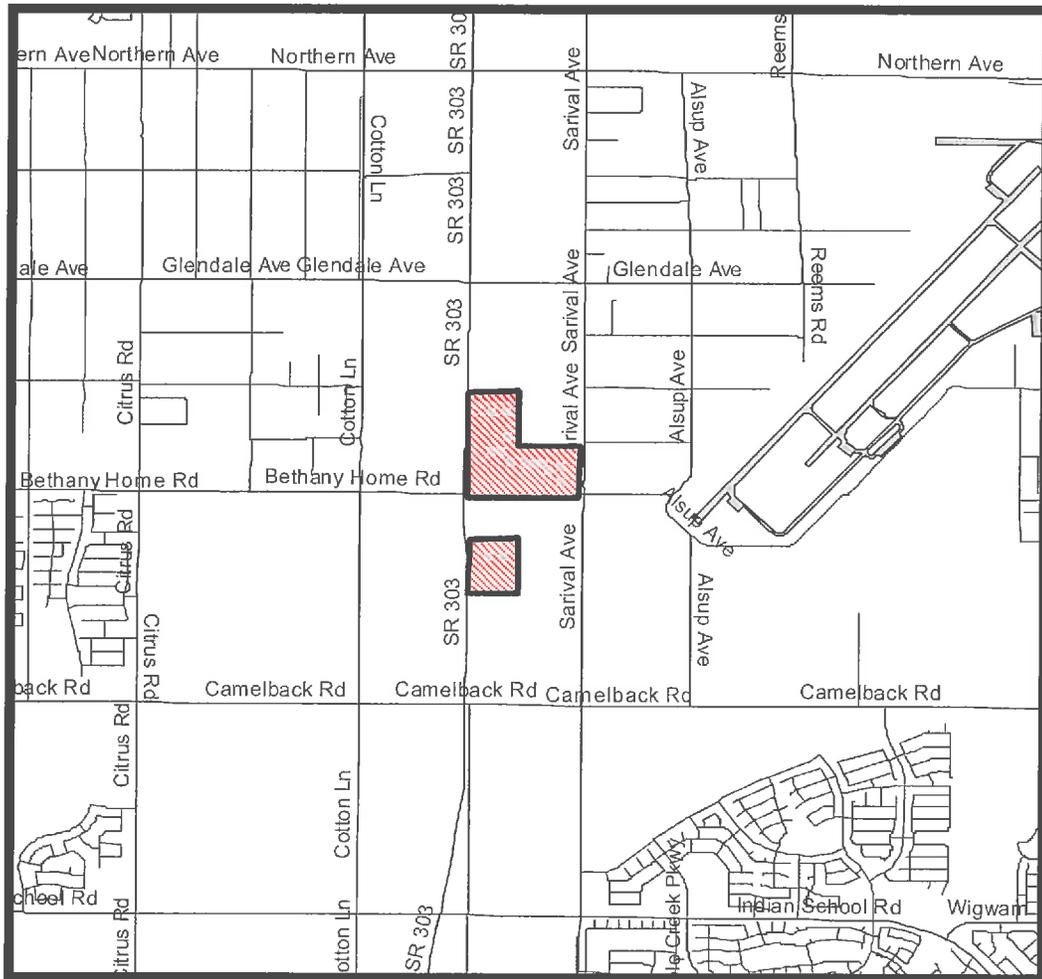


Development Services Director

RC/df

Sabre Business Park
Peter Peter Cottontail and Four Leaf Parcels
NEC & SEC SR303 and Bethany Home Road
16602 West Bethany Home Road

Rezoning Application ZON13-10



Prepared by:
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Las Vegas, NV 89135

January 31, 2014

APPROVED

MAR 19 2014

**City of Glendale
Planning Department**

Kevin Cosimo

Sabre Business Park- Peter Peter Cottontail and Four Leaf Parcels

Introduction

Request

On behalf of Land Baron Investments, Beus Gilbert PLLC is proposing an application for annexation and rezoning approximately 147 acres located generally at the NEC & SEC of SR303 and Bethany Home Road within the project known as Sabre Business Park. More specifically, the request concerns Assessor Parcel Numbers 501-02-007J, 501-03-008A, 501-03-008B, 501-03-007A, and 501-03-011A.

The property owners have entered into a Pre-Annexation Development Agreement (“PADA”) with the City of Glendale that requires annexation into the City before any further entitlement and development of the property. Pursuant to the PADA the City agreed to recognize Maricopa County Military Compatibility Permits and Plans of Development, and to provide the closest comparable City zoning and entitlements available when applying such to the property following annexation. The annexation of the property has been filed concurrently with this rezoning request. In order to have the property ready to be developed when sewer service is completed, now is the time to annex the property into Glendale and rezone the property to a City zoning district commensurate with the existing Maricopa County entitlements.

Current Conditions

Land Use

The City of Glendale General Plan Land Use designation for this site is Luke Compatible Land Uses (LCLU). The Luke Compatible Land Uses category is described in the General Plan as follows:

The Luke Compatible Land Use Area category designation is adjacent to Luke Air Force Base and is delineated by the 1988 JLUS 65 ldn noise contour created by military flight operations. The General Plan recognizes and supports the state legislation related to the continued, viable operations of military installations. Residential and other noise sensitive land uses, particularly those which include large gatherings of people, are discouraged in the LCLU. Existing, approved noise-sensitive uses are strongly encouraged to employ additional sound attenuation through select building materials and design. Retention of agricultural uses and future industrial development are supported by this category to afford viable, economic use of property, and as a protection of public health and safety.

Zoning and Entitled Uses

Currently, the property is located within unincorporated Maricopa County and zoned RU-43 with the Military Airport and Ancillary Military Facility Overlay Zoning District. The overlay district replaces the zone change process with a procedure known as the Military Compatibility Permit (MCP). Unlike a traditional zoning district where the allowed uses are described in the zoning ordinance, under the MCP the specific allowed uses are described in the MCP narrative.

Sabre Business Park- Peter Peter Cottontail and Four Leaf Parcels

On September 1, 2010 the County Board of Supervisors approved an MCP for the Sabre Business Park that allows for industrial/employment uses generally consistent with Maricopa County's IND-2 (Light Industrial Zoning) District such as manufacturing, office, laboratories along with billboards and wireless communication devices. Those uses deemed incompatible with the continued operations of Luke Air Force Base were not included.

During the County's MCP process, Luke AFB submitted a letter of no objection indicating that the above uses are compatible and consistent with their continued operations.

On June 22, 2011 the Board of Supervisors approved a Plan of Development allowing for four billboards to be constructed within the Sabre Business Park, three of which are located on the subject property.

Utility Infrastructure

Water

The Sabre Business Park properties are located within the Adaman Mutual Water Company service area, which encompasses the area bound by Northern Avenue, Reems Road, Camelback Road and the Loop 303. The owners of the subject parcels are a part of the Loop 303 Group, a consortium of area stakeholders comprising over 8 square miles that has worked out a regional water and sewer solution with Global Water, Epcor Water, Adaman and the City of Glendale. A number of agreements have been entered into that address both water provision and sewer provision. Global Water Resources has agreed to design the water infrastructure necessary to serve the property. Adaman will handle the construction through a standard line extension agreement with the property owner.

Sewer

The Sabre Business Park properties are located within Global Water's proposed sewer service CC&N area, which Global (with Glendale's approval) is currently establishing. The owners of the subject parcels are a part of the Loop 303 Group, a consortium of area stakeholders comprising over 8 square miles that has worked out a regional sewer solution with Global Water and the City of Glendale. A number of agreements have been entered into that address both water provision and sewer provision. Global Water Resources has agreed to design and construct the sewer infrastructure necessary to serve the property.

Description of Proposal

The purpose of this request is to amend the City of Glendale Zoning Map for the subject property to M-1 (Light Industrial) with the additional allowance that the owners of the subject parcels shall retain the ability to construct billboards in accordance with the Plan of Development previously approved by Maricopa County. Based on discussions with Planning Staff, the allowed uses in the M-1 zoning district are most analogous to those commercial and industrial uses allowed within the Military Compatibility Permit approved by Maricopa County. Annexation and a rezoning to M-1 will bring the property into conformance with the

Sabre Business Park- Peter Peter Cottontail and Four Leaf Parcels

City of Glendale General Plan Designation on the property, which is LCLU (Luke Compatible Land Use Area.)

Zoning and Development Standards

Development within this portion of the Sabre Business Park shall be governed by the City of Glendale M-1 Zoning District standards contained within the City of Glendale Zoning Ordinance along with other applicable provisions of that Ordinance. Uses will be those permitted in 5.840 of the Zoning Ordinance in addition to three billboards along SR 303, as depicted and located in the approved County Plan of Development.

Design Review approval for all future site plans and buildings will be required pursuant to City of Glendale requirements.

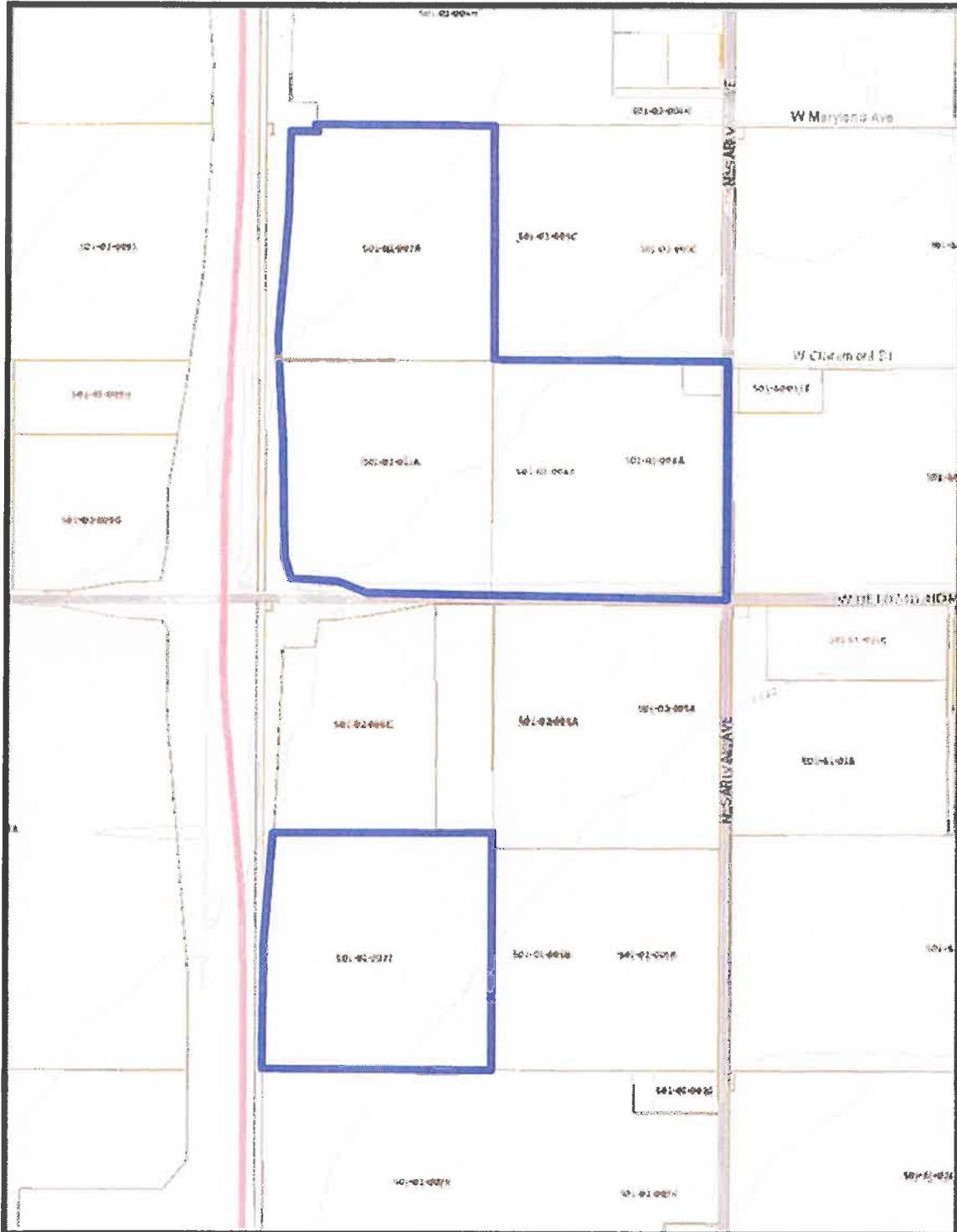
Infrastructure and Improvements

As noted previously, a number of agreements have been entered into that address both water and sewer infrastructure. Water provision and any necessary improvements to provide that water will be coordinated with Adaman Water. Sewer provision and any necessary improvements to provide that sewer service will be coordinated with Global Water. The required infrastructure will be put in place as necessary.

Roadway infrastructure improvements will be determined during the Design Review process when site plans are submitted. The subject property directly borders or has access to Bethany Home Road and Sarival Avenue, both of which are County roadways expected to become arterials within the City of Glendale. It is expected that half-street improvements to these roadways, following City of Glendale standards, will occur with development of the property. These arterial roadways, along with the Loop 303 freeway will carry any expected off-site traffic generated by the future uses. Depending on the final development configuration, there may be new internal roadways improved and dedicated to the City of Glendale, as well as new private roadways.

Sabre Business Park- Peter Peter Cottontail and Four Leaf Parcels

**Exhibit A
Vicinity Map**



Parcel Map

Sabre Business Park- Peter Peter Cottontail and Four Leaf Parcels

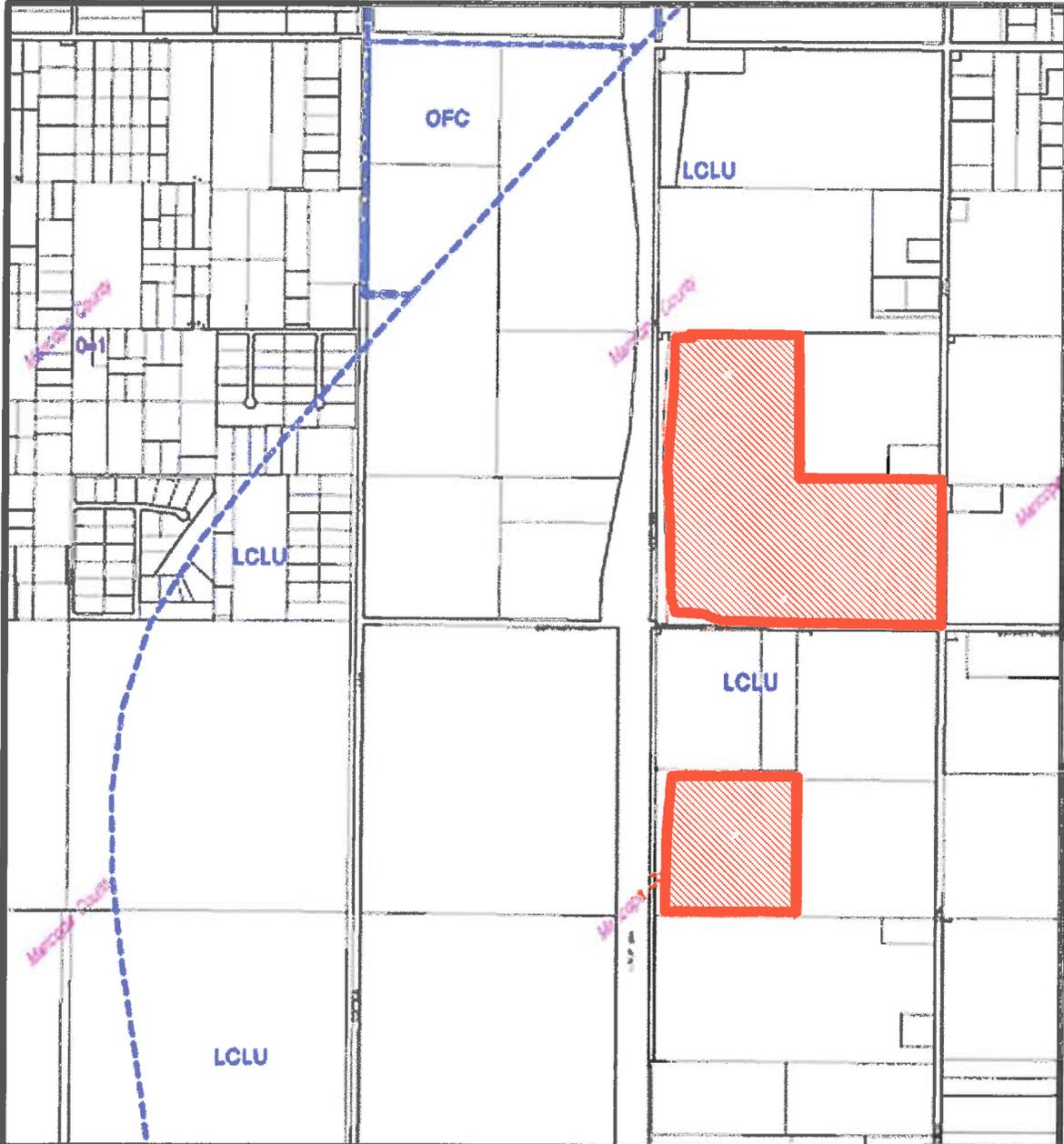
**Exhibit B
Aerial Photo**



Aerial Photo

Sabre Business Park- Peter Peter Cottontail and Four Leaf Parcels

**Exhibit C
Glendale General Plan**



Sabre Business Park- Peter Peter Cottontail and Four Leaf Parcels

**Exhibit D
Legal Description**

"Four Leaf" Parcels

That portion of the following described property, in the Southeast quarter of Section 12, Township 2 North, Range 2 west of the Gila and Salt River Base and Meridian, Maricopa County, Arizona, described as follows:

Commencing from a Maricopa County aluminum cap in pot hole marking the South quarter corner of said Section 12, being North 89°30'02" West, 2632.87 feet from a 2003 Maricopa County aluminum cap in hand hold stamped "LS 29891" marking the Northeast corner of said section 12;

Thence along the south line of said Section 12, South 89°30'02" East, 612.59 feet; to the true POINT OF BEGINNING

Thence North 00°29'58" East, 33.0 feet;

Thence along the new right-of-way line of State Route 303L, North 69°14'13" West, 170.35 feet;

Thence North 86°13'54" West, 271.84 feet;

Thence North 12°13'46" West, 150.07 feet;

Thence North 00°07'04" East, 146.11;

Thence North 02°01'00" West, 1009.92 feet;

Thence North 04°00'16" East, 866.01 feet;

Thence North 00°58'16" East, 350.37 feet;

Thence North 89°01'44" West, 150.00 feet;

Thence to an angle point on the north property line, North 00°58'16" East, 38.88 feet;

Thence along said north property line, South 89°44'46" East, 990.88 feet;

Thence South 00°08'47" West, 1332.81 feet;

Thence South 89°37'24" East 1317.10 feet;

Thence South 00°10'32" West, 1335.56 feet;

Thence North 89°30'02" West, 2020.10 feet; to POINT OF BEGINNING

Sabre Business Park- Peter Peter Cottontail and Four Leaf Parcels

**Exhibit D (Continued)
Legal Description**

Peter Peter Cottontail Parcel

That portion of the following described property, in the Southwest quarter of the Northeast quarter Section 13, Township 2 North, Range 2 West of the Gila and Salt River Base and Meridian, Maricopa County, Arizona, described as follows:

Commencing from a Maricopa County aluminum cap in pot hole marking the North quarter corner of said Section 13, being North 89°30'14" West, 2,633.08 feet from a 2003 Maricopa County aluminum cap in hand hole stamped "LS 29891" marking the Northeast corner of said section 13.

Thence along the north-south mid-section line of said Section 13, South 00°15'39" West, 1323.13 feet ;

Thence South 89°31'45" East, 100.76 feet; to POINT OF BEGINNING

Thence South 89°31'45" East, 1216.47 feet;

Thence South 00°13'19" West, 1322.55 feet;

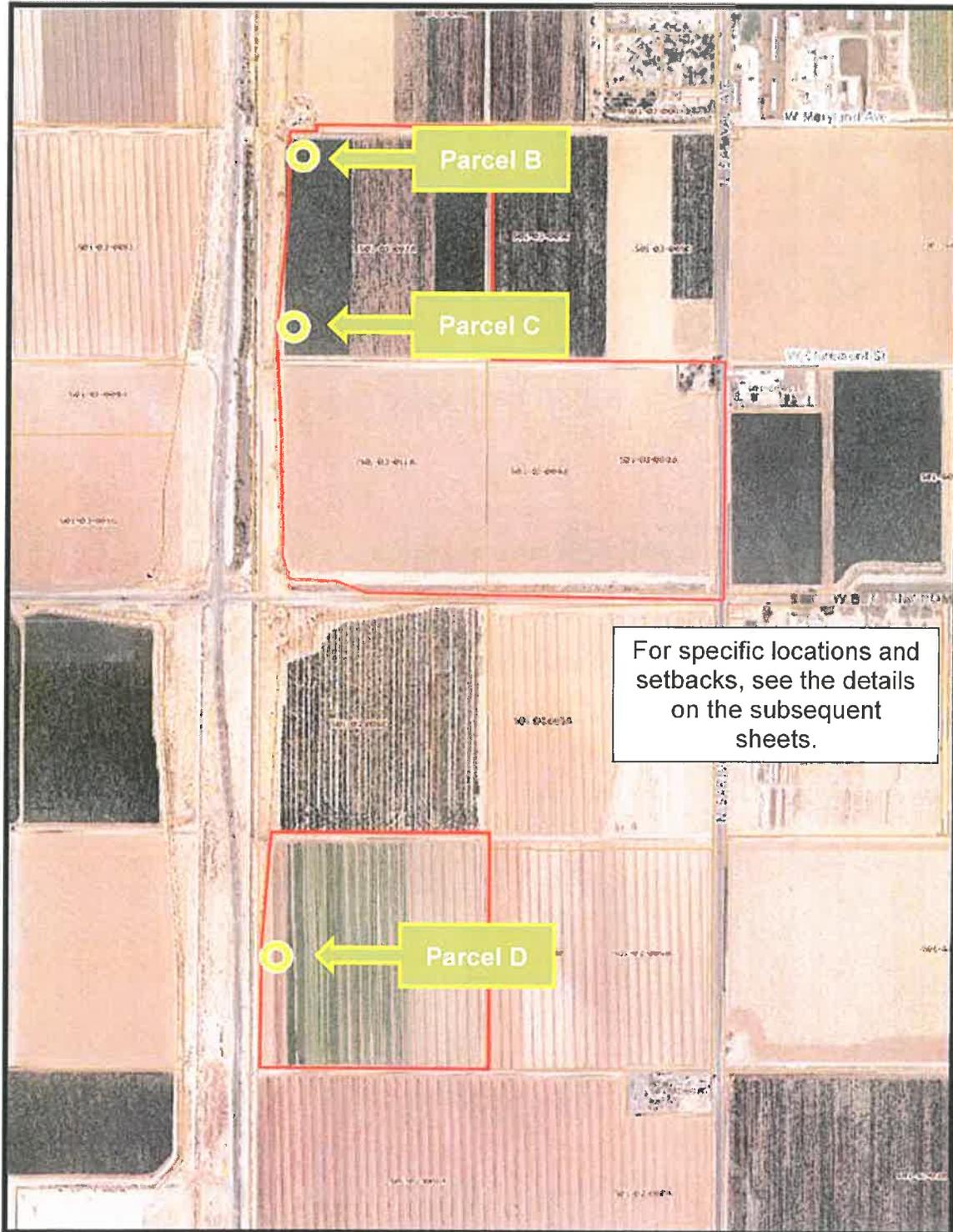
Thence North 89°33'15" West, 1270.12 feet;

Thence along the new right-of-way line of State Route 303L, North 00°15'39" East, 670.80 feet;

Thence North 04°53'15" East, 654.09 feet; to POINT OF BEGINNING

Sabre Business Park- Peter Peter Cottontail and Four Leaf Parcels

**Exhibit E
Approved Billboard Locations**



Approved Billboard Locations

Sabre Business Park- Peter Peter Cottontail and Four Leaf Parcels

**Exhibit E (Continued)
Approved Billboard Locations – Precise Plans**

(Beginning on following page)

Sabre Business Park

*Peter Peter Cottontail and Four Leaf Parcels
NEC & SEC SR303 and Bethany Home Road
16602 West Bethany Home Road*

Citizen Participation Final Report

File Number:

ZON13-10

Prepared by:

Andy Jochums
Beus Gilbert PLLC
701 N 44th Street
Phoenix, AZ 85008
Tel: 480-429-3063
Fax: 480-429-3100

Prepared for:

Land Baron Investments
5275 S. Durango Drive
Las Vegas, NV 89113

December 4, 2013

APPROVED

MAR 19 2014

**City of Glendale
Planning Department**

Amie Cochran

CITIZEN PARTICIPATION FINAL REPORT CHECKLIST

1. Cover Page
 - a. See previous page
2. Brief Description of Proposed Project
 - a. On the behalf of Land Baron Investments, Beus Gilbert PLLC is proposing to annex the subject property into the City of Glendale and zone the property with compatible City of Glendale Zoning.
 - b. The requested City of Glendale M-1 zoning will bring the property into to conformance with the City's General Plan.
3. Brief overview of the elements of the Citizen Participation Plan
 - a. Written Correspondence/Notification which consisted of:
 - i. A notice mailing was sent on 10/18/13 containing a written description of the project, and aerial photo showing the property location. The letter requested that if there were any questions or concerns the recipient should contact as well as contact either the applicant's representative or the City of Glendale.
 - b. Face-To-Face or Other Discussions/Meetings:
 - i. 10/20/13 email received from Kernit Ranken of Kakerlee LLP, an adjacent property owner. Mr. Ranken expressed support and offered any assistance.
 - ii. 10/25/13 telephone call from Les Blake, an adjacent property owner. Mr. Blake, expressed support and a desire to join in on the annexation and rezoning.
 - c. Ongoing Dialogue:
 - i. None
4. Date that notification letters and meeting notices were mailed.
 - a. The project notification letter was mailed on October, 18 2013. An Affidavit of Mailing is attached as Exhibit G along with a copy of the notice letter.
5. Identify specific areas of notification.
 - a. Notifications were sent to all property owners found within the recommended notification area. That area consisted of all properties within 1000' of the project boundaries. Notifications were also sent to any Registered Neighborhood Groups/Homeowner's Associations, all those named on the Interested Parties lists as well as those represented on the Additional Notification lists, provided by the City of Glendale.
 - b. The City provided Recommended Notification Area Map is included as Exhibit B
 - c. A complete mailing list is attached as Exhibit C along with a map of the actual notification area.
6. List names of HOA's & Neighborhood Groups, Property Owners and the "Interested Parties" list that were notified.
 - a. See lists attached as Exhibits D, E, and F respectively. A complete mailing list is attached as Exhibit C.
7. Identify dates and locations of all meetings where citizens were invited to attend and discuss the proposal.

- a. Given the nature of the request, at the direction of the City of Glendale, a neighborhood meeting was not held.
8. Identify number of people noticed and number of people who actually participated.
 - a. 87 Property Owners; Persons of Interest; and individuals on the Additional Notification list were notified about the project.
 - b. 2 property owners called or emailed regarding the project.
9. List concerns, issues, and problems expressed by participants.
 - a. As exhibited above, only two individuals made contact, both of which expressed support.
10. Describe how each concern was addressed and how concerns will continue to be addressed.
 - a. No concerns expressed.
11. State concerns, issues, and problems that we are unable to address.
 - a. No concerns expressed.
12. Specifically state how this proposal has been revised to address concerns.
 - a. No concerns expressed.
13. Attach copies of all materials pertaining to the notification and meeting process.
 - a. Notification letter with attachment is Exhibit G.
14. Attach complete mailing list used to notify individuals.
 - a. See Exhibit C.

EXHIBIT "A"
DEVELOPMENT TEAM

<p style="text-align: center;"><u>Location:</u> Northeast corner and south of the southeast corner of Bethany Home Road and Loop 303</p>	<p style="text-align: center;"><u>Size:</u> 147 +/- Net Acres</p>
<p style="text-align: center;"><u>Submitted to:</u> City of Glendale Planning Department 5850 W. Glendale Avenue Glendale, AZ 85301 Contact: Remigio Cordero, Planner</p>	
<p style="text-align: center;"><u>Applicant:</u> Land Baron Investments 10289 W. Twain #200 Las Vegas, NV 89135 Contact: Randy Black 702-851-3999 Email: rblack@landbaroninv.com</p>	
<p style="text-align: center;"><u>Attorney:</u> Beus Gilbert PLLC 701 N 44th Street Phoenix, AZ 85008 Contact: Jeff Blilie 480-429-3030 480-429-3100 FAX Email: jblilie@beusgilbert.com</p>	

EXHIBIT "B"
RECOMMENDED NOTIFICATION AREA

RECOMMENDED NEIGHBORHOOD NOTIFICATION AREA			
NAME OF REQUEST:		SABRE BUSINESS PARK REZONE	
LOCATION:		NEC and SEC of Loop 303 and Bethany Home Road	
The applicant is requesting to rezone 147 acres from A-1 (Agricultural) to M-1 (Light Industrial).			
ZONING (Agricultural)	DISTRICT:	A-1	COUNCIL DISTRICT: Yucca

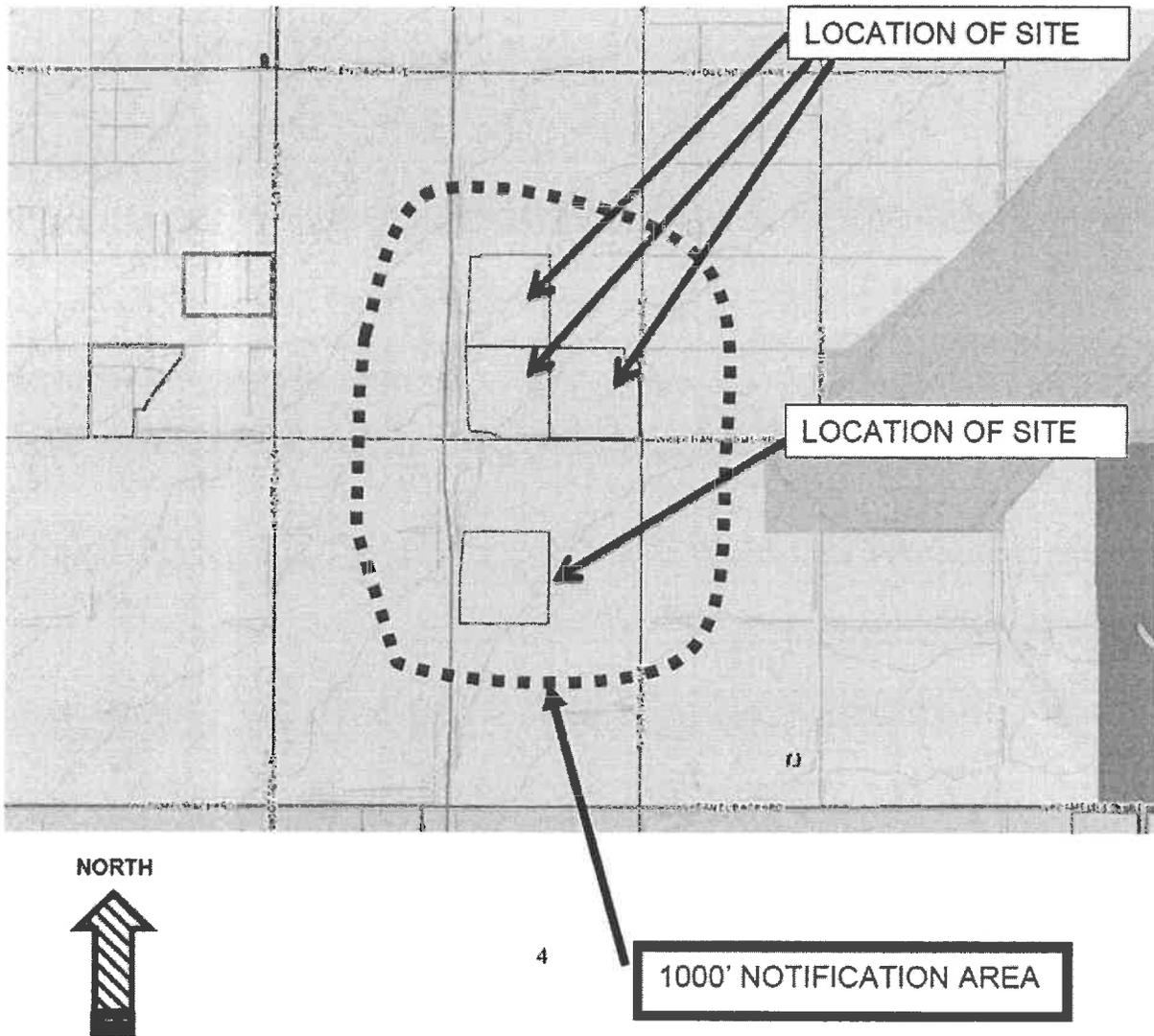
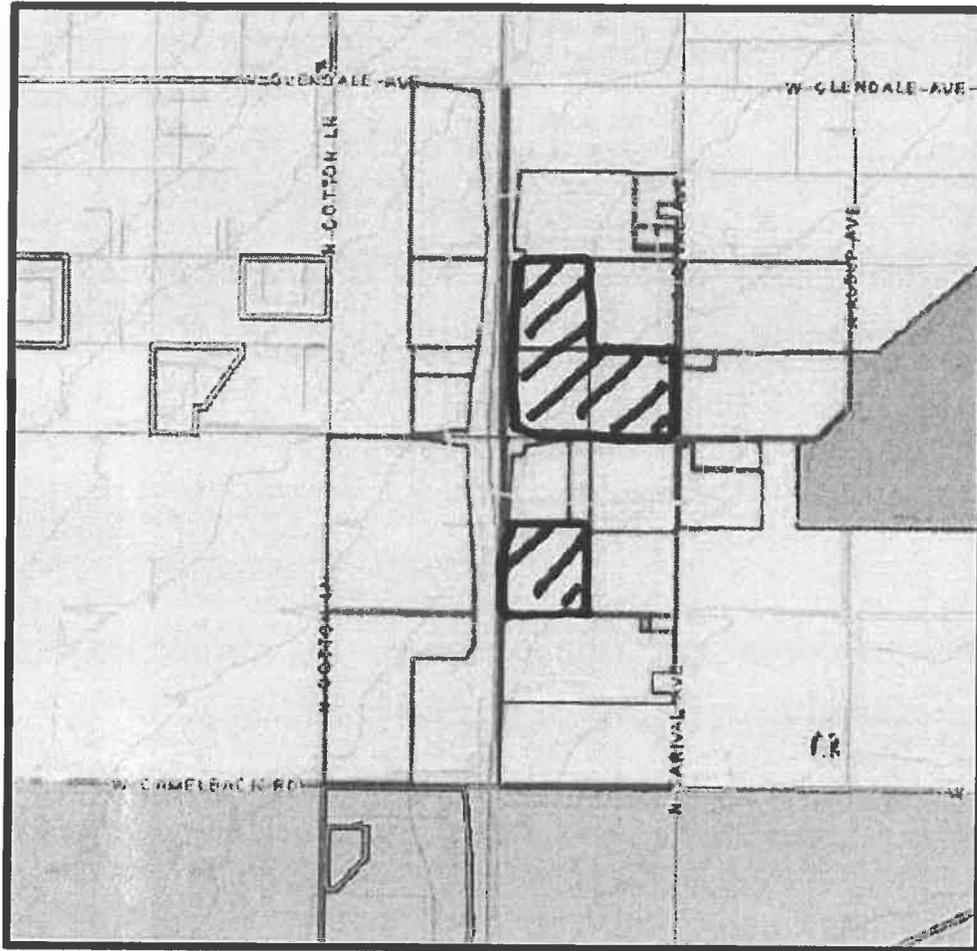


EXHIBIT "C"

SUPPORTING PARCEL MAP & INDIVIDUALS TO BE NOTIFIED



1000' PARCELS

ADAMAN IRR WTR DIST #36
OR CURRENT RESIDENT
16251 W GLENDALE AVE
LITCHFIELD PARK, AZ 85340

ALLEN RANCHES LLC/ALLEN GRACE
OR CURRENT RESIDENT
711 5TH AVE 9TH FL
NEW YORK, NY 10022

ASHBY LAND LLC
OR CURRENT RESIDENT
16216 W CHEERY LYNN RD
GOODYEAR, AZ 85395

BLAKE JACKY EDWARD/REBECCA
OR CURRENT RESIDENT
1335 E ORCHID LN
PHOENIX, AZ 85020

COTTON 303 LLC
OR CURRENT RESIDENT
3055 VIA SARAFINA DR
HENDERSON, NV 89052

COTTON BETHANY LLC/303 COTTON
LLC
OR CURRENT RESIDENT
7251 W LAKE MEAD BLVD STE 530
LAS VEGAS, NV 89128

EVERKRISP VEGETABLES INC
OR CURRENT RESIDENT
PO BOX 25
TOLLESON, AZ 85353

FOUR LEAF OPERATIONS LLC
OR CURRENT RESIDENT
10777 W TWAIN AVE STE 225
LAS VEGAS, NV 89135

EXHIBIT "G"
AFFIDAVIT OF MAILING and
NEIGHBORHOOD NOTIFICATION LETTER WITH ATTACHMENTS

STARTS ON THE FOLLOWING PAGE



Planning

NEIGHBORHOOD NOTIFICATION LETTER

AFFIDAVIT OF MAILING

Case No. (if available) ZON 13-10

Project Name: SABRE BUSINESS PARK

I, ANDY JOCHUMS certify that I am the authorized applicant /

representative to the City of Glendale for the above application, and do hereby affirm that notice as required for the case noted above has been completed in accordance with the Citizen Participation Process in the City of Glendale's Zoning Ordinance, and a copy of the letter and mailing labels has also been submitted.

LETTER SENT 10/18/13

Applicant/Representative Signature: [Signature]

STATE OF ARIZONA

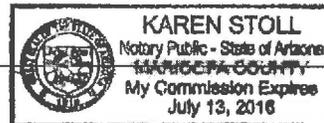
SS.

COUNTY OF MARICOPA

The foregoing instrument was acknowledged before me this 4th day of December, 2014.

Karen Stoll
Notary Public

My Commission Expires: 7-13-2016



BEUS GILBERT

PLLC

ATTORNEYS AT LAW

701 N 44TH STREET
PHOENIX, ARIZONA 85008
FAX (480) 429-3100

58115-0037

October 18, 2013

RE: Rezoning Application ZON13-10 for Sabre Business Park
Northeast Corner and South of the Southwest Corner of Bethany Home Road
and Loop 303

Dear Property Owner or Interested Party:

As a part of our efforts to communicate with the surrounding property owners regarding the Rezoning application we have submitted to the City of Glendale in order to develop the subject 147 acre parcel, we would like to take this opportunity to invite you to review our proposal. We have enclosed an aerial photo highlighting the property for your ease of reference.

The property is currently within unincorporated Maricopa County and currently zoned RU-43 with the Military Airport and Ancillary Military Facility Overlay Zoning District. A Military Compatibility Permit has been issued by the County to allow the property to develop with commercial and industrial uses. We are requesting annexation into the City of Glendale and a rezone of the property to the City's M-1 (Light Industrial) zoning district. Rezoning to M-1 is supported by the property's *Luke Compatible Land Use* designation in the City's General Plan and allows for nearly the same uses as those allowed currently by Maricopa County. Annexation into Glendale will allow for a more unified development consistent with the City's standards.

If you have any questions or comments on our proposal, please do not hesitate to contact me directly at (480) 429-3063, by fax at (480) 429-3100, or by email at ajochums@beusgilbert.com. If you would like to provide comments or feedback directly to the City of Glendale, our City Planner is Remigio Cordero. He can be reached at (623) 930-2597 or by email at rcordero@glendaleaz.com.

Thank you,

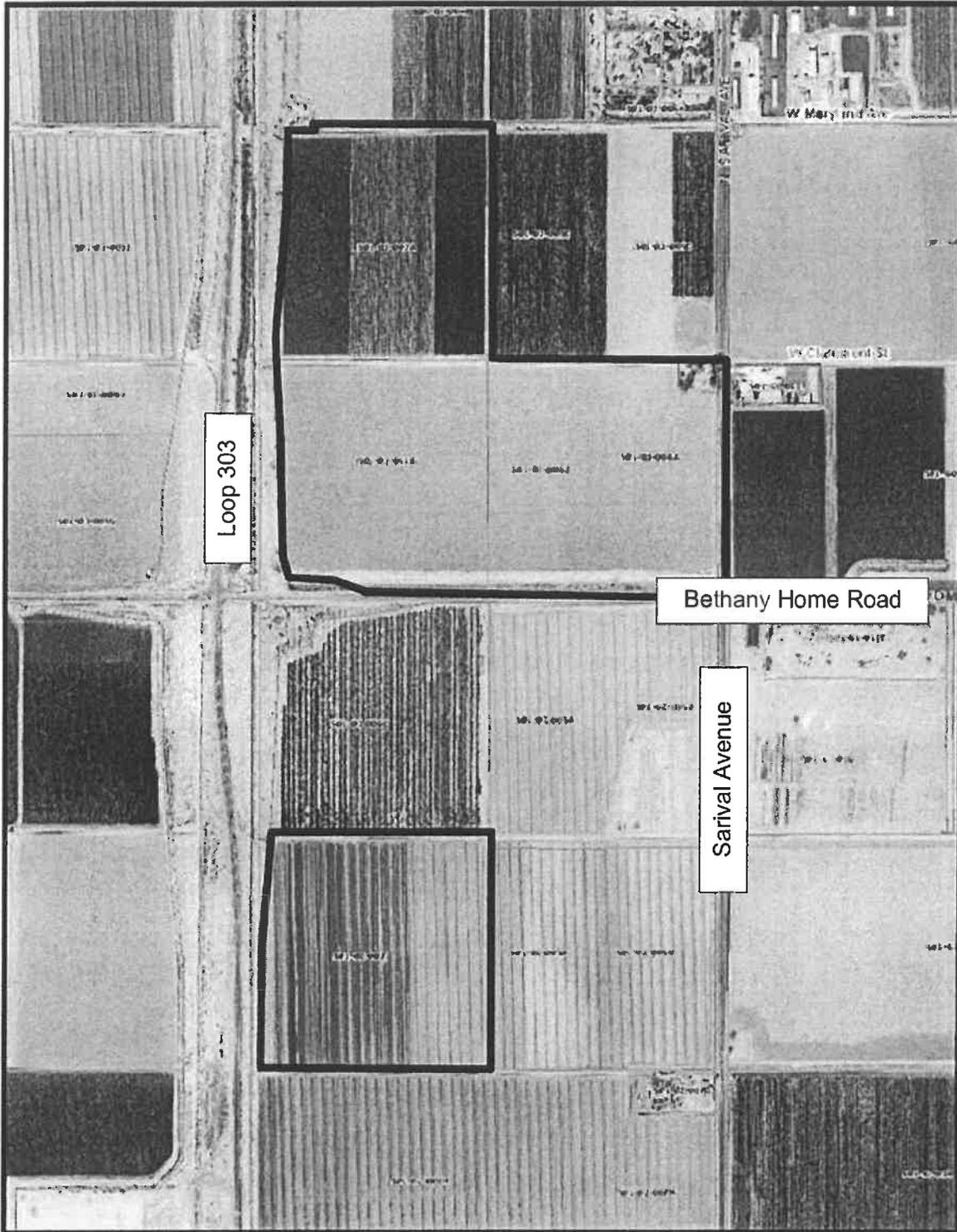
BEUS GILBERT PLLC



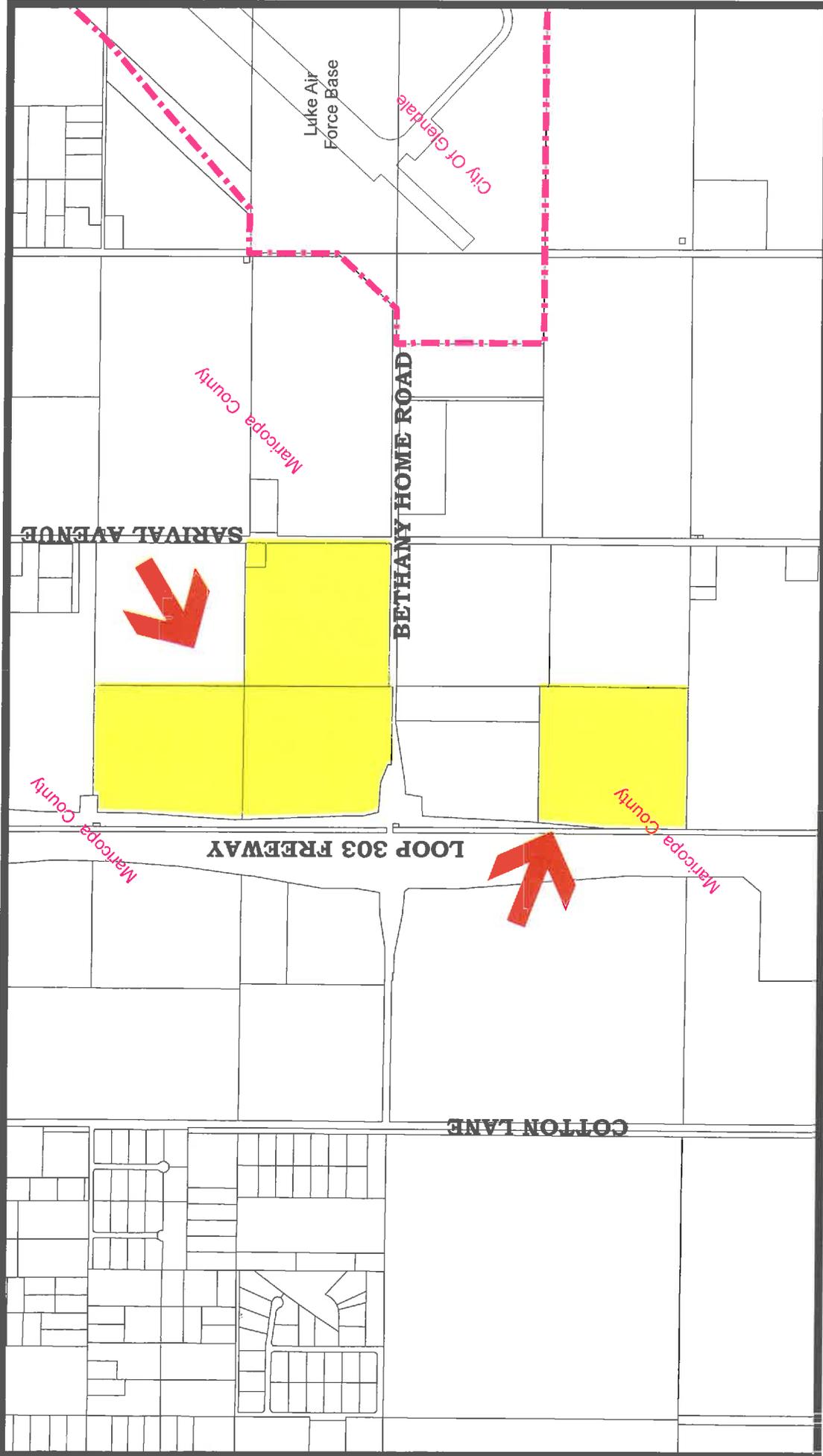
Andy Jochums, AICP
Planning Consultant

Attachment

Sabre Business Park – Four Leaf and Peter Peter Cottontail Parcels



Aerial Photo

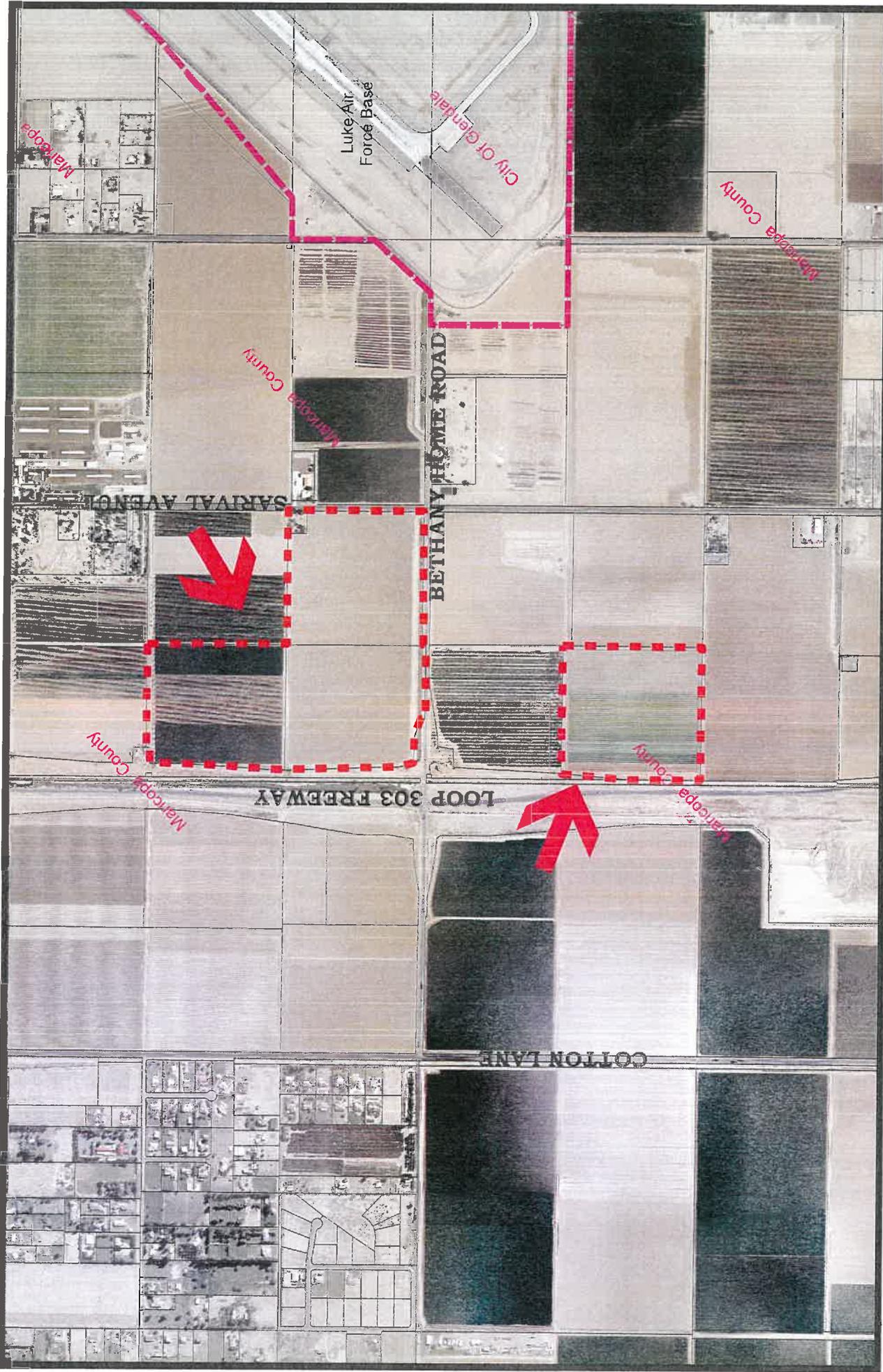


CASE NUMBER
 ZON13-10



REQUEST
 REZONE 147 ACRES FROM A-1
 (AGRICULTURAL) TO M-1 (LIGHT
 INDUSTRIAL)

LOCATION
 16602 W. BETHANY HOME ROAD



Aerial Date: November, 2013



CASE NUMBER
ZON13-10





Planning Staff Report

DATE: October 2, 2014 **AGENDA ITEM:** 2

TO: Planning Commission

FROM: Tabitha Perry, Assistant Planning Director
PRESENTED BY: Tom Dixon, Senior Planner

SUBJECT: **REZONING (ZON) APPLICATION ZON14-02: COPPER COVE 4**

REQUEST: Rezone 1.013 acres of land from A-1 (Agricultural) to R1-4 PRD (Planned Residential Development).

APPLICANT/OWNER: Bowman Consulting Group / D.R. Horton, Inc.

REQUIRED ACTION: The Planning Commission must conduct a public hearing and determine if this request is in the best long-term interests of this neighborhood and consistent with the General Plan.

RECOMMENDATION: The Planning Commission should recommend approval subject to one stipulation.

PROPOSED MOTION: Move to recommend approval of ZON14-02, subject to the stipulation contained in the staff report.

SUMMARY: This request is to rezone the existing 1.013 acres of land from A-1 to R1-4 with the PRD overlay. The purpose of the rezone is to allow the property to be subdivided into four residential lots and incorporate those lots into the previously approved Copper Cove Subdivision.

COMMISSION ACTION: Motion made by Commissioner _____ to recommend _____ subject to staff report stipulations. Motion seconded by Commissioner _____. The motion was _____ to _____.

DETAILS OF REQUEST:

General Plan Designation:

The property is designated as Medium-High Density Residential (MHDR), 5-8 du/ac.

Property Location and Size:

The 1.013-acre property is located approximately 1,320 feet north of the northeast corner of 95th Avenue and Camelback Road. The property is undeveloped and not in agricultural production.

History:

The subject site was created as a separate parcel through a recording with the Maricopa County Assessor’s Office. That action split the 1.013-acre property from the associated 58-acre site that surrounds it on three sides and has now been platted as Copper Cove 1, 2 and 3. The existing Copper Cove 1, 2 and 3 development has been platted into a 177-lot, three phased project. This site as well as the entirety of the Copper Cove Subdivision was part of an annexation into the City of Glendale on May 22, 2003.

Design Review:

The hosing products proposed by D.R. Horton, Inc. are currently being reviewed by staff for all three phases of Copper Cove Subdivision. The final administrative Design Review approval (DR14-24) includes this property and proposes four additional lots through a companion land use case, Preliminary Plat PP14-01.

Project Details:

A rezone of the subject site to R1-4 with a PRD overlay would allow the property to be incorporated into the Copper Cove Subdivision.

This rezone approval is necessary in order for PP14-01 to proceed as a subdivision of the property into four lots. If approved, the rezone would be subject to the development standards applied through the PRD overlay to establish Copper Cove 4. The standards comparisons between the R1-4 and the proposed R1-4 PRD for Copper Cove 4 are identified below:

DEVELOPMENT STANDARDS	EXISTING R1-4 Standards	PROPOSED R1-4 PRD Standards
Minimum Lot Area	4,000 square feet	7,200 square feet
Minimum Lot Width	40 feet	60 feet
Minimum Lot Depth	80 feet	120 feet
Minimum Front Yard Setback	15 feet to living area; 20 feet to front loaded garage	15 feet to living area or side loaded garage; 20 feet to front loaded garage
Minimum Side Yards	0 to 10 feet (10 separation between buildings on adjacent lots)	5 feet
Minimum Distance Between Buildings on Adjacent Lots	10 feet	10 feet
Minimum Rear Yards	15 feet	15 feet
Maximum Lot Coverage	45%	50%
Maximum Building Height	30 feet	30 feet

CITIZEN PARTICIPATION TO DATE:

Applicant's Citizen Participation Process:

On August 6, 2014, a total of 123 notification letters were mailed to adjacent property owners and interested parties. The applicant did not receive any response regarding the request. Planning did not receive any response regarding the request. The applicant's Citizen Participation Final Report is attached.

Planning Commission Public Hearing:

A Notice of Public Hearing was published in *The Glendale Star* on September 11, 2014. Notification postcards of the public hearing were mailed to adjacent property owners and interested parties on September 12, 2014. The property was posted by the applicant on September 12, 2014.

STAFF FINDINGS AND ANALYSIS:

Findings:

- The proposed amendment is consistent in substance and location with the development objectives of the General Plan and any adopted specific area plans.
- The proposed amendment furthers the public health, safety and general welfare of the citizens of Glendale.
- One-acre parcels zoned agricultural have minimal productive agricultural use whereas the immediate availability of urban services better supports an urban development for this property.

Analysis:

- The rezone will allow the subject site to be included in the previously platted Copper Cove Subdivision 2 and 3 which surround the property on its north, east, and south sides.
- The conversion of this single parcel zoned A-1 to R1-4 PRD designation would create the potential for four residential lots being served by an urban level of service. The current A-1 zoning limits the property to one single-family residential use which minimizes its development potential in the midst of an area transitioning from agricultural to urban development.

RECOMMENDATION:

The Planning Commission should recommend approval of this request, subject to the following stipulation:

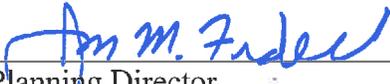
1. Any future development on this property shall be in substantial conformance with the Copper Cove 4 submittal dated June 6, 2014.

ATTACHMENTS:

1. Applicant's Narrative, date stamped September 17, 2014.
2. Citizen Participation Final Report (without mailing labels), dated September 17, 2014.
3. Vicinity Zoning Map.
4. Aerial Photograph, dated November 2012.

PROJECT MANAGER: Tom Dixon, Senior Planner (623) 930-2553
tdixon@glendaleaz.com

REVIEWED BY:



Planning Director

TD/df



Development Services Department Director

COPPER COVE PHASE 4
East Side of 95th Avenue, North of
Camelback Road
A Planned Residential Development

Prepared for:

D.R. Horton, Inc.

20410 North 19th Avenue

Phoenix, AZ 85027

Prepared By:

Bowman Consulting Group, Ltd.

14100 N. 83rd Avenue, Suite 250

Peoria, Arizona 85381

June 6, 2014

ZON14-002 and PP14-01

COPPER COVE PHASE 4 PLANNED RESIDENTIAL DEVELOPMENT



Copper Cove Phase 4 Planned Residential Development

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7.0	Development Standards.....	3
8.0	House Products.....	4
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12.0	Public Improvements.....	6
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Exhibits

Exhibit A	Legal Description
Exhibit B	Vicinity Map
Exhibit C	Aerial Map
Exhibits D1 and D2	Existing and Proposed Zoning Exhibits
Exhibit E	Conceptual Landscape Plan
Exhibit F	General Plan Land Use Map
Exhibit G	Typical Lot Setbacks R1-4 PRD
Exhibit H	Street Cross Sections
Exhibit I	Drainage Plan
Exhibit J	Phasing Plan
Exhibit K	School Facilities

COPPER COVE PHASE 4 PLANNED RESIDENTIAL DEVELOPMENT



1.0 Introduction

Copper Cove Phase 4 is a proposed 4 lot single family residential development on approximately 1-acre located at the east side of 95th Avenue and north of Camelback Road as described in **Exhibit A**, Legal Description, and depicted on **Exhibit B**, Vicinity Map. This request is to rezone from A-1 (Agricultural) to R1-4 Planned Residential Development (See **Exhibits D1 and D2**, Existing and Proposed Zoning Exhibits).

The uniquely designed project is bound by Copper Cove Phase 2/3 on the north, south and east and vacant land zoned Planned Area Development (PAD) to the west (See **Exhibit C**; Aerial Map). This Planned Residential Development (PRD) will complete Copper Cove Phases 2 and 3, with the same lot sizes, decorative walls, and themed landscaping. Copper Cove Phase 4 will have an entrance off of 95th Avenue.

Table 1: Surrounding Land Use

North	Copper Cove Phase 3 subdivision
South	Copper Cove Phase 3 subdivision
East	Copper Cove Phase 3 subdivision
West	Vacant Land; Zoned PAD
Onsite	A-1 Agricultural

- **Buffering / Integration with Surrounding Area**

The lots adjacent to 95th Avenue will be buffered by enhanced landscaping within a dedicated open space tract. In addition, an 8-foot high theme wall will be provided along the back of the lots along 95th Avenue.

2.0 General Plan Conformance

The current General Plan classification of the project is Medium-High Density Residential (5-8 DU/AC) (See **Exhibit F**; General Plan Land Use Map). The Project will not be deviating from this Land Use categories.

3.0 PRD Development Plan

For this site the zoning category will be R1-4 PRD(See **Exhibits D1 and D2**; Existing and Proposed Zoning Exhibits). The intent of the PRD is to:

- Encourage innovative planning for neighborhoods by providing greater flexibility in design standards,
- Provide a diversity of lots with varied garage orientations creating varied setbacks which avoids uniformity and diversifies the streetscape,
- Create a neighborhood that has a unique character and special identity,
- Promote the efficient use of land by enabling the development of parcels which would otherwise be difficult to develop,

COPPER COVE PHASE 4 PLANNED RESIDENTIAL DEVELOPMENT



- Enhance the existing neighborhood by providing high end standards for quality homes within the new community and
- Complete the Copper Cove site by integrating the remnant 1-acre agricultural parcel into the overall community.

4.0 Site Data

Table 2: Copper Cove Phase 4 Land Use Table

R1-4 PRD Residential	1.01 Acres
Total Lots	4
Total Open Space	0.22 Acres (21.94%)
Gross Density	3.95 DU/AC

5.0 Project Design

Copper Cove Phase 4 is a residential community including 60' x 120'/125' lots. Copper Cove Phase 4 will add 4 lots within the site and complete the Copper Cove community with shared amenities. The project is designed to utilize the site as efficiently as possible given its shape and best fit within the existing community.

A pedestrian trail will be provided in Copper Cove Phase 2/3 and 1, which will connect the parcels and open space amenities throughout all of Copper Cove, including Phase 4. Open Space amenities will include but are not limited to; tot lots, ramadas, a volley ball court, pedestrian trails and turf areas.

Copper Cove Phase 2/3, located west, north and south of property is currently comprised of 141 lots plus these 4 additional proposed lots, which will offer a high quality of living for persons desiring single family detached homes within a small upscale neighborhood environment. Careful attention has been made to design a development that promotes variety with a distinct sense of community.

Access for this parcel is served by an entrance off of 95th Avenue to the west. The primary entrance will have an entry feature with monumentation and enhanced landscaping.

Copper Cove will feature lush desert landscaping with elegant wall design and entry monumentation. Materials used will complement the surrounding rural neighborhoods to the north while adding its own distinct signature. All plant material throughout the project will be chosen for their qualities of lushness and color capabilities.

- **Development Schedule**

Copper Cove Phase 4 will be developed concurrently with Phase 3. Development of Phase 4 will be dependent on and driven by market conditions (See **Exhibit J**; Phasing Plan).

COPPER COVE PHASE 4 PLANNED RESIDENTIAL DEVELOPMENT



6.0 Development Guidelines

Copper Cove Phase 4 will be developed under the R1-4 residential zoning district with a PRD overlay. Copper Cove Phase 4 has met the intent of the City's guidelines. Copper Cove, through its design, has accomplished all of the engineering, land use and design expectations of the surrounding community, and required by the city, to make this project part of a wonderful community for future homeowners and pleasing to existing neighbors.

Coordination has occurred with the design team and staff on developing six basic design elements for the community: Open Space and Amenities, Perimeter Improvements, Streets, Lot Layout and Setbacks, Landscape and Lot Size. The requirements as outlined in the Residential Design and Development Manual have been met and the project correlates with the approved Copper Cove Phase 2/3 project surrounding this 1-acre property.

7.0 Development Standards

Copper Cove Phase 4 has a proposed total of 4 lots. The development standards established for this project have been carefully considered to allow for flexibility within this unique neighborhood.

Table 3: R1-4 PRD Site Data Table

R1-4 PRD Parcel	Phase 4	Phases 2, 3, and 4
Gross Area	1.01 acres	39.65 acres
Open Space Landscaping & Retention	0.22 acres (21.94%)	7.60 acres (19.15%)
Net Acres	4 lots (60' x 120'/125') – 0.68 acres	145 lots (85' x 138', 60' x 120'/125'/112.5' and 58'/53'/52'/50' x 115') – 38.74 acres
Avg. Lot Size	7,406 sf	6,790 sf
Min. Lot Width	60 feet	50 feet
Avg. Lot Width	60 feet	58 feet
Gross Density	3.95 DU/AC	3.66 DU/AC

The standards that exceed the R1-4 standards are shown in bold in the table on the following page. This rezone to PRD will create the opportunity for variations to the minimum standards (See the Typical Lot Details in **Exhibit G**; Typical Lot Setbacks).

COPPER COVE PHASE 4 PLANNED RESIDENTIAL DEVELOPMENT



Table 4: R1-4 PRD Standards Table

	City of Glendale R1-4 Standards	Proposed R1-4 PRD Standards
Minimum Net Lot Area	4,000 sf	7,406 sf
Minimum Lot Width	40'	60'
Minimum Lot Depth	80'	120'/125'
Minimum Front Setback (measured from property line)	15' to living area or side entry garage, 20' to front loaded garage, measured from property line to face of garage	10' to living area or side entry garage, 20' to front loaded garage, measured from property line to face of garage
Minimum Rear Setback	15'	15'
Minimum Side Setback	0' and 10'	5' (10' combined)
Minimum Street Sideyard Setback	10'	5' (with 10' side tract)
Maximum Structure Height (1)	30'	30'
Maximum Percentage Lot Coverage	45%	50%
Minimum distance between building on adjacent lots	10'	10'

1-Two story maximum, refer to Section 7.300 for accessory buildings.

***Encroachments:** Fireplaces, bay windows, eaves, media niches, and basement window casings may encroach into the side setback a maximum of 2-1/2 feet for a total length not to exceed 10 feet on any building elevations.

Standard Alterations: Copper Cove Phase 4 will match/utilize the already approved house product and lot sizes as Phase 2/3 which require the 5/10 side yard setback; 10' front to allow street diversity and increased lot coverage to 50%, thus allowing more design options including patios and larger homes.

8.0 House Products

To integrate best with the surrounding development Copper Cove Phase 4 will utilize the same exact House Product Design per the City of Glendale Residential Design and Development Manual, as previously approved for Copper Cove Phase 2/3 by the City of Glendale. The R1-4 PRD lots will offer a minimum of six floor plans and three different elevations for each floor plan to its residents. All materials, colors and styles will comply with the theme of the overall development. All main exterior colors will be variations of earth tones. A separate application for design review of the house product will be submitted. Although this does not meet the required four elevations as per the Residential Design and Development Manual, there are eighteen different options for four lots and it will match the House Product Design for Copper Cove Phase 2/3.

The proposed floor plans in the R1-4 PRD portion of the development will vary in size from 1,800 square feet up to 4,000 square feet. At least three distinct

COPPER COVE PHASE 4 PLANNED RESIDENTIAL DEVELOPMENT



elevation variations will be offered with additional exterior options available for homebuyers to further diversify their home. Each of the floor plans can be easily altered based on buyer's preferences to allow homebuyers to customize floor plans to fit their specific needs.

Both products provide for variation in massing by dramatically changing orientation of the living areas and garages. The garage orientation varies between a side-entry and recessed on alternating lots. This large amount of variation assures a varied streetscape that is not dominated by garage doors. If any other product is offered, it will meet the guidelines as outlined below.

Each home shall include the following:

1. Stucco exterior with accents
2. Covered rear patio integrated into the design of the home
3. Ground mounted AC Units
4. Three color variations of a concrete tile roof
5. Stucco accents and window treatments on all windows and entries
6. Two-car garage with standard coach lighting
7. Window frames will be vinyl with low-e windows
8. Roof vents painted to match tile roof color
9. Exterior light fixtures at front entrance
10. Variations of sectional metal roll-up garage door with raised paneling
11. Front yard landscape packages on southern parcel
12. 8-foot, 9-foot and 10-foot high ceilings
13. Structures prewire packages for cable, internet, and telephone
14. Energy-star Efficiency

9.0 Landscaping, Entry Features, and Perimeter Walls

The Copper Cove Phase 4 landscape concept will utilize a plant palette indigenous to the area and will be complimentary to the proposed architectural theme, which will also match the surrounding Copper Cove Phase 2/3 palette. Drought resistant plants and trees will be the predominant materials used in the overall landscape design with colorful accent materials incorporated in the open spaces. The Streetscape standard along 95th Avenue will include plant materials compatible with the City's street landscape program.

Theme perimeter wall design on 95th Avenue will be simple and reflect the patterns and forms of the entry features and be continuous with the Copper Cove Phase 3 wall. A combination of split-face and smooth-face block will create a unique pattern with columns that will help set apart the subdivision and complement the entry feature. All walls will be painted, stained, or treated with a protective finish to allow for easy graffiti removal.

The overall Copper Cove Project has been designed to provide future residents an inviting and pedestrian friendly community through thoughtful landscaping and amenity design. Throughout the process lot configurations have been removed or revised and the layout redrawn to create a continual open space tract from the

COPPER COVE PHASE 4 PLANNED RESIDENTIAL DEVELOPMENT



south end of the community to the north end. To maximize the pedestrian friendly continuous open space corridor, a 6' stabilized trail system will connect all the amenities to allow exercise and pedestrian travel between them. Amenities that may be provided within the main open space areas include a neighborhood park, a tot lot, a volley ball court, and a group ramada area. Total open space for the entire project now accounts for over 19% of the site, 7.60-acres. A Conceptual Landscape Plan is provided as **Exhibit E**.

- Landscape Maintenance Responsibilities

The Covenant Conditions and Restrictions (CC&R's) for Copper Cove Phase 4 will identify that the Copper Cove Homeowners Association (HOA) will own and maintain the entry feature, retention areas, amenities, landscaping within all open space tracts and decorative perimeter walls. The CC&R's will restrict the use of the single-family lots to use the uses permitted by the City of Glendale's Zoning Ordinance and the Copper Cove PRD narrative as approved by the Glendale City Council.

10.0 Grading and Drainage Concept

The project generally slopes to the Southwest. No off-site flows impact the site. The project will be designed to retain the 100-year 2-hour storm of on-site runoff. One main open space/ landscape tract will be depressed to retain these on-site flows for the Copper Cove Phase 4 parcel. There is one ultimate outfall location for this site. Excess water from the retaining basin will flow to 95th Avenue. The conceptual drainage plan for the project is included in **Exhibit I**; Drainage Plan.

11.0 Transportation and Circulation

Regional transportation is provided by Agua Fria Freeway (Loop 101) that runs north-south approximately ½ mile west to the subject site.

The Copper Cove Phase 4 parcel has excellent off-site transportation corridor access with 95th Avenue as its western boundary. Half street improvements will be made for 95th Avenue, during Phase 2/3 construction, which will connect to Camelback Road adjacent to the Copper Cove Phase 2 Site.

The interior street pattern has been designed to limit the number of homes a person has to pass before getting to a subdivision exit. Typical streets within the Project will include 50 feet of right-of-way with attached sidewalks. The entrance into Copper Cove Phase 4 will be off of 95th Avenue and will include 60 feet of right-of-way, also with attached sidewalks, as shown on **Exhibit H**, Street Cross Sections.

12.0 Public Improvements

The City of Glendale has an existing 36" sewer main in 95th Avenue and an existing 12" water line in 95th Avenue, and Copper Cove Phase 3 will provide a

COPPER COVE PHASE 4 PLANNED RESIDENTIAL DEVELOPMENT



sewer and water line within the interior street that will properly service the proposed development to meet the domestic demands. The interior system will be looped through Copper Cove Phase 2/3 subdivision and tie into the existing surrounding system. All utilities will be under ground in accordance with the City of Glendale Ordinance. All water, sewer and paving improvements will be completed with Copper Cove Phase 2/3.

13.0 School Facilities

Initial contact was made with Tolleson Union High School District and Pendergast Elementary School District regarding the addition of four lots to their area. Both Districts indicated they accommodate the students from the addition of the four lots. The Certificates of Adequate Facilities have been received from Dr. Lexi Cunningham from Tolleson Union High School District and Brian Mee from Pendergast Elementary School District. (See the Certificate of Adequate Facilities in **Exhibit K**; School Facilities).

14.0 PRD Required Findings

The proposal is consistent in substance and location with the development objectives of the General Plan and any adopted specific area plans.

Copper Cove Phase 4 is in conformance with the 2025 Glendale General Plan. The Project meets the current General Plan designation for the site consisting of Medium-High Density Residential.

The proposal will be compatible with other existing and planned development in the area.

Copper Cove Phase 4 is consistent with the neighboring communities and PRD's within Glendale.

The proposal meets or exceeds the City's Subdivision Design Expectations regarding site planning, architecture, landscaping, building materials and colors, and screening of mechanical equipment.

The Project meets the intent of the Residential Design and Development Manual in providing a higher standard of subdivision design through quality, marketable, and sustainable development. Every effort has been made to comply with the recommended design guidelines within the context of this project.

COPPER COVE PHASE 4 PLANNED RESIDENTIAL DEVELOPMENT



The proposal will result in a quality living environment and accommodate desired lifestyles.

The PRD allows for a high quality of living for persons desiring single-family detached homes within a community which offers a variety of floor plan styles and elevations. Copper Cove provides ample open space opportunities for its residents.

The proposed project amenities including equestrian and pedestrian trails, bike paths, landscaped areas, entry features, decorative theme walls, parks, playgrounds, and other public or commonly owned open space and recreation facilities are adequate and appropriate for this development.

Amenities within the Copper Cove Phase 4 alone include but are not limited to: lush landscaped area and open space and decorative theme walls. As part of the Copper Cove Community, Phase 4 will have access to amenities that include tot lots, ramadas, a volleyball court, pedestrian trails and turf areas.

The type and quality of house products will be consistent with the intended character of the development.

The Project has provided a minimum of eighteen product guidelines to ensure consistent quality and design of the housing products as development occurs.

EXHIBIT A
LEGAL DESCRIPTION

**LEGAL DESCRIPTION
COPPER COVE
PHASE 4 BOUNDARY**

THAT PARCEL OF LAND RECORDED AS DOC. NO. 2011-0493940, OFFICIAL RECORDS OF MARICOPA COUNTY, ARIZONA, LOCATED WITHIN THE SOUTHEAST QUARTER OF SECTION 16, TOWNSHIP 2 NORTH, RANGE 1 EAST, OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTH QUARTER CORNER OF SAID SECTION 16, BEING A BRASS CAP IN HANDHOLE, FROM WHICH THE SOUTHEAST CORNER OF SAID SECTION 16, BEING A BRASS CAP IN HANDHOLE, BEARS SOUTH 89 DEGREES 58 MINUTES 56 SECONDS EAST, A DISTANCE OF 2667.73 FEET;

THENCE NORTH 02 DEGREES 20 MINUTES 26 SECONDS EAST, ALONG THE WEST LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 16, A DISTANCE OF 1320.86 FEET TO A POINT ON THE SOUTH LINE OF THE NORTH HALF OF THE SOUTHEAST QUARTER OF SAID SECTION 16 AND THE **POINT OF BEGINNING**;

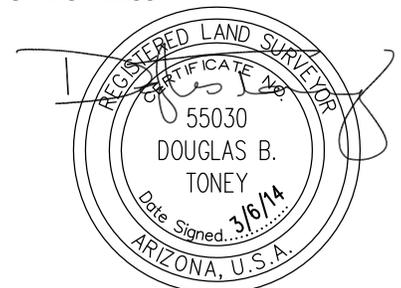
THENCE CONTINUING NORTH 02 DEGREES 20 MINUTES 26 SECONDS EAST, ALONG SAID WEST LINE, A DISTANCE OF 210.17 FEET TO A POINT ON THE NORTH LINE OF THE SOUTH 210 FEET OF THE NORTH HALF OF THE SOUTHEAST QUARTER OF SAID SECTION 16;

THENCE SOUTH 89 DEGREES 59 MINUTES 28 SECONDS EAST, ALONG SAID NORTH LINE, A DISTANCE OF 210.17 FEET TO A POINT ON THE EAST LINE OF THE WEST 210 FEET OF THE NORTH HALF OF THE SOUTHEAST QUARTER OF SAID SECTION 16;

THENCE SOUTH 02 DEGREES 20 MINUTES 26 SECONDS WEST, ALONG SAID EAST LINE, A DISTANCE OF 210.17 FEET TO A POINT ON THE SOUTH LINE OF THE NORTH HALF OF THE SOUTHEAST QUARTER OF SAID SECTION 16;

THENCE NORTH 89 DEGREES 59 MINUTES 28 SECONDS WEST, ALONG SAID SOUTH LINE, A DISTANCE OF 210.17 FEET TO THE **POINT OF BEGINNING**.

SAID PARCEL CONTAINS 44,137 SQUARE FEET OR 1.0132 ACRES, MORE OR LESS.



EXPIRES 9/30/2016

P:\9700 - Copper Cove\9700-01-001 (SUR)\Survey\Legals\9700-PH4 Legal.docx

**EXHIBIT B
VICINITY MAP**



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COPPER COVE PHASE 4

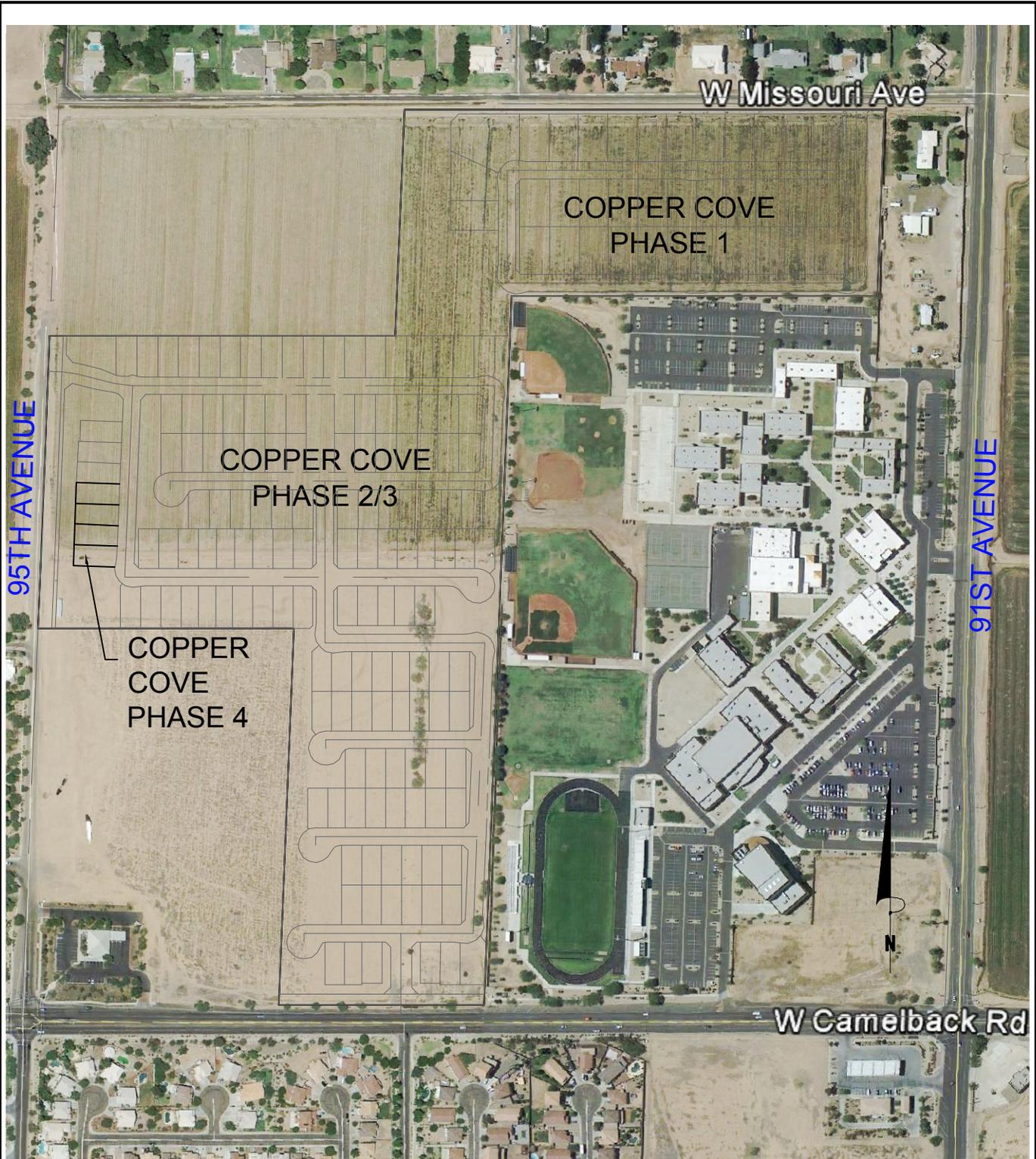
GLENDALE, ARIZONA

VICINITY MAP EXHIBIT

JOB #	9700-01-001
DATE	01/2014
SCALE	NONE
DRAWN	CRS

EXHIBIT **B**

EXHIBIT C
AERIAL MAP



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 Peoria, Arizona 85381 www.bowmanconsulting.com

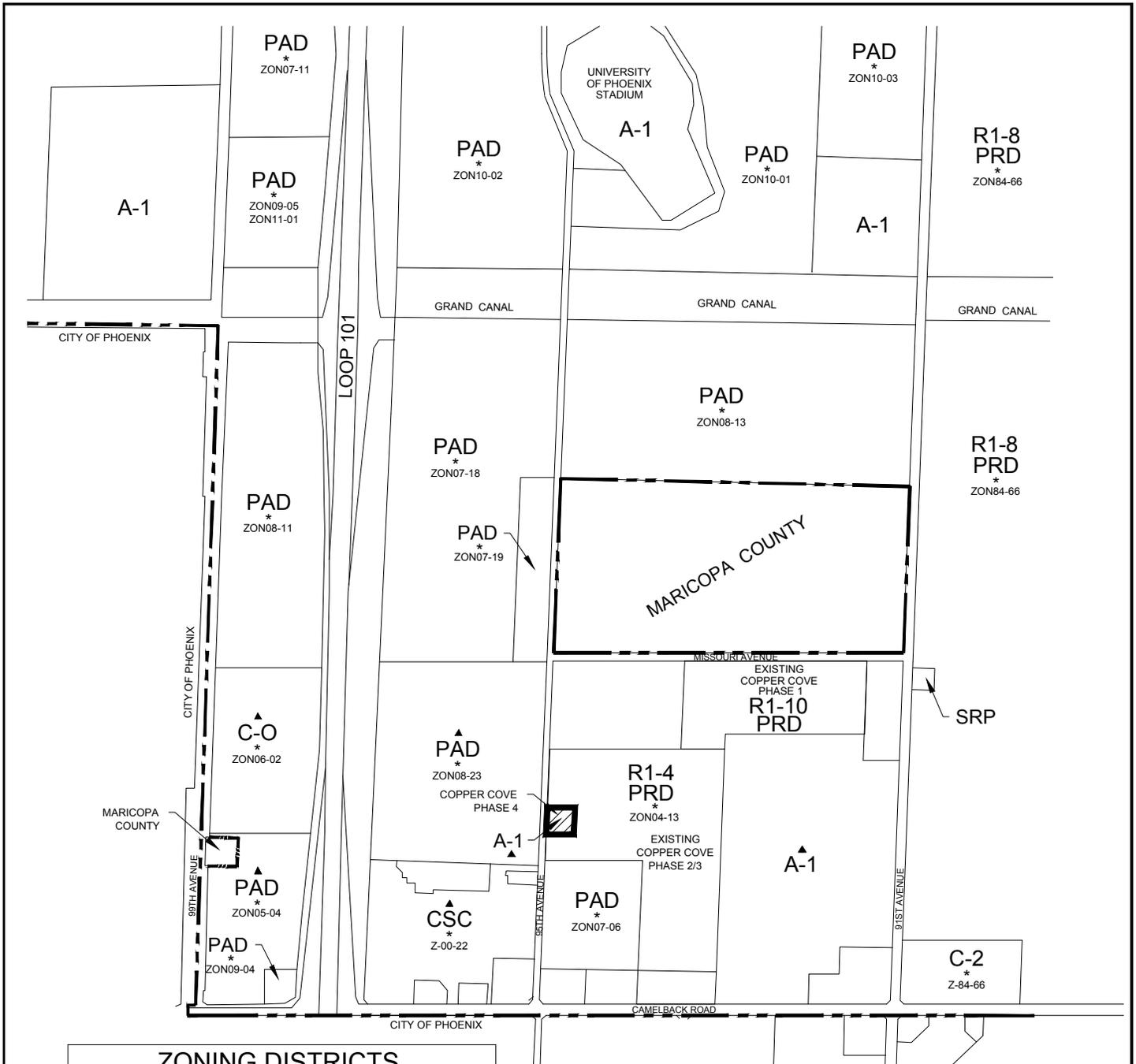
COPPER COVE PHASE 4

GLENDALE, ARIZONA

AERIAL MAP

JOB #	9700-01-001
DATE	01/2014
SCALE	NONE
DRAWN	CRS
EXHIBIT	C

**EXHIBITS D1 and D2
EXISTING AND PROPOSED
ZONING EXHIBITS**



ZONING DISTRICTS	
ZONE	GENERAL USE
A-1	Agricultural
R1-4	Single Residence
R1-8	Single Residence
C-O	Commercial Office
C-2	General Commercial
CSC	Commercial Shopping Center
PAD	Planned Area Development
PRD	Planned Residential Development

LEGEND

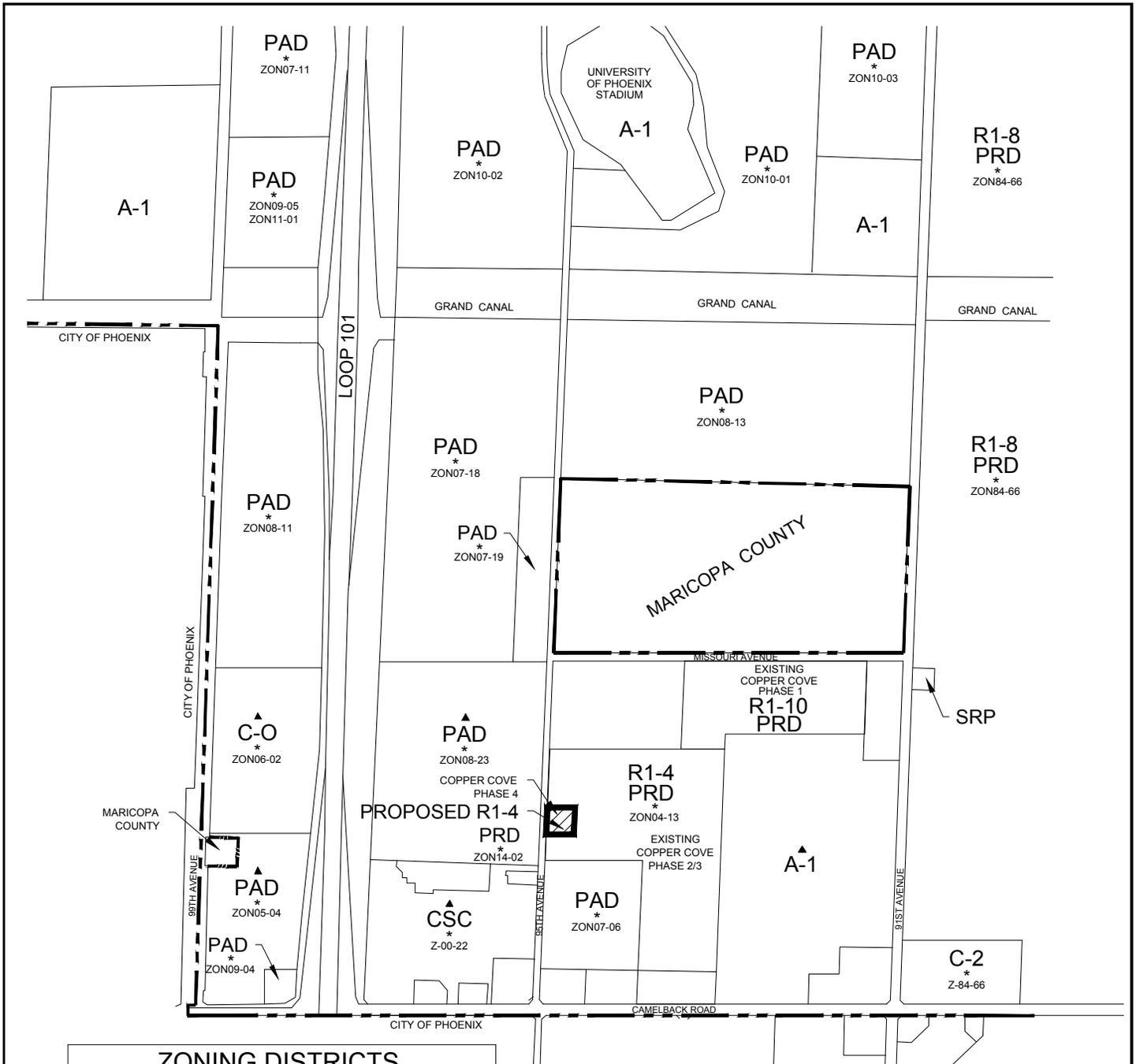
- CITY LIMITS
- ▲ ZONING APPROVAL PENDING ORDINANCE ADOPTION
- * DEVELOPMENT CONDITIONS ATTACHED TO ZONING APPROVAL (REFERENCE ZONING APPLICATION NUMBER)



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COPPER COVE PHASE 4
 GLENDALE, ARIZONA
EXISTING ZONING

JOB #	9700-01-001
DATE	01/2014
SCALE	NONE
DRAWN	CRS
EXHIBIT	D1



ZONING DISTRICTS	
ZONE	GENERAL USE
A-1	Agricultural
R1-4	Single Residence
R1-8	Single Residence
C-O	Commercial Office
C-2	General Commercial
CSC	Commercial Shopping Center
PAD	Planned Area Development
PRD	Planned Residential Development

LEGEND

- CITY LIMITS
- ▲ ZONING APPROVAL PENDING ORDINANCE ADOPTION
- * DEVELOPMENT CONDITIONS ATTACHED TO ZONING APPROVAL (REFERENCE ZONING APPLICATION NUMBER)



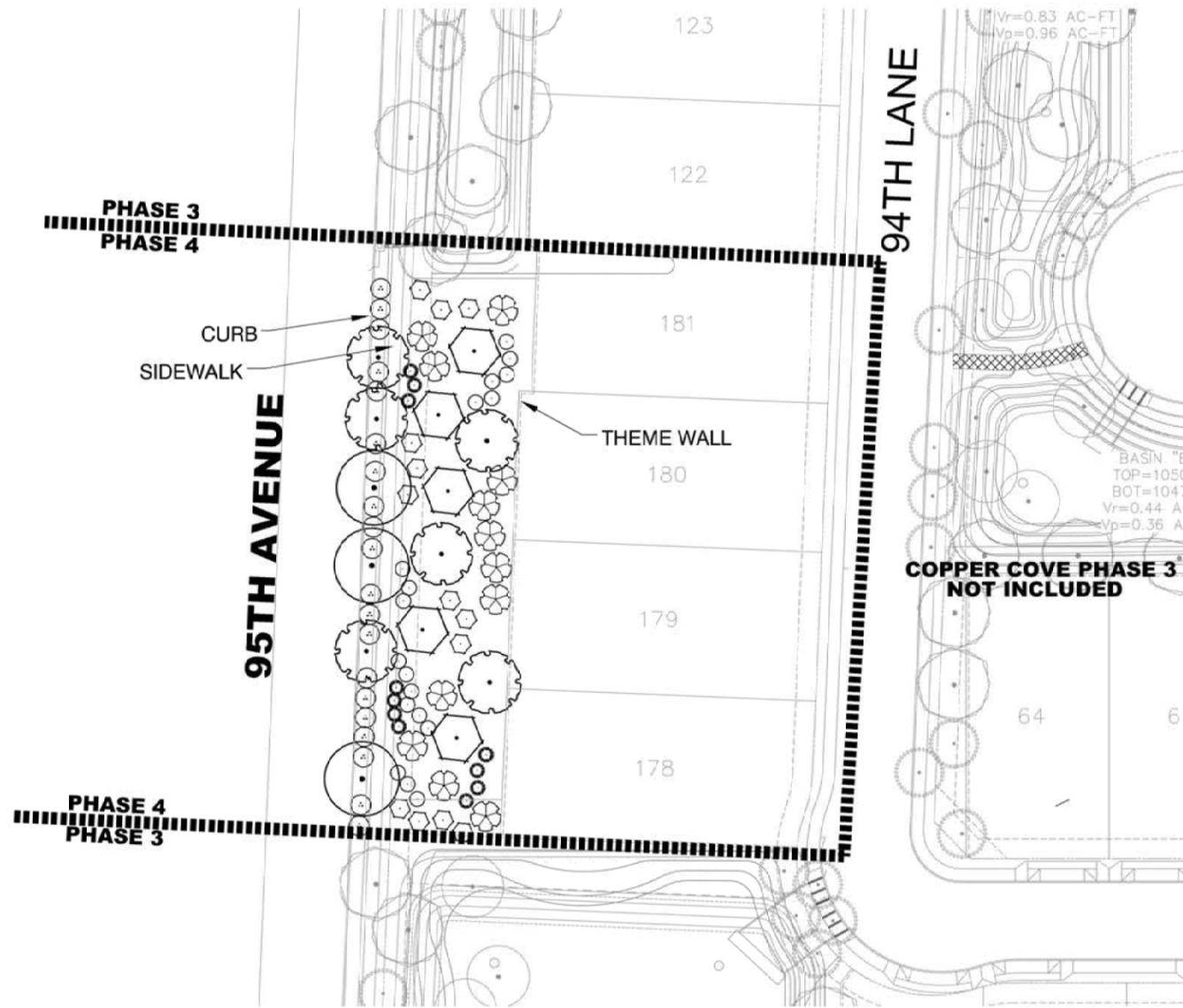
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COPPER COVE PHASE 4
 GLENDALE, ARIZONA
PROPOSED ZONING

JOB #	9700-01-001
DATE	01/2014
SCALE	NONE
DRAWN	CRS
EXHIBIT	D2

EXHIBIT E
CONCEPTUAL LANDSCAPE PLAN

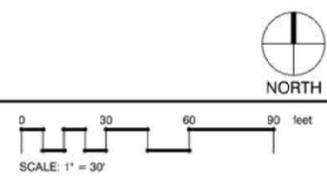
Copper Cove Phase 4 Preliminary Planting Plan



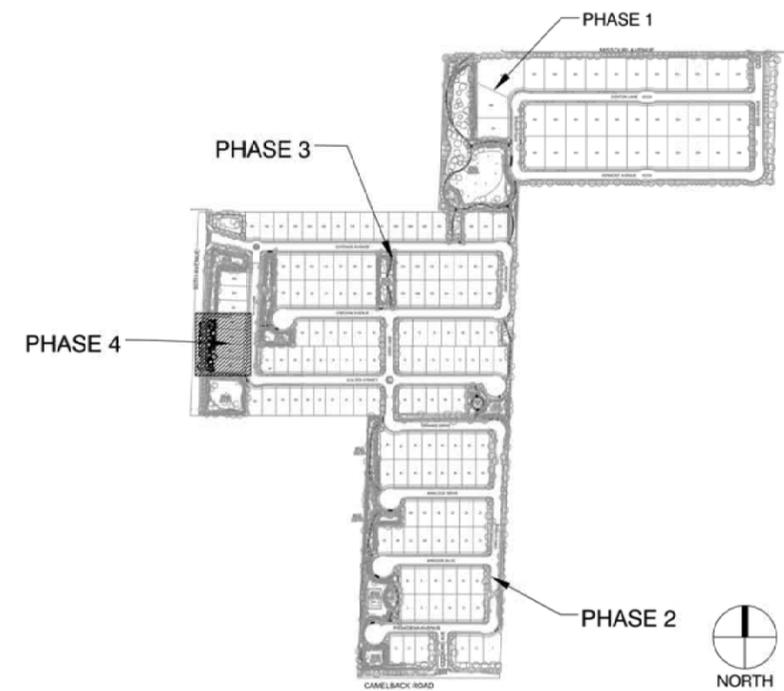
PLANT SCHEDULE

ACCENT TREES	QTY	COMMON NAME / BOTANICAL NAME	CONT
	5	SWEET ACACIA / ACACIA FARNESIANA SMALLII	24"BOX
DESERT SHADE TREES	QTY	COMMON NAME / BOTANICAL NAME	CONT
	3	BLUE PALO VERDE / CERODIUM FLORIDUM	24"BOX
TURF SHADE TREES	QTY	COMMON NAME / BOTANICAL NAME	CONT
	6	WILLOW ACACIA / ACACIA SALICINA	24"BOX
SHRUBS	QTY	COMMON NAME / BOTANICAL NAME	CONT
	12	RED BIRD OF PARADISE / CAESALPINIA PULCHERRIMA	5 GAL
	13	GREEN HOPSEED BUSH / DODONAEA VISCOSEA "GREEN"	5 GAL
	20	BREWSTER COUNTY BAROMETERBUSH / LELICOPHYLLUM CANDIDUM "THUNDER CLOUD" TM	5 GAL
	18	BAROMETERBUSH / LELICOPHYLLUM REVOLUTUM "HOUDINI" TM	5 GAL
	11	LINDHEIMER'S MUHLY / MUHLENBERGIA LINDHEIMERI "AUTUMN GLOW" TM	5 GAL

PLAN VIEW PHASE 4 LANDSCAPE PLAN



TOTAL LANDSCAPE TRACT AREAS - PHASE 4			
LOT	USE	AREA (SF)	AREA (AC)
TRACT A	LANDSCAPE, PEDESTRIAN ACCESS	9,670 SF	.222 AC



KEY MAP

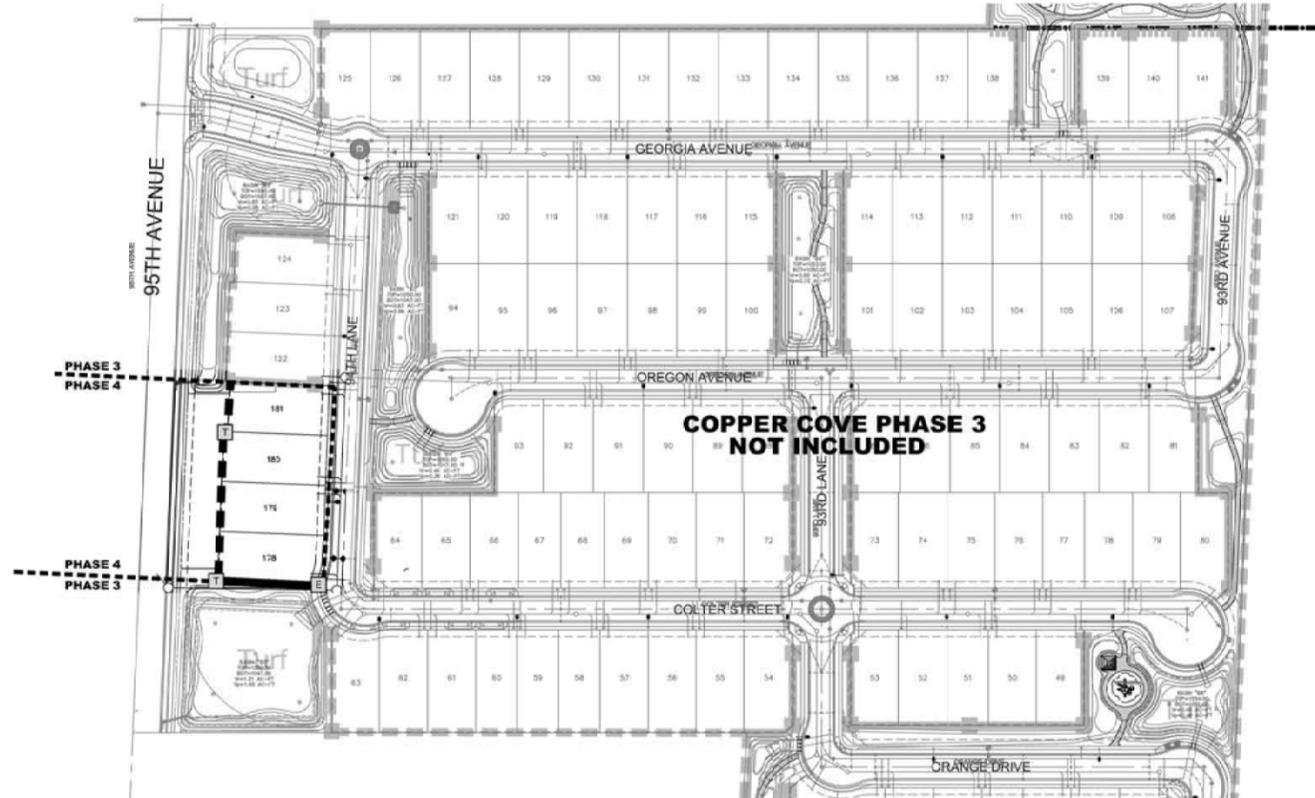
Preliminary Landscape Plan

NO.	REVISION	DATE

Copper Cove Phase 4
Preliminary Landscape Plan
95th Avenue and Camelback Road



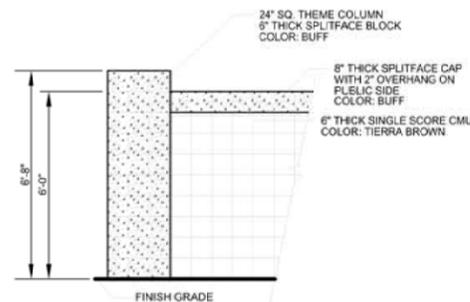
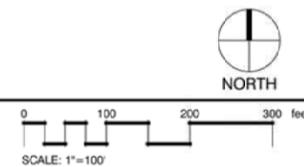
Copper Cove Phase 4 Preliminary Wall Plan



WALL SCHEDULE

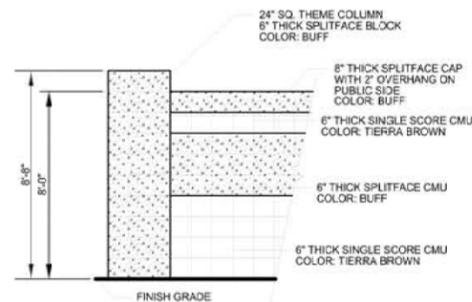
- V View Wall Column
- E End of Wall Column
- T Theme Column
- 6' Theme Wall
- 8' Theme Wall
- 6' View Wall

PLAN VIEW PHASE 4 WALL PLAN



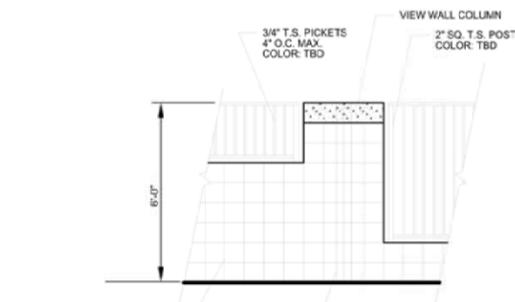
6' THEME WALL

Standard Wall shall be used on all interior walls



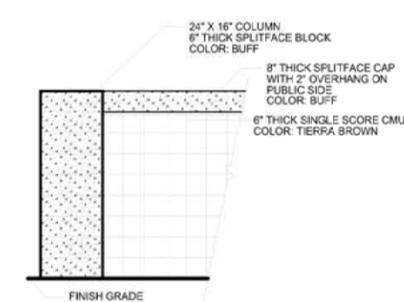
8' THEME WALL

Theme Wall shall be used along all arterial roads



VIEW FENCE

View Fence shall be used along the rear yards that back on large open space areas



END OF WALL COLUMN

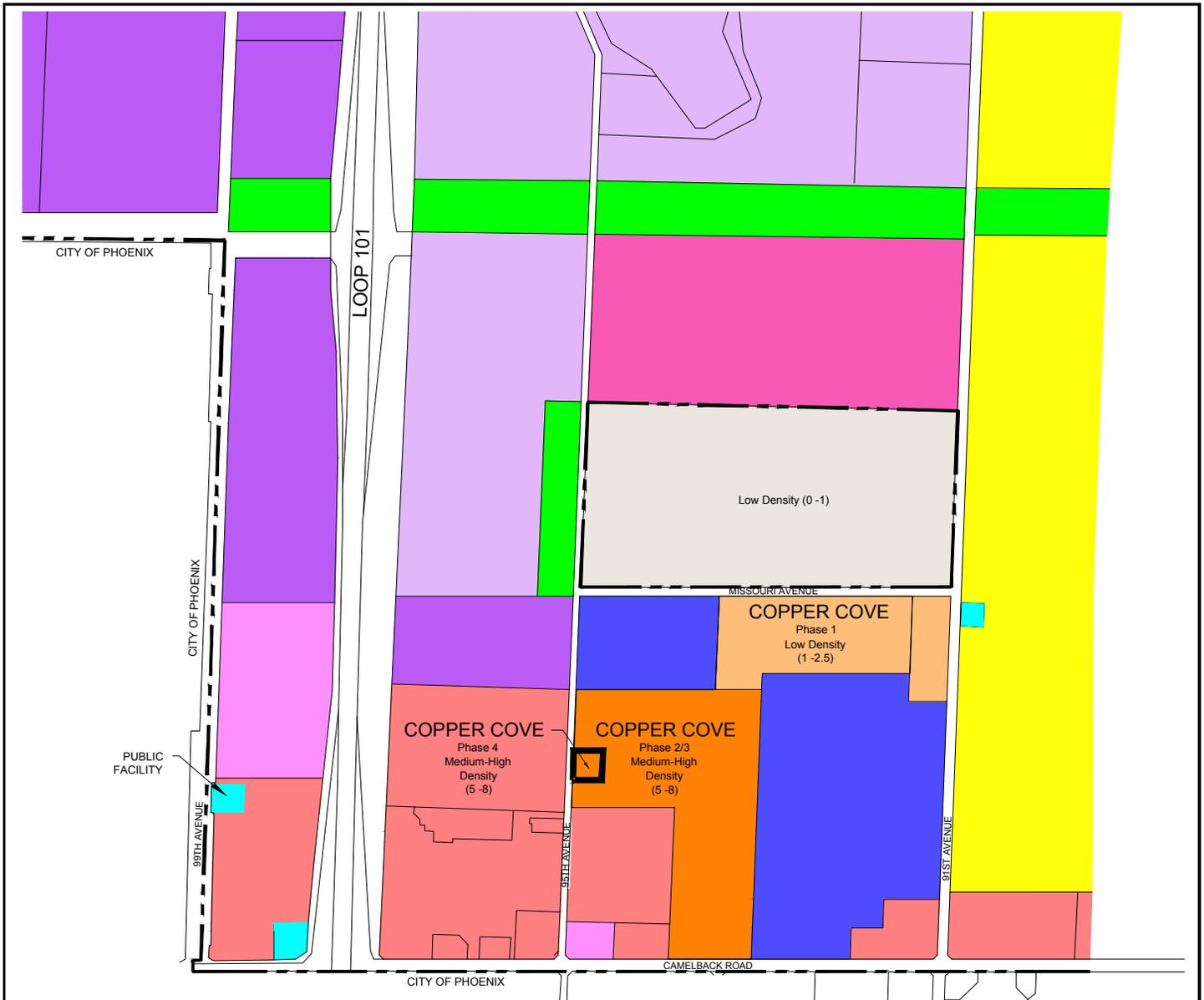
NO.	REVISION	DATE

Copper Cove Phase 4 Preliminary Landscape Plan

95th Avenue and Camelback Road



EXHIBIT F
GENERAL PLAN LAND USE MAP



LAND USE DESIGNATIONS	
	Low Density Residential: 0 - 1 du/ac
	Low Density Residential: 1- 2.5 du/ac
	Medium Density Residential: 2.5 - 3.5 du/ac
	Medium High Density Residential: 5 - 8 du/ac
	Office
	Planned Commercial
	Entertainment Mixed-Use
	Corporate Commerce Center
	Business Park
	Educational
	Parks and Open Space
	Public Facility

LEGEND

-  CITY LIMITS
-  PROJECT BOUNDARY



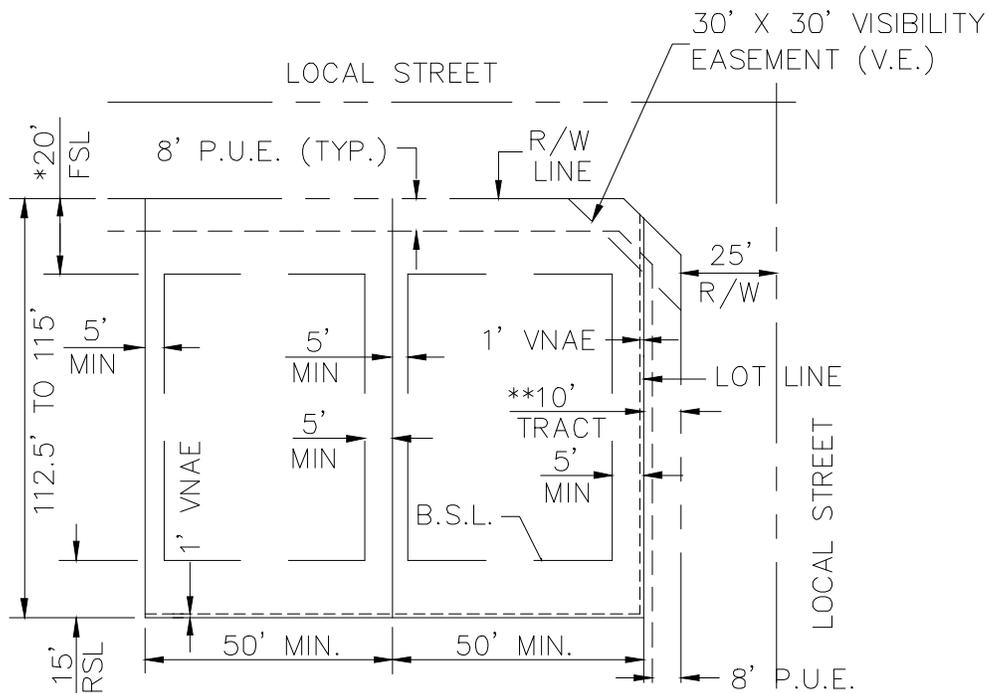
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COPPER COVE PHASE 4
GLENDALE, ARIZONA
GENERAL PLAN LAND USE MAP

JOB #	9700-01-001
DATE	01/2014
SCALE	NONE
DRAWN	CRS
EXHIBIT	F

EXHIBIT G
TYPICAL LOT SETBACKS



R1-4 PRD
TYPICAL LOT DETAIL
 (50' TO 58' WIDTH LOTS)
 N.T.S.

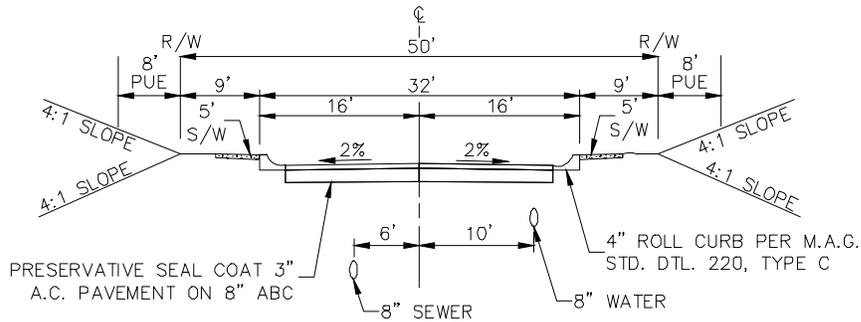
- * A MINIMUM OF 10' FRONT SETBACK (FSL) IS PERMITTED TO LIVING AREAS OR SIDE ENTRY GARAGES.
- ** A 10' (MIN) TRACT SHALL BE PROVIDED ADJACENT TO A STREET SIDE YARD SETBACK.
- MINIMUM DISTANCE BETWEEN BUILDING ON ADJACENT LOTS IS 10'.
- MAXIMUM LOT COVERAGE IS 50%

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 14100 North 83rd Avenue Ste 250 Phone: (480) 629-8830
 Peoria, Arizona 85381 www.bowmanconsulting.com

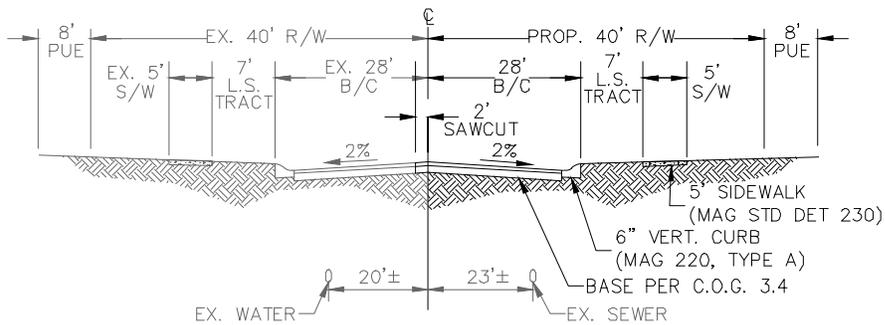
COPPER COVE PHASE 4
 GLENDALE, ARIZONA
TYPICAL LOT SETBACK - R1-4 PRD

JOB #	9700-01-001
DATE	01/2014
SCALE	NONE
DRAWN	CRS
EXHIBIT	G

EXHIBIT H
STREET CROSS SECTIONS



1 TYPICAL LOCAL STREET SECTION
 LOOKING NORTH OR WEST
 N.T.S.



2 95TH AVENUE SECTION
 LOOKING NORTH
 N.T.S.

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CONSULTING

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 Peoria, Arizona 85381 www.bowmanconsulting.com

COPPER COVE PHASE 4

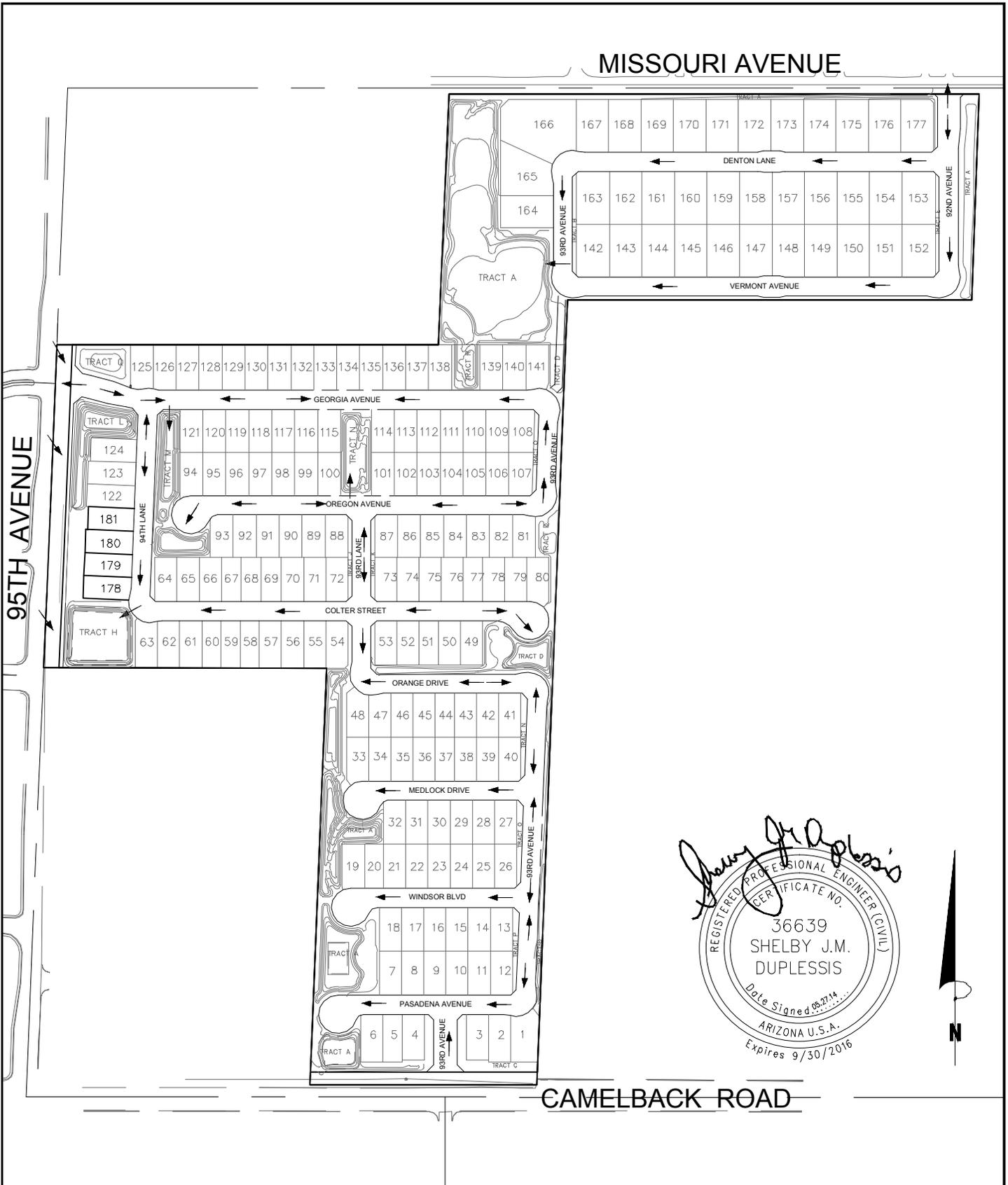
GLENDALE, ARIZONA

STREET CROSS SECTIONS

JOB #	9700-01-001
DATE	05/2014
SCALE	NONE
DRAWN	CRS

EXHIBIT **H**

**EXHIBIT I
DRAINAGE PLAN**



Shelby J. Duplessis
 REGISTERED PROFESSIONAL ENGINEER (CIVIL)
 CERTIFICATE NO. 36639
 SHELBY J.M. DUPLESSIS
 Date Signed 05/27/14
 ARIZONA U.S.A.
 Expires 9/30/2016

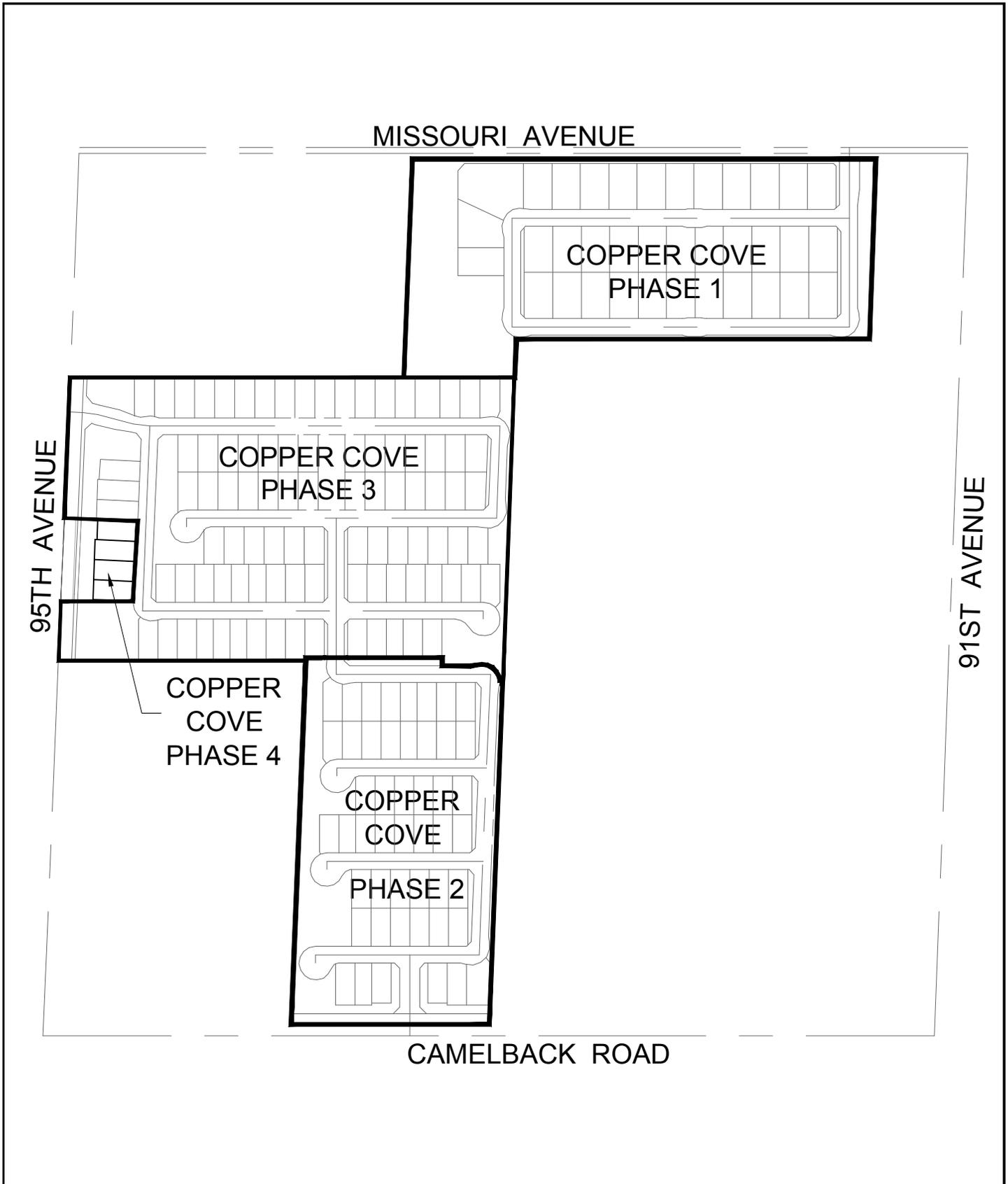


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CONSULTING
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 Peoria, Arizona 85381 www.bowmanconsulting.com

COPPER COVE PHASE 4
 GLENDALE, ARIZONA
DRAINAGE PLAN

JOB #	9700-01-001
DATE	05/2014
SCALE	NONE
DRAWN	CRS
EXHIBIT	I

EXHIBIT J
PHASING PLAN



Bowman
CONSULTING
 14100 North 83rd Avenue Ste 250 Phone: (480) 629-8830
 Peoria, Arizona 85381 www.bowmanconsulting.com

COPPER COVE PHASE 4
 GLENDALE, ARIZONA
PHASING PLAN EXHIBIT

JOB #	9700-01-001
DATE	01/2014
SCALE	NONE
DRAWN	CRS
EXHIBIT	J

EXHIBIT K
SCHOOL FACILITIES

May 19, 2014

Tolleson Union High School District
Attn: Karyn Eubanks
9801 W. Van Buren Street
Tolleson, AZ 85353

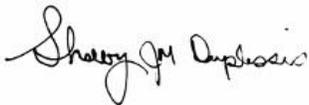
Dear Ms. Eubanks:

This letter is being sent to you pursuant to the City of Glendale Planning Division School District Notification Policy for zoning classification changes. Please be advised that we are applying for a zoning change that changes the zoning designation of a 1.01 acre site located on the east side of 95th Avenue and north of Camelback Road. This request is to rezone from A-1 (Agricultural) to R1-4 Planned Residential Development. Our application will result in a total increase of 4 units. This will complete the previously approved Copper Cove Phase 3 as per attached Phasing Exhibit.

We have attached a proposed site plan for your reference. You are requested to complete the attached Certificate of Adequate School Facilities in reference to Zoning Application ZON14-02. Please return the completed form in the return envelope included.

If you would like to discuss the proposal, I would be happy to answer any questions or hear any concerns that you may have regarding this proposal. I can be reached at **623.299.8981**.

Sincerely,



ShelbyJM Duplessis, PE, LEED AP
Senior Project Manager

**Certification of Adequate School Facilities
for
Residential Rezoning – Glendale, Arizona
Revised November 2001**

Glendale City Ordinance No. 2104 applies to applications for residential rezoning which will increase the projected number of students for any school district's attendance area. This includes applications for rezoning which change zoning classifications from non-residential to residential and rezonings, which change residential zoning classifications to a higher density classification.

To be completed by City Staff

City Application Number: ZON 14-02 and OO14-01

City Staff Contact: Thomas Ritz Telephone: 623.930.2588

Property Address: 5850 W. Glendale Avenue, Suite 212, Glendale, AZ 85301

Property Size: 1.01 Acres

Existing Zoning: A-1 (Agricultural) Proposed Zoning: R1-4 Planned Residential Development

Existing Dwelling Unit Potential: Single Family: X Multi-Family: _____

Proposed # of Dwelling Units: Single Family: 4 Multi-Family: _____

Net Increase in Dwelling Units from Existing Zoning:

Single Family: 4 Multi-Family: _____

Affected School District(s): Elementary: Pendergast Elementary School District

Middle: Pendergast Elementary School District

High School: Tolleson Union High School District

Impacted School(s): Elementary: Sunset Ridge Elementary

Middle: Sunset Ridge Elementary

High School: Copper Canyon High School

Applicant/Contact for Rezoning Application: Bowman Consulting Group - Shelby Duplessis

Address: 14100 N. 83rd Avenue, Suite 250, Peoria, AZ 85381

Telephone: 623.299.8981 Fax: 602.800.5103

Email: sduplessis@bowmanconsulting.com

Sent for Certification to: Karyn Eubanks - Tolleson Union High School District

Referred Date: 5-19-14

Response Deadline: 5-31-14

If no response is received by this date, it will be assumed that there are adequate school facilities for the proposed rezoning.

Response Date: 5-27-14

**Certification of Adequate School Facilities
for
Residential Rezoning – Glendale, Arizona
Revised November 2001**

To Be Completed By School Official (Choose One)

1. The school district has adequate facilities to accommodate the projected number of new students within the school district attendance area that will be generated by this rezoning request.
2. The school district will have adequate school facilities by a planned capital improvement to be constructed within one (1) year and located within the school district's attendance area affected by this residential rezoning request.
3. The school district has determined an existing or proposed charter school can provide adequate school facilities.
4. The applicant and the school district have entered into an agreement to provide, or help to provide, adequate school facilities in a timely manner within the school district's attendance area affected by this residential rezoning request. Details of this agreement are not required.
5. The school does not have adequate school facilities to accommodate projected growth attributable to the rezoning.

If response number five (5) is selected, please provide specific details regarding the factors contributing to the lack of adequate facilities as related to the School Facilities Board Guidelines. Indicate where facilities are not adequate. Attach additional details as necessary.

- | | |
|--|-------|
| A. School Site | _____ |
| B. Academic Classroom Space | _____ |
| C. Classroom Fixtures and Equipment | _____ |
| D. Libraries and Media Centers | _____ |
| E. Auditoriums and Multipurpose Rooms | _____ |
| F. Technology | _____ |
| G. Transportation | _____ |
| H. Science Facilities | _____ |
| I. Arts Facilities | _____ |
| J. Vocational Educational Education Facilities | _____ |
| K. Physical Education-Comprehensive Health Program | _____ |
| L. Other School Facility Areas and Equipment | _____ |
| a. Compliance with Building Codes | _____ |
| b. Building Systems | _____ |
| c. Building Soundness | _____ |
| d. Minimum Gross Square Footage | _____ |
| e. Critical Health or Safety Issues | _____ |

School District TOLLESON UNION HIGH SCHOOL DISTRICT #214
 Representative Name (Please Print) ARDESI CUNNINGHAM
 Representative Signature [Signature]
 Title SUPERINTENDENT Date 5-27-14 Application No. _____

The completed Certification of Adequate School Facilities should be forwarded to:

Planner Name, Title
 City of Glendale Planning
 5850 West Glendale Avenue, Suite 212
 Glendale, Arizona 85301

May 19, 2014

Pendergast Elementary School District
Attn: Brian Mee
3802 N. 91st Avenue
Phoenix, AZ 85037

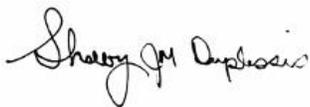
Dear Brian Mee:

This letter is being sent to you pursuant to the City of Glendale Planning Division School District Notification Policy for zoning classification changes. Please be advised that we are applying for a zoning change that changes the zoning designation of a 1.01 acre site located on the east side of 95th Avenue and north of Camelback Road. This request is to rezone from A-1 (Agricultural) to R1-4 Planned Residential Development. Our application will result in a total increase of 4 units. This will complete the previously approved Copper Cove Phase 3 as per attached Phasing Exhibit.

We have attached a proposed site plan for your reference. You are requested to complete the attached Certificate of Adequate School Facilities in reference to Zoning Application ZON14-02. Please return the completed form in the return envelope included.

If you would like to discuss the proposal, I would be happy to answer any questions or hear any concerns that you may have regarding this proposal. I can be reached at **623.299.8981**.

Sincerely,



ShelbyJM Duplessis, PE, LEED AP
Senior Project Manager

**Certification of Adequate School Facilities
for
Residential Rezoning – Glendale, Arizona
Revised November 2001**

Glendale City Ordinance No. 2104 applies to applications for residential rezoning which will increase the projected number of students for any school district's attendance area. This includes applications for rezoning which change zoning classifications from non-residential to residential and rezonings, which change residential zoning classifications to a higher density classification.

To be completed by City Staff

City Application Number: ZON 14-02 and OO14-01

City Staff Contact: Thomas Ritz Telephone: 623.930.2588

Property Address: 5850 W. Glendale Avenue, Suite 212, Glendale, AZ 85301

Property Size: 1.01 Acres

Existing Zoning: A-1 (Agricultural) Proposed Zoning: R1-4 Planned Residential Development

Existing Dwelling Unit Potential: Single Family: X Multi-Family: _____

Proposed # of Dwelling Units: Single Family: 4 Multi-Family: _____

Net Increase in Dwelling Units from Existing Zoning:

Single Family: 4 Multi-Family: _____

Affected School District(s): Elementary: Pendergast Elementary School District

Middle: Pendergast Elementary School District

High School: Tolleson Union High School District

Impacted School(s): Elementary: Sunset Ridge Elementary

Middle: Sunset Ridge Elementary

High School: Copper Canyon High School

Applicant/Contact for Rezoning Application: Bowman Consulting Group - Shelby Duplessis

Address: 14100 N. 83rd Avenue, Suite 250, Peoria, AZ 85381

Telephone: 623.299.8981 Fax: 602.800.5103

Email: sduplessis@bowmanconsulting.com

Sent for Certification to: Pendergast Elementary School District

Referred Date: 5-19-14

Response Deadline: 5-31-14

If no response is received by this date, it will be assumed that there are adequate school facilities for the proposed rezoning.

Response Date: 5-24-14

**Certification of Adequate School Facilities
for
Residential Rezoning – Glendale, Arizona
Revised November 2001**

To Be Completed By School Official (Choose One)

1. The school district has adequate facilities to accommodate the projected number of new students within the school district attendance area that will be generated by this rezoning request.
2. The school district will have adequate school facilities by a planned capital improvement to be constructed within one (1) year and located within the school district's attendance area affected by this residential rezoning request.
3. The school district has determined an existing or proposed charter school can provide adequate school facilities.
4. The applicant and the school district have entered into an agreement to provide, or help to provide, adequate school facilities in a timely manner within the school district's attendance area affected by this residential rezoning request. Details of this agreement are not required.
5. The school does not have adequate school facilities to accommodate projected growth attributable to the rezoning.

If response number five (5) is selected, please provide specific details regarding the factors contributing to the lack of adequate facilities as related to the School Facilities Board Guidelines. Indicate where facilities are not adequate. Attach additional details as necessary.

- | | |
|--|-------|
| A. School Site | _____ |
| B. Academic Classroom Space | _____ |
| C. Classroom Fixtures and Equipment | _____ |
| D. Libraries and Media Centers | _____ |
| E. Auditoriums and Multipurpose Rooms | _____ |
| F. Technology | _____ |
| G. Transportation | _____ |
| H. Science Facilities | _____ |
| I. Arts Facilities | _____ |
| J. Vocational Educational Education Facilities | _____ |
| K. Physical Education-Comprehensive Health Program | _____ |
| L. Other School Facility Areas and Equipment | _____ |
| a. Compliance with Building Codes | _____ |
| b. Building Systems | _____ |
| c. Building Soundness | _____ |
| d. Minimum Gross Square Footage | _____ |
| e. Critical Health or Safety Issues | _____ |

School District Pendergast ESD
 Representative Name (Please Print) Brian Mee
 Representative Signature Brian Mee
 Title Chief Plan Officer Date 5/29/14 Application No. _____

The completed Certification of Adequate School Facilities should be forwarded to:

Planner Name, Title
 City of Glendale Planning
 5850 West Glendale Avenue, Suite 212
 Glendale, Arizona 85301

Citizen Participation Plan
for
Copper Cove Phase 4
Glendale, AZ

Prepared by:

Bowman Consulting Group, Ltd.

14100 N. 83rd Avenue, Suite 250

Peoria, AZ 85381

August 28, 2014

ZON14-02 and PP-14-01

1. Proposed Project

Copper Cove Phase 4 is a 1.01 acre proposed 4 lot subdivision on the east side of 95th Avenue and north of Camelback Road in Glendale, Arizona. The request is for a Rezone from A-1 (Agricultural) to R1-4 Planned Residential Development. The Planned Residential Development (PRD) will complete Copper Cove Phase 2 and 3, with the same lot sizes, decorative walls, and themed landscape.

2. Public Notification Technique

Planning has determined that a notification letter is the most appropriate public notification technique for this project. A copy of the notification letter is included in the CP Plan.

3. Notification

The notification area map and a list of property owners are attached in this report. All property owners in the notification area will be notified. Additionally all interested parties, including but not limited to Registered Neighborhood Groups, Homeowners Associations', as well as those listed on the Additional Notification list. As required, labels for each list have been included in this submittal.

4. Interested Parties

Notification was sent on August 6, 2014 to all parties within 500' surrounding the property boundaries who may be affected, directly or indirectly as well as any individuals whom have expressed an interest or a concern. As required, labels for each list have been included in this submittal.

5. Potential Concerns of Interested Parties

All previous concerns were with residents north of Missouri with lots in Phase 1. No issues or concerns were raised for Phase 2/3 and no issues were raised for Copper Cove Phase 4 as well.

6. Communication with Citizens

Individuals are free to call or e-mail me at any time during the application process for comments or questions.

7. Public Notification of Changes

Another notification letter will be mailed if changes to the project occur before the advertised hearing date.

8. Coordination

Communication on any updates and citizen participation results will be communication to the project planner via e-mail or phone messages.

9. Schedule

Submitted to Project Planner for Review

Plan Implemented

Deadline for Citizen Participation Input

Citizen Participation Plan Report Submitted

July 2014

Early August 2014

Late August 2014

Late August, 2014

Notification Letter



August 6, 2014

**Subject: Copper Cove Phase Rezone Case #ZON14-02
Copper Cove Re-Plat Case# PP14-01**

Project Location: East side of 95th Avenue, North of Camelback Road

Dear Neighbor:

This letter is to inform you that DR Horton is applying to Rezone to R1-4 PRD (Planned Residential Development) development standards and a Re-Plat of Copper Cove Phase 2. The property is located north and east of the northeast corner of 95th Avenue and Camelback Road in the Yucca Council District. The requests will amend the existing 1.01 acre, A-1 Agricultural to R1-4 PRD and allow for an additional 4 lots in Copper Cove community.

The proposed project will be part of the Copper Cove Phases 2 and 3, which consists of 141 lots under the existing R1-4 PRD zoning district. The Re-Plat will add the four lots with lot sizes of 60' X 120' and 60'x125'.

I have included a site plan with this letter for your review. Please contact me with any comments or questions. Comments will also be accepted in writing, or by email, at the contact information below. You may also contact Tom Dixon with the City of Glendale at (623) 930-2553 or tdixon@glendaleaz.com.

Sincerely,

A handwritten signature in black ink that reads "Shelby JM Duplessis".

Bowman Consulting Group

Shelby JM Duplessis, PE, LEED AP
Senior Project Manager for Copper Cove
(623) 299-8981

sduplessis@bowmanconsulting.com

Property Owner List with Parcel Number and Parcel Map Attached

Additional Notification List:

Additional Notification List:

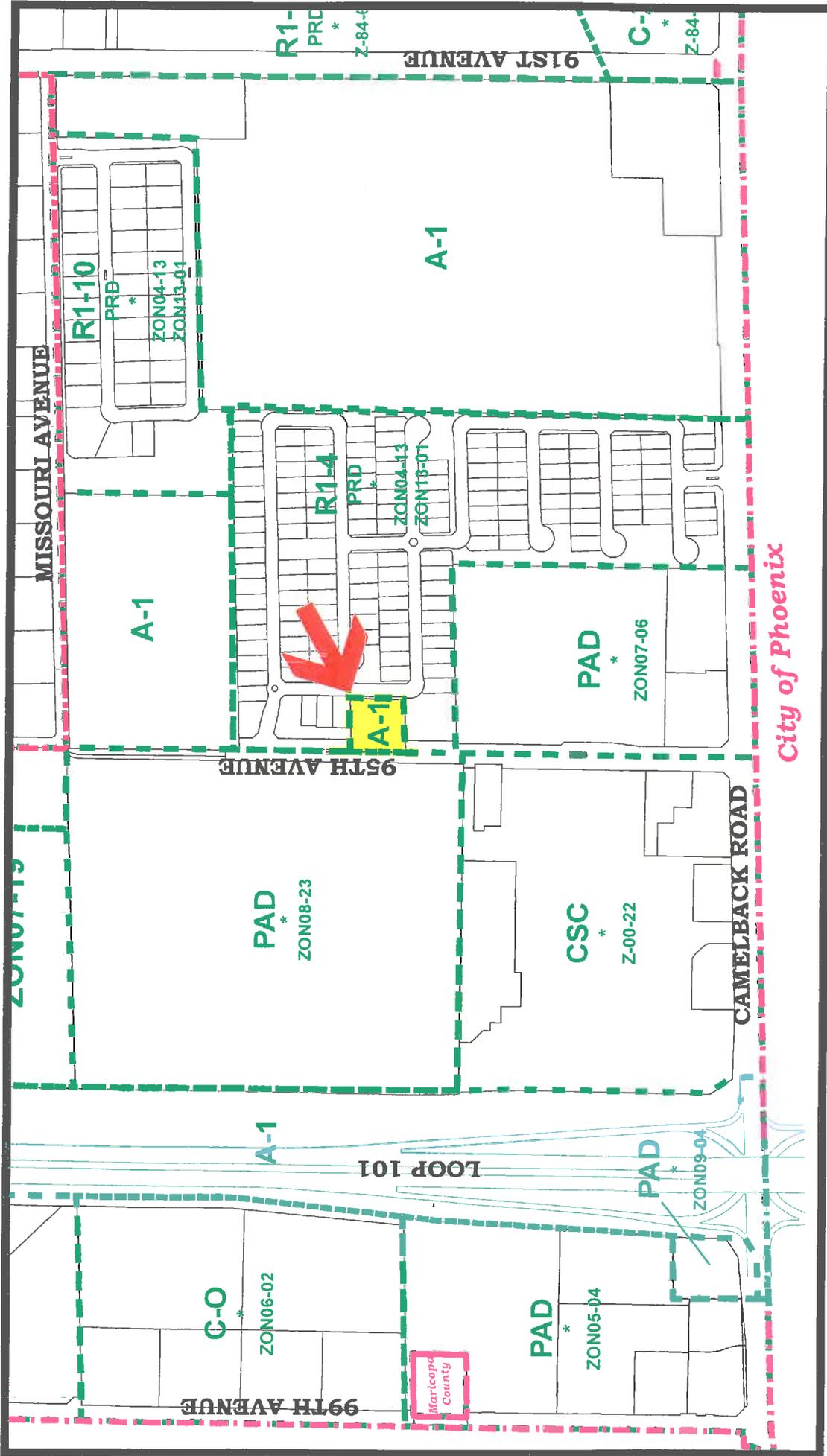
THOMAS DIXON, PLANNER
PLANNING
5850 W. GLENDALE AVENUE,# 212
GLENDALE, AZ 85301

CITY OF GLENDALE MAYOR'S
OFFICE
MAYOR WEIERS
5850 W. GLENDALE AVENUE
GLENDALE, AZ 85302

DIANA FIGUEROA, SENIOR
SECRETARY
PLANNING
5850 W. GLENDALE AVENUE, #212
GLENDALE, AZ 85301

GLENDALE CITY COUNCIL OFFICE
COUNCIL MEMBER CHAVIRA
5850 W. GLENDALE AVENUE
GLENDALE, AZ 85301

Interested Parties Notification List for Proposed Development – City Wide & Yucca



CASE NUMBER

ZON14-02

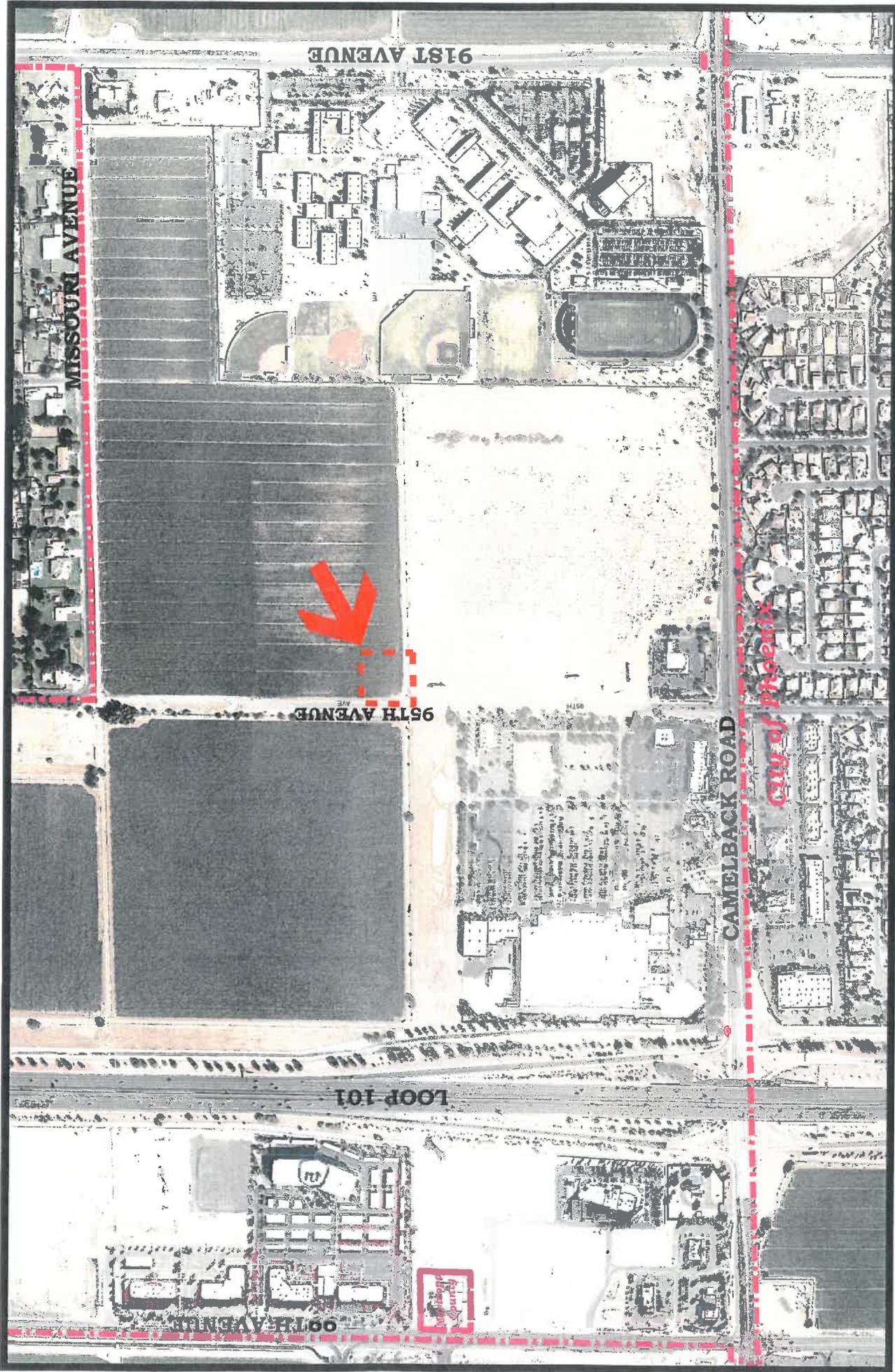
REQUEST

REZONE 1.013 ACRES FROM A-1 (AGRICULTURAL) TO R1-4 PRD (SINGLE RESIDENCE, PLANNED RESIDENTIAL DEVELOPMENT).



LOCATION

95TH AVENUE & CAMELBACK ROAD



Aerial Date: November 2012



CASE NUMBER

PP14-01
ZON14-02





Planning Division Staff Report

DATE: October 2, 2014 **AGENDA ITEM:** 3

TO: Planning Commission

FROM: Tabitha Perry, Assistant Planning Director
PRESENTED BY: Tom Dixon, Senior Planner

SUBJECT: PRELIMINARY PLAT (PP) PP14-01: COPPER COVE 4

REQUEST: Preliminary Plat approval for a four-lot subdivision.

APPLICANT/OWNER: Bowman Consulting Group / D.R. Horton, Inc.

REQUIRED ACTION: The Planning Commission must conduct a public hearing and determine if this request meets the required findings for Preliminary Plat approval.

RECOMMENDATION: The Planning Commission should approve subject to stipulations.

PROPOSED MOTION: Move to approve PP14-01 subject to the stipulations contained in the staff report.

SUMMARY: This is a proposal for a four-lot single family subdivision of 1.013 acres with a gross density of 3.95 dwelling units per acre. As proposed, the four lots would be incorporated into the previously approved 177-lot Copper Cove Subdivision. The proposed lot sizes vary from 7,200 to 7,500 square feet in size under this phase.

COMMISSION ACTION: Motion made by Commissioner _____ to recommend _____ subject to staff report stipulations. Motion seconded by Commissioner _____. The motion was _____ with a vote of ___ to ___.

DETAILS OF REQUEST:

General Plan Designation:

The property is designated as Medium-High Density Residential (MHDR), 5-8 du/ac.

Property Location and Size:

This undeveloped 1.013-acre parcel is located approximately 1,320 feet north of the northeast corner of 95th Avenue and Camelback Road.

History:

This property was annexed into the City of Glendale from Maricopa County on May 22, 2003. The concurrent ZON14-02 application to rezone the property from A-1 to R1-4 PRD (Single Residence, Planned Residential Development) is under consideration and would need to be approved prior to granting approval of this Preliminary Plat.

Design Review:

A Design Review application (DR14-24) is currently under review for the entire 181-lot Copper Cove Subdivision which includes the four proposed lots from this 1.013-acre site. In the process of approval for DR14-24, the applicant will need to satisfy a list of detailed guidelines to demonstrate that the Residential Design and Development Manual (RDDM) and Design Guidelines will be met with their entire house product line.

Project Details:

The proposed 4-lot single-family subdivision would tie directly into the previously approved Copper Cove 2 and 3 (final plat reviewed and approved under FP13-02). The platted lot sizes for Copper Cove 2 and 3 vary from 5,750 square feet to 9,179 square feet (average lot size: 6,783 square feet). The proposed lot sizes proposed Copper Cove 4 range in size from 7,200 to 7,500 square feet (average lot size: 7,350 square feet).

Access to these proposed four lots will be from North 94th Avenue which will also provide street frontage and access to lots in Copper Cove 3. Although the existing parcel fronts North 95th Avenue, no direct access will be provided. Instead, a decorative masonry wall and landscaping will be constructed to match the perimeter wall and landscaping along North 95th Avenue of the Copper Cove 3 approval.

If approved, Copper Cove 4 would be subject to the development standards applied through the PRD overlay as has been proposed for ZON14-02. A comparison between the standard R1-4 and those proposed for this development are identified below.

DEVELOPMENT STANDARDS	EXISTING R1-4 Standards	PROPOSED R1-4 PRD Standards
Minimum Lot Area	4,000 square feet	7,200 square feet
Minimum Lot Width	40 feet	60 feet
Minimum Lot Depth	80 feet	120 feet
Minimum Front Yard Setback	15 feet to living area 20 feet to front loaded garage	15 feet to living area or side loaded garage 20 feet to front loaded garage

Minimum Side Yards	0 or 10 feet (10 separation between buildings on adjacent	5 feet
Minimum Distance Between Buildings on Adjacent Lots	10 feet	10 feet
Minimum Rear Yards	15 feet	15 feet
Maximum Lot Coverage	45 percent	50 percent
Maximum Building Height	30 feet	30 feet

CITIZEN PARTICIPATION TO DATE:

Applicant's Citizen Participation Process:

On August 6, 2014, the applicant mailed 123 notification letters to adjacent property owners and interested parties notifying the public of the proposal. Staff received no inquiries regarding this project. The applicant's Citizen Participation Final Report is attached.

Planning Commission Public Hearing:

A Notice of Public Hearing was published in *The Glendale Star* on September 11, 2014. Notification postcards of the public hearing were mailed to adjacent property owners and interested parties on September 12, 2014. The property was posted by the applicant on September 12, 2014.

STAFF ANALYSIS:

Analysis:

- This request meets the requirements of the Subdivision and Minor Land Division Ordinance and meets the intent of providing suitable building lots under the Residential Design & Development Manual.
- The Preliminary Plat is consistent with the General Plan land use designation and compatible to the PRD development standards approved for Copper Cove 2 and 3.
- The request is consistent with the guidelines for the PRD by providing flexibility in the use of planned open space, variation in lot sizes, building setbacks and building orientation.
- The house products for these four lots, as stipulated, shall be subject to the approval of DR14-24 as it applies to the entirety of Copper Cove Subdivision, all phases.

RECOMMENDATION:

The request meets the requirements for Preliminary Plat approval and should be approved subject to the following stipulations:

1. Approval of the Preliminary Plat shall be conditioned by and subject to the City Council approval of companion application ZON14-02.

2. The 15-day appeal period for the Preliminary Plat shall not begin until the proposed rezoning (ZON14-02) is approved by the City Council.
3. The proposed four lots shall be incorporated into Copper Cove Subdivision and shall become part of the Copper Cove Homeowners' Association.
4. Development shall be in substantial conformance with the project narrative, the development plan, and the landscape and decorative wall plan for Copper Cove 4, as submitted on July 31, 2014.
5. Development of house products on individual lots for Copper Cove 4 shall be subject to the requirements of DR14-24.

ATTACHMENTS:

1. Revised Preliminary Plat, received September 4, 2014.
2. Applicant's Narrative, date stamped September 17, 2014.
3. Citizen Participation Final Report, approved September 18, 2014.
4. Vicinity Zoning Map.
5. Aerial Photograph, dated November 2012.

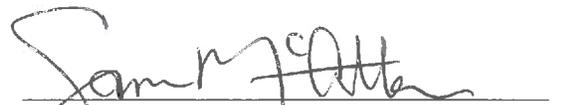
PROJECT MANAGER:

Tom Dixon, Senior Planner (623) 930-2553
tdixon@glendaleaz.com

REVIEWED BY:

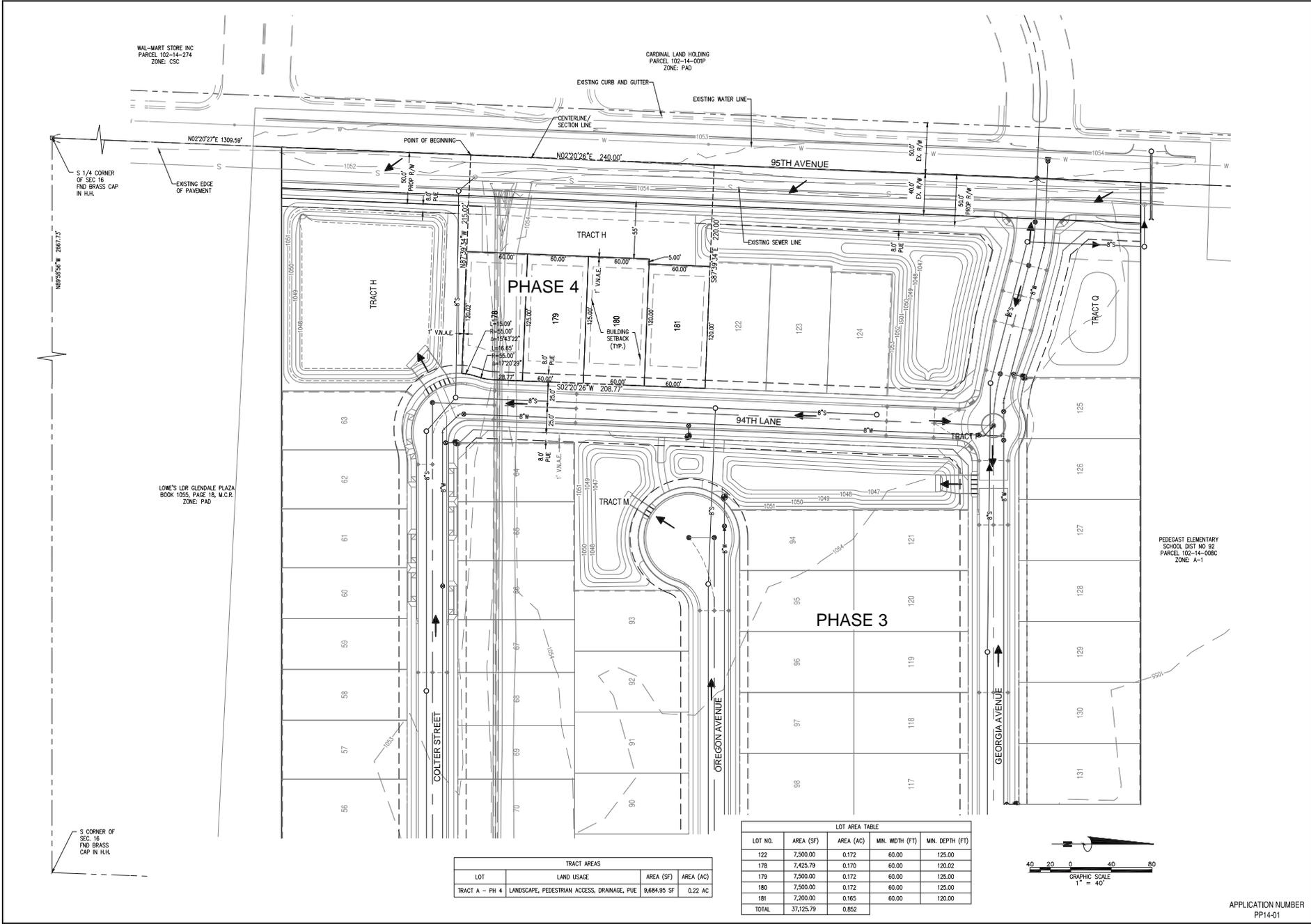


Planning Director



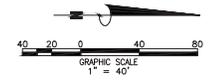
Development Services Department Director

TD/df



TRACT AREAS			
LOT	LAND USAGE	AREA (SF)	AREA (AC)
TRACT A - PH 4	LANDSCAPE, PEDESTRIAN ACCESS, DRAINAGE, PUE	9,684.95 SF	0.22 AC

LOT AREA TABLE				
LOT NO.	AREA (SF)	AREA (AC)	MIN. WIDTH (FT)	MIN. DEPTH (FT)
122	7,500.00	0.172	60.00	125.00
178	7,425.79	0.170	60.00	120.00
179	7,500.00	0.172	60.00	125.00
180	7,500.00	0.172	60.00	125.00
181	7,200.00	0.165	60.00	120.00
TOTAL	37,125.79	0.852		



DATE	DESCRIPTION
AC	CRS
DESIGN	DRAWN
SCALE	H: 1"=40'
	V: NONE
JOB No.	9700-01-001
DATE:	JUNE 2014

COPPER COVE PHASE 4
East Side of 95th Avenue, North of
Camelback Road
A Planned Residential Development

Prepared for:

D.R. Horton, Inc.

20410 North 19th Avenue

Phoenix, AZ 85027

Prepared By:

Bowman Consulting Group, Ltd.

14100 N. 83rd Avenue, Suite 250

Peoria, Arizona 85381

June 6, 2014

ZON14-002 and PP14-01

COPPER COVE PHASE 4 PLANNED RESIDENTIAL DEVELOPMENT



Copper Cove Phase 4 Planned Residential Development

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7.0	Development Standards.....	3
8.0	House Products.....	4
9.0	Landscaping, Entry Features, and Perimeter Walls.....	5
10.0	Grading and Drainage Concept.....	6
11.0	Transportation and Circulation.....	6
12.0	Public Improvements.....	6
13.0	School Facilities.....	7
14.0	PRD Required Findings.....	7

Exhibits

Exhibit A	Legal Description
Exhibit B	Vicinity Map
Exhibit C	Aerial Map
Exhibits D1 and D2	Existing and Proposed Zoning Exhibits
Exhibit E	Conceptual Landscape Plan
Exhibit F	General Plan Land Use Map
Exhibit G	Typical Lot Setbacks R1-4 PRD
Exhibit H	Street Cross Sections
Exhibit I	Drainage Plan
Exhibit J	Phasing Plan
Exhibit K	School Facilities

COPPER COVE PHASE 4 PLANNED RESIDENTIAL DEVELOPMENT



1.0 Introduction

Copper Cove Phase 4 is a proposed 4 lot single family residential development on approximately 1-acre located at the east side of 95th Avenue and north of Camelback Road as described in **Exhibit A**, Legal Description, and depicted on **Exhibit B**, Vicinity Map. This request is to rezone from A-1 (Agricultural) to R1-4 Planned Residential Development (See **Exhibits D1 and D2**, Existing and Proposed Zoning Exhibits).

The uniquely designed project is bound by Copper Cove Phase 2/3 on the north, south and east and vacant land zoned Planned Area Development (PAD) to the west (See **Exhibit C**; Aerial Map). This Planned Residential Development (PRD) will complete Copper Cove Phases 2 and 3, with the same lot sizes, decorative walls, and themed landscaping. Copper Cove Phase 4 will have an entrance off of 95th Avenue.

Table 1: Surrounding Land Use

North	Copper Cove Phase 3 subdivision
South	Copper Cove Phase 3 subdivision
East	Copper Cove Phase 3 subdivision
West	Vacant Land; Zoned PAD
Onsite	A-1 Agricultural

- **Buffering / Integration with Surrounding Area**

The lots adjacent to 95th Avenue will be buffered by enhanced landscaping within a dedicated open space tract. In addition, an 8-foot high theme wall will be provided along the back of the lots along 95th Avenue.

2.0 General Plan Conformance

The current General Plan classification of the project is Medium-High Density Residential (5-8 DU/AC) (See **Exhibit F**; General Plan Land Use Map). The Project will not be deviating from this Land Use categories.

3.0 PRD Development Plan

For this site the zoning category will be R1-4 PRD(See **Exhibits D1 and D2**; Existing and Proposed Zoning Exhibits). The intent of the PRD is to:

- Encourage innovative planning for neighborhoods by providing greater flexibility in design standards,
- Provide a diversity of lots with varied garage orientations creating varied setbacks which avoids uniformity and diversifies the streetscape,
- Create a neighborhood that has a unique character and special identity,
- Promote the efficient use of land by enabling the development of parcels which would otherwise be difficult to develop,

COPPER COVE PHASE 4 PLANNED RESIDENTIAL DEVELOPMENT



- Enhance the existing neighborhood by providing high end standards for quality homes within the new community and
- Complete the Copper Cove site by integrating the remnant 1-acre agricultural parcel into the overall community.

4.0 Site Data

Table 2: Copper Cove Phase 4 Land Use Table

R1-4 PRD Residential	1.01 Acres
Total Lots	4
Total Open Space	0.22 Acres (21.94%)
Gross Density	3.95 DU/AC

5.0 Project Design

Copper Cove Phase 4 is a residential community including 60' x 120'/125' lots. Copper Cove Phase 4 will add 4 lots within the site and complete the Copper Cove community with shared amenities. The project is designed to utilize the site as efficiently as possible given its shape and best fit within the existing community.

A pedestrian trail will be provided in Copper Cove Phase 2/3 and 1, which will connect the parcels and open space amenities throughout all of Copper Cove, including Phase 4. Open Space amenities will include but are not limited to; tot lots, ramadas, a volley ball court, pedestrian trails and turf areas.

Copper Cove Phase 2/3, located west, north and south of property is currently comprised of 141 lots plus these 4 additional proposed lots, which will offer a high quality of living for persons desiring single family detached homes within a small upscale neighborhood environment. Careful attention has been made to design a development that promotes variety with a distinct sense of community.

Access for this parcel is served by an entrance off of 95th Avenue to the west. The primary entrance will have an entry feature with monumentation and enhanced landscaping.

Copper Cove will feature lush desert landscaping with elegant wall design and entry monumentation. Materials used will complement the surrounding rural neighborhoods to the north while adding its own distinct signature. All plant material throughout the project will be chosen for their qualities of lushness and color capabilities.

• Development Schedule

Copper Cove Phase 4 will be developed concurrently with Phase 3. Development of Phase 4 will be dependent on and driven by market conditions (See **Exhibit J**; Phasing Plan).

COPPER COVE PHASE 4 PLANNED RESIDENTIAL DEVELOPMENT



6.0 Development Guidelines

Copper Cove Phase 4 will be developed under the R1-4 residential zoning district with a PRD overlay. Copper Cove Phase 4 has met the intent of the City's guidelines. Copper Cove, through its design, has accomplished all of the engineering, land use and design expectations of the surrounding community, and required by the city, to make this project part of a wonderful community for future homeowners and pleasing to existing neighbors.

Coordination has occurred with the design team and staff on developing six basic design elements for the community: Open Space and Amenities, Perimeter Improvements, Streets, Lot Layout and Setbacks, Landscape and Lot Size. The requirements as outlined in the Residential Design and Development Manual have been met and the project correlates with the approved Copper Cove Phase 2/3 project surrounding this 1-acre property.

7.0 Development Standards

Copper Cove Phase 4 has a proposed total of 4 lots. The development standards established for this project have been carefully considered to allow for flexibility within this unique neighborhood.

Table 3: R1-4 PRD Site Data Table

R1-4 PRD Parcel	Phase 4	Phases 2, 3, and 4
Gross Area	1.01 acres	39.65 acres
Open Space Landscaping & Retention	0.22 acres (21.94%)	7.60 acres (19.15%)
Net Acres	4 lots (60' x 120'/125') – 0.68 acres	145 lots (85' x 138', 60' x 120'/125'/112.5' and 58'/53'/52'/50' x 115') – 38.74 acres
Avg. Lot Size	7,406 sf	6,790 sf
Min. Lot Width	60 feet	50 feet
Avg. Lot Width	60 feet	58 feet
Gross Density	3.95 DU/AC	3.66 DU/AC

The standards that exceed the R1-4 standards are shown in bold in the table on the following page. This rezone to PRD will create the opportunity for variations to the minimum standards (See the Typical Lot Details in **Exhibit G**; Typical Lot Setbacks).

COPPER COVE PHASE 4 PLANNED RESIDENTIAL DEVELOPMENT



Table 4: R1-4 PRD Standards Table

	City of Glendale R1-4 Standards	Proposed R1-4 PRD Standards
Minimum Net Lot Area	4,000 sf	7,406 sf
Minimum Lot Width	40'	60'
Minimum Lot Depth	80'	120'/125'
Minimum Front Setback (measured from property line)	15' to living area or side entry garage, 20' to front loaded garage, measured from property line to face of garage	10' to living area or side entry garage, 20' to front loaded garage, measured from property line to face of garage
Minimum Rear Setback	15'	15'
Minimum Side Setback	0' and 10'	5' (10' combined)
Minimum Street Sideyard Setback	10'	5' (with 10' side tract)
Maximum Structure Height (1)	30'	30'
Maximum Percentage Lot Coverage	45%	50%
Minimum distance between building on adjacent lots	10'	10'

1-Two story maximum, refer to Section 7.300 for accessory buildings.

***Encroachments:** Fireplaces, bay windows, eaves, media niches, and basement window casings may encroach into the side setback a maximum of 2-1/2 feet for a total length not to exceed 10 feet on any building elevations.

Standard Alterations: Copper Cove Phase 4 will match/utilize the already approved house product and lot sizes as Phase 2/3 which require the 5/10 side yard setback; 10' front to allow street diversity and increased lot coverage to 50%, thus allowing more design options including patios and larger homes.

8.0 House Products

To integrate best with the surrounding development Copper Cove Phase 4 will utilize the same exact House Product Design per the City of Glendale Residential Design and Development Manual, as previously approved for Copper Cove Phase 2/3 by the City of Glendale. The R1-4 PRD lots will offer a minimum of six floor plans and three different elevations for each floor plan to its residents. All materials, colors and styles will comply with the theme of the overall development. All main exterior colors will be variations of earth tones. A separate application for design review of the house product will be submitted. Although this does not meet the required four elevations as per the Residential Design and Development Manual, there are eighteen different options for four lots and it will match the House Product Design for Copper Cove Phase 2/3.

The proposed floor plans in the R1-4 PRD portion of the development will vary in size from 1,800 square feet up to 4,000 square feet. At least three distinct

COPPER COVE PHASE 4 PLANNED RESIDENTIAL DEVELOPMENT



elevation variations will be offered with additional exterior options available for homebuyers to further diversify their home. Each of the floor plans can be easily altered based on buyer's preferences to allow homebuyers to customize floor plans to fit their specific needs.

Both products provide for variation in massing by dramatically changing orientation of the living areas and garages. The garage orientation varies between a side-entry and recessed on alternating lots. This large amount of variation assures a varied streetscape that is not dominated by garage doors. If any other product is offered, it will meet the guidelines as outlined below.

Each home shall include the following:

1. Stucco exterior with accents
2. Covered rear patio integrated into the design of the home
3. Ground mounted AC Units
4. Three color variations of a concrete tile roof
5. Stucco accents and window treatments on all windows and entries
6. Two-car garage with standard coach lighting
7. Window frames will be vinyl with low-e windows
8. Roof vents painted to match tile roof color
9. Exterior light fixtures at front entrance
10. Variations of sectional metal roll-up garage door with raised paneling
11. Front yard landscape packages on southern parcel
12. 8-foot, 9-foot and 10-foot high ceilings
13. Structures prewire packages for cable, internet, and telephone
14. Energy-star Efficiency

9.0 Landscaping, Entry Features, and Perimeter Walls

The Copper Cove Phase 4 landscape concept will utilize a plant palette indigenous to the area and will be complimentary to the proposed architectural theme, which will also match the surrounding Copper Cove Phase 2/3 palette. Drought resistant plants and trees will be the predominant materials used in the overall landscape design with colorful accent materials incorporated in the open spaces. The Streetscape standard along 95th Avenue will include plant materials compatible with the City's street landscape program.

Theme perimeter wall design on 95th Avenue will be simple and reflect the patterns and forms of the entry features and be continuous with the Copper Cove Phase 3 wall. A combination of split-face and smooth-face block will create a unique pattern with columns that will help set apart the subdivision and complement the entry feature. All walls will be painted, stained, or treated with a protective finish to allow for easy graffiti removal.

The overall Copper Cove Project has been designed to provide future residents an inviting and pedestrian friendly community through thoughtful landscaping and amenity design. Throughout the process lot configurations have been removed or revised and the layout redrawn to create a continual open space tract from the

COPPER COVE PHASE 4 PLANNED RESIDENTIAL DEVELOPMENT



south end of the community to the north end. To maximize the pedestrian friendly continuous open space corridor, a 6' stabilized trail system will connect all the amenities to allow exercise and pedestrian travel between them. Amenities that may be provided within the main open space areas include a neighborhood park, a tot lot, a volley ball court, and a group ramada area. Total open space for the entire project now accounts for over 19% of the site, 7.60-acres. A Conceptual Landscape Plan is provided as **Exhibit E**.

- Landscape Maintenance Responsibilities

The Covenant Conditions and Restrictions (CC&R's) for Copper Cove Phase 4 will identify that the Copper Cove Homeowners Association (HOA) will own and maintain the entry feature, retention areas, amenities, landscaping within all open space tracts and decorative perimeter walls. The CC&R's will restrict the use of the single-family lots to use the uses permitted by the City of Glendale's Zoning Ordinance and the Copper Cove PRD narrative as approved by the Glendale City Council.

10.0 Grading and Drainage Concept

The project generally slopes to the Southwest. No off-site flows impact the site. The project will be designed to retain the 100-year 2-hour storm of on-site runoff. One main open space/ landscape tract will be depressed to retain these on-site flows for the Copper Cove Phase 4 parcel. There is one ultimate outfall location for this site. Excess water from the retaining basin will flow to 95th Avenue. The conceptual drainage plan for the project is included in **Exhibit I**; Drainage Plan.

11.0 Transportation and Circulation

Regional transportation is provided by Agua Fria Freeway (Loop 101) that runs north-south approximately ½ mile west to the subject site.

The Copper Cove Phase 4 parcel has excellent off-site transportation corridor access with 95th Avenue as its western boundary. Half street improvements will be made for 95th Avenue, during Phase 2/3 construction, which will connect to Camelback Road adjacent to the Copper Cove Phase 2 Site.

The interior street pattern has been designed to limit the number of homes a person has to pass before getting to a subdivision exit. Typical streets within the Project will include 50 feet of right-of-way with attached sidewalks. The entrance into Copper Cove Phase 4 will be off of 95th Avenue and will include 60 feet of right-of-way, also with attached sidewalks, as shown on **Exhibit H**, Street Cross Sections.

12.0 Public Improvements

The City of Glendale has an existing 36" sewer main in 95th Avenue and an existing 12" water line in 95th Avenue, and Copper Cove Phase 3 will provide a

COPPER COVE PHASE 4 PLANNED RESIDENTIAL DEVELOPMENT



sewer and water line within the interior street that will properly service the proposed development to meet the domestic demands. The interior system will be looped through Copper Cove Phase 2/3 subdivision and tie into the existing surrounding system. All utilities will be under ground in accordance with the City of Glendale Ordinance. All water, sewer and paving improvements will be completed with Copper Cove Phase 2/3.

13.0 School Facilities

Initial contact was made with Tolleson Union High School District and Pendergast Elementary School District regarding the addition of four lots to their area. Both Districts indicated they accommodate the students from the addition of the four lots. The Certificates of Adequate Facilities have been received from Dr. Lexi Cunningham from Tolleson Union High School District and Brian Mee from Pendergast Elementary School District. (See the Certificate of Adequate Facilities in **Exhibit K**; School Facilities).

14.0 PRD Required Findings

The proposal is consistent in substance and location with the development objectives of the General Plan and any adopted specific area plans.

Copper Cove Phase 4 is in conformance with the 2025 Glendale General Plan. The Project meets the current General Plan designation for the site consisting of Medium-High Density Residential.

The proposal will be compatible with other existing and planned development in the area.

Copper Cove Phase 4 is consistent with the neighboring communities and PRD's within Glendale.

The proposal meets or exceeds the City's Subdivision Design Expectations regarding site planning, architecture, landscaping, building materials and colors, and screening of mechanical equipment.

The Project meets the intent of the Residential Design and Development Manual in providing a higher standard of subdivision design through quality, marketable, and sustainable development. Every effort has been made to comply with the recommended design guidelines within the context of this project.

COPPER COVE PHASE 4 PLANNED RESIDENTIAL DEVELOPMENT



The proposal will result in a quality living environment and accommodate desired lifestyles.

The PRD allows for a high quality of living for persons desiring single-family detached homes within a community which offers a variety of floor plan styles and elevations. Copper Cove provides ample open space opportunities for its residents.

The proposed project amenities including equestrian and pedestrian trails, bike paths, landscaped areas, entry features, decorative theme walls, parks, playgrounds, and other public or commonly owned open space and recreation facilities are adequate and appropriate for this development.

Amenities within the Copper Cove Phase 4 alone include but are not limited to: lush landscaped area and open space and decorative theme walls. As part of the Copper Cove Community, Phase 4 will have access to amenities that include tot lots, ramadas, a volleyball court, pedestrian trails and turf areas.

The type and quality of house products will be consistent with the intended character of the development.

The Project has provided a minimum of eighteen product guidelines to ensure consistent quality and design of the housing products as development occurs.

EXHIBIT A
LEGAL DESCRIPTION

March 6, 2014
PROJECT # 9700-01-001

**LEGAL DESCRIPTION
COPPER COVE
PHASE 4 BOUNDARY**

THAT PARCEL OF LAND RECORDED AS DOC. NO. 2011-0493940, OFFICIAL RECORDS OF MARICOPA COUNTY, ARIZONA, LOCATED WITHIN THE SOUTHEAST QUARTER OF SECTION 16, TOWNSHIP 2 NORTH, RANGE 1 EAST, OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTH QUARTER CORNER OF SAID SECTION 16, BEING A BRASS CAP IN HANDHOLE, FROM WHICH THE SOUTHEAST CORNER OF SAID SECTION 16, BEING A BRASS CAP IN HANDHOLE, BEARS SOUTH 89 DEGREES 58 MINUTES 56 SECONDS EAST, A DISTANCE OF 2667.73 FEET;

THENCE NORTH 02 DEGREES 20 MINUTES 26 SECONDS EAST, ALONG THE WEST LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 16, A DISTANCE OF 1320.86 FEET TO A POINT ON THE SOUTH LINE OF THE NORTH HALF OF THE SOUTHEAST QUARTER OF SAID SECTION 16 AND THE **POINT OF BEGINNING**;

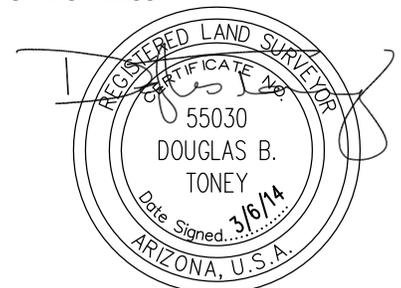
THENCE CONTINUING NORTH 02 DEGREES 20 MINUTES 26 SECONDS EAST, ALONG SAID WEST LINE, A DISTANCE OF 210.17 FEET TO A POINT ON THE NORTH LINE OF THE SOUTH 210 FEET OF THE NORTH HALF OF THE SOUTHEAST QUARTER OF SAID SECTION 16;

THENCE SOUTH 89 DEGREES 59 MINUTES 28 SECONDS EAST, ALONG SAID NORTH LINE, A DISTANCE OF 210.17 FEET TO A POINT ON THE EAST LINE OF THE WEST 210 FEET OF THE NORTH HALF OF THE SOUTHEAST QUARTER OF SAID SECTION 16;

THENCE SOUTH 02 DEGREES 20 MINUTES 26 SECONDS WEST, ALONG SAID EAST LINE, A DISTANCE OF 210.17 FEET TO A POINT ON THE SOUTH LINE OF THE NORTH HALF OF THE SOUTHEAST QUARTER OF SAID SECTION 16;

THENCE NORTH 89 DEGREES 59 MINUTES 28 SECONDS WEST, ALONG SAID SOUTH LINE, A DISTANCE OF 210.17 FEET TO THE **POINT OF BEGINNING**.

SAID PARCEL CONTAINS 44,137 SQUARE FEET OR 1.0132 ACRES, MORE OR LESS.



EXPIRES 9/30/2016

P:\9700 - Copper Cove\9700-01-001 (SUR)\Survey\Legals\9700-PH4 Legal.docx

**EXHIBIT B
VICINITY MAP**



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COPPER COVE PHASE 4

GLENDALE, ARIZONA

VICINITY MAP EXHIBIT

JOB #	9700-01-001
DATE	01/2014
SCALE	NONE
DRAWN	CRS
EXHIBIT	B

EXHIBIT C
AERIAL MAP



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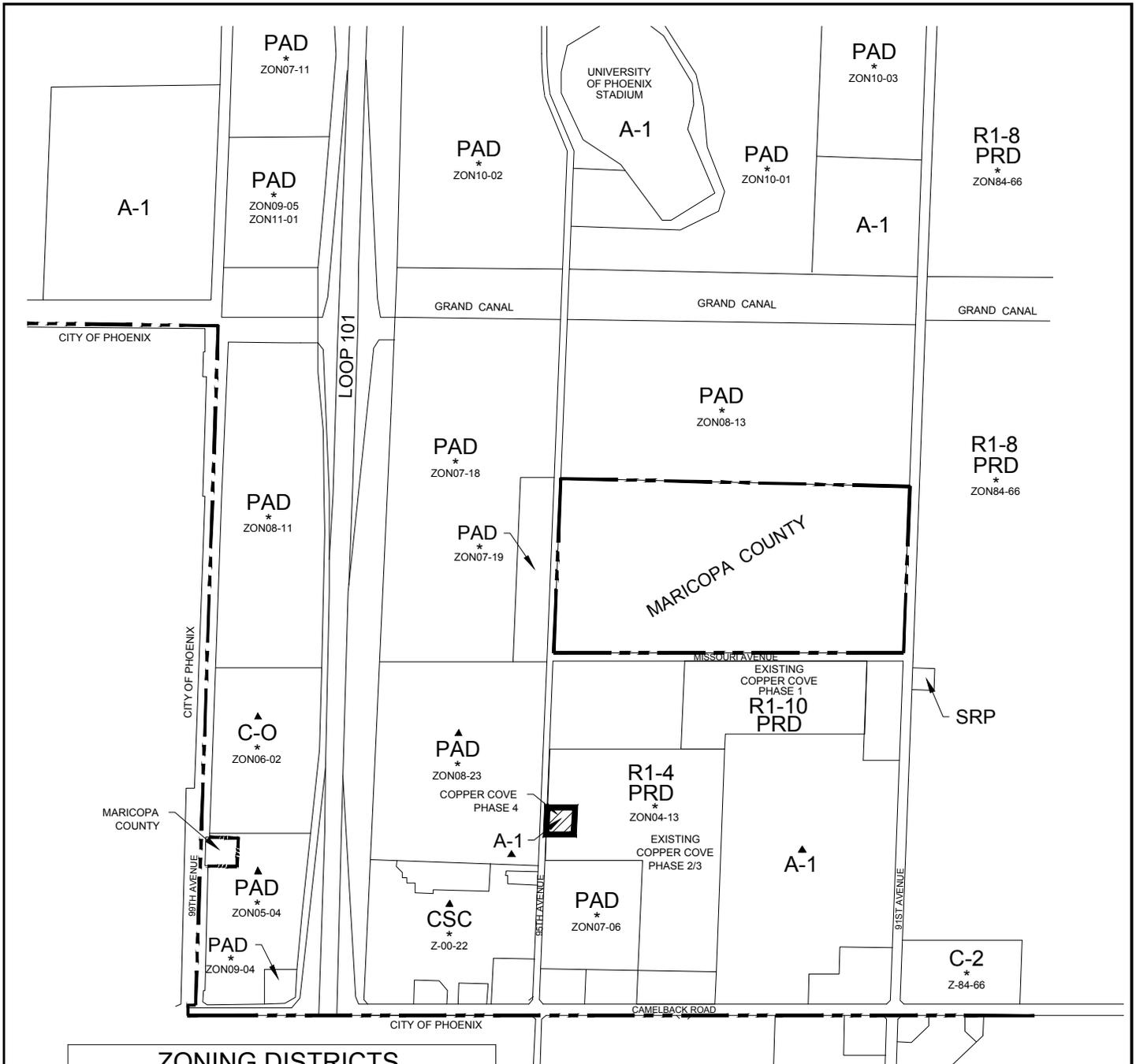
COPPER COVE PHASE 4

GLENDALE, ARIZONA

AERIAL MAP

JOB #	9700-01-001
DATE	01/2014
SCALE	NONE
DRAWN	CRS
EXHIBIT	C

**EXHIBITS D1 and D2
EXISTING AND PROPOSED
ZONING EXHIBITS**



ZONING DISTRICTS	
ZONE	GENERAL USE
A-1	Agricultural
R1-4	Single Residence
R1-8	Single Residence
C-O	Commercial Office
C-2	General Commercial
CSC	Commercial Shopping Center
PAD	Planned Area Development
PRD	Planned Residential Development

LEGEND

- CITY LIMITS
- ▲ ZONING APPROVAL PENDING ORDINANCE ADOPTION
- * DEVELOPMENT CONDITIONS ATTACHED TO ZONING APPROVAL (REFERENCE ZONING APPLICATION NUMBER)

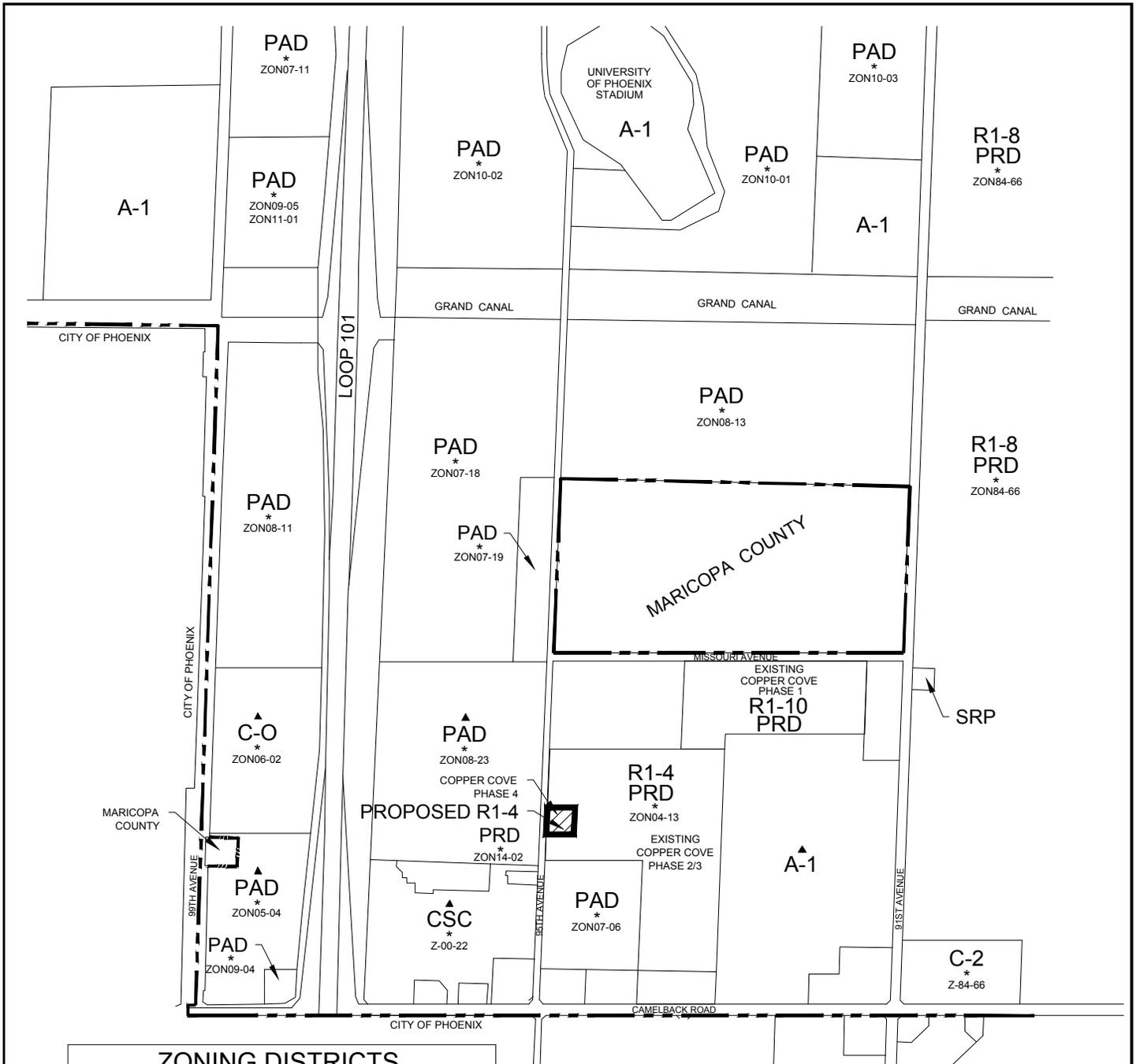


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COPPER COVE PHASE 4
GLENDALE, ARIZONA
EXISTING ZONING

JOB #	9700-01-001
DATE	01/2014
SCALE	NONE
DRAWN	CRS
EXHIBIT	D1



ZONING DISTRICTS	
ZONE	GENERAL USE
A-1	Agricultural
R1-4	Single Residence
R1-8	Single Residence
C-O	Commercial Office
C-2	General Commercial
CSC	Commercial Shopping Center
PAD	Planned Area Development
PRD	Planned Residential Development

LEGEND

- CITY LIMITS
- ▲ ZONING APPROVAL PENDING ORDINANCE ADOPTION
- * DEVELOPMENT CONDITIONS ATTACHED TO ZONING APPROVAL (REFERENCE ZONING APPLICATION NUMBER)



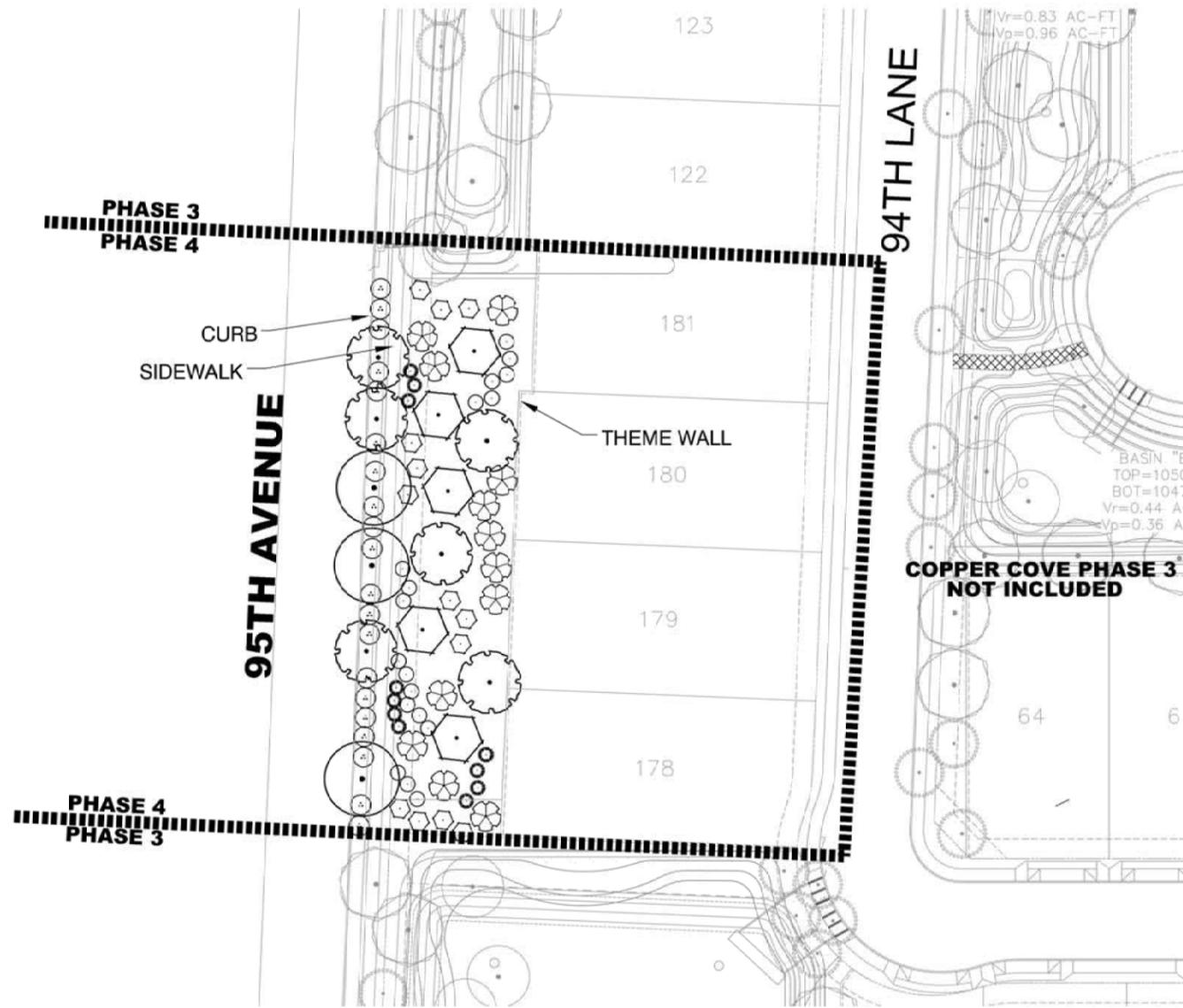
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 Peoria, Arizona 85381 www.bowmanconsulting.com

COPPER COVE PHASE 4
 GLENDALE, ARIZONA
PROPOSED ZONING

JOB #	9700-01-001
DATE	01/2014
SCALE	NONE
DRAWN	CRS
EXHIBIT	D2

EXHIBIT E
CONCEPTUAL LANDSCAPE PLAN

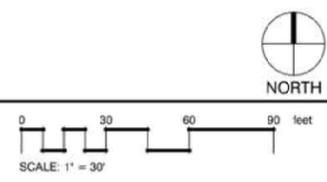
Copper Cove Phase 4 Preliminary Planting Plan



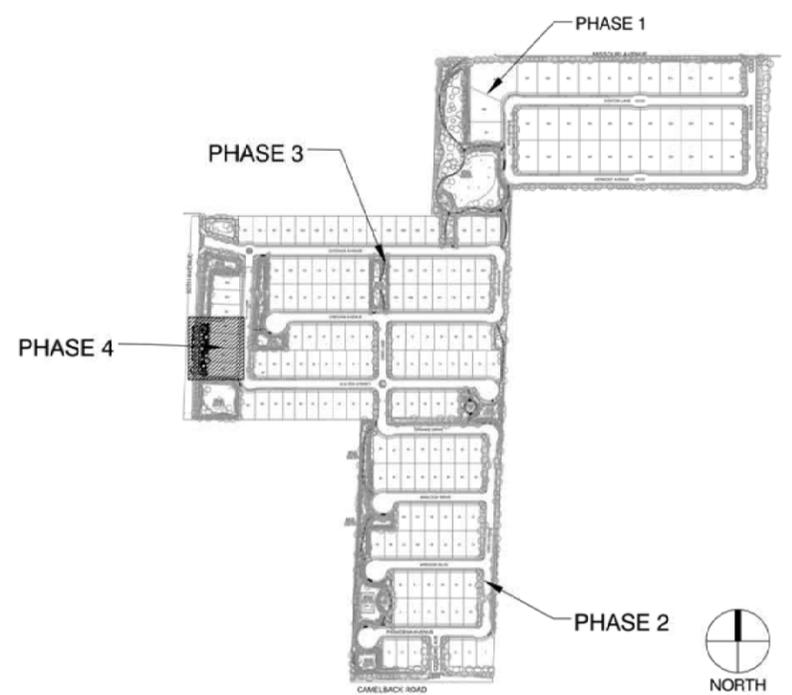
PLANT SCHEDULE

ACCENT TREES	QTY	COMMON NAME / BOTANICAL NAME	CONT
	5	SWEET ACACIA / ACACIA FARNESIANA SMALLII	24"BOX
DESERT SHADE TREES	QTY	COMMON NAME / BOTANICAL NAME	CONT
	3	BLUE PALO VERDE / CERODIUM FLORIDUM	24"BOX
TURF SHADE TREES	QTY	COMMON NAME / BOTANICAL NAME	CONT
	6	WILLOW ACACIA / ACACIA SALICINA	24"BOX
SHRUBS	QTY	COMMON NAME / BOTANICAL NAME	CONT
	12	RED BIRD OF PARADISE / CAESALPINIA PULCHERRIMA	5 GAL
	13	GREEN HOPSEED BUSH / DODONAEA VISCOSEA "GREEN"	5 GAL
	20	BREWSTER COUNTY BAROMETERBUSH / LELICOPHYLLUM CANDIDUM "THUNDER CLOUD" TM	5 GAL
	18	BAROMETERBUSH / LELICOPHYLLUM REVOLUTUM "HOUDINI" TM	5 GAL
	11	LINDHEIMER'S MUHLY / MUHLENBERGIA LINDHEIMERI "AUTUMN GLOW" TM	5 GAL

PLAN VIEW PHASE 4 LANDSCAPE PLAN



TOTAL LANDSCAPE TRACT AREAS - PHASE 4			
LOT	USE	AREA (SF)	AREA (AC)
TRACT A	LANDSCAPE, PEDESTRIAN ACCESS	9,670 SF	.222 AC



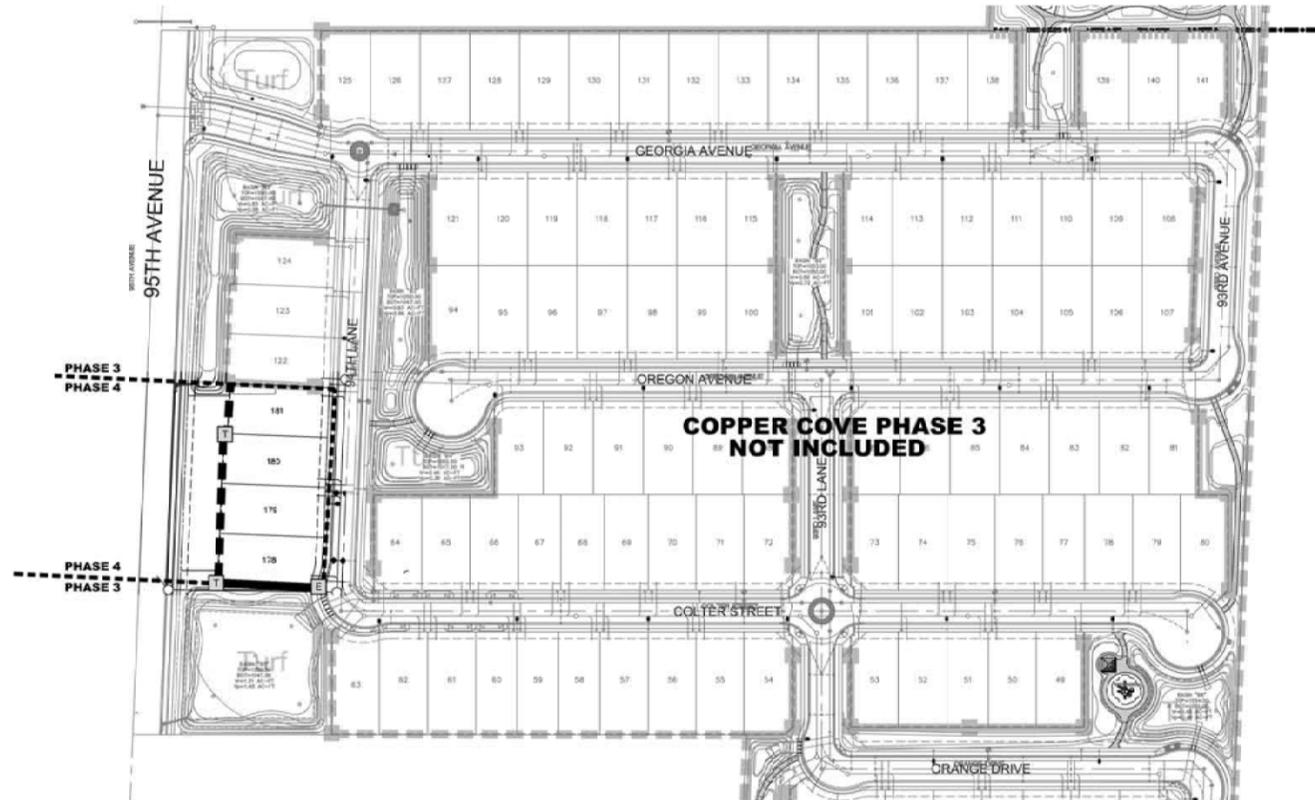
KEY MAP

Preliminary Landscape Plan

Copper Cove Phase 4
Preliminary Landscape Plan
95th Avenue and Camelback Road



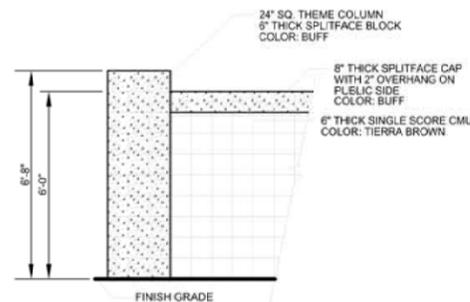
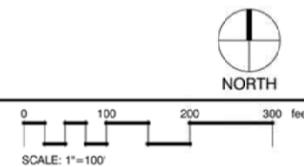
Copper Cove Phase 4 Preliminary Wall Plan



WALL SCHEDULE

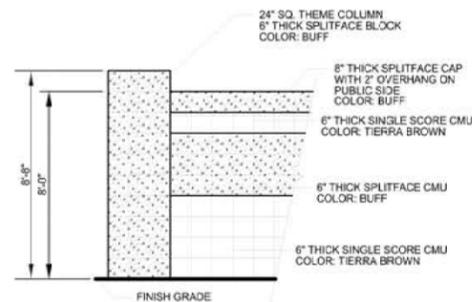
- V View Wall Column
- E End of Wall Column
- T Theme Column
- 6' Theme Wall
- 8' Theme Wall
- 6' View Wall

PLAN VIEW PHASE 4 WALL PLAN



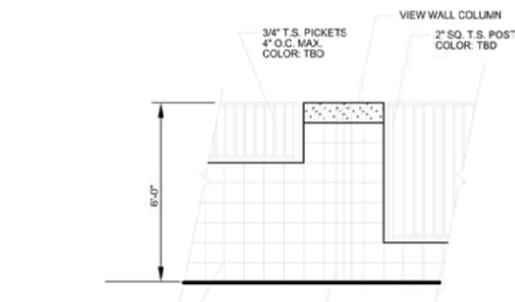
6' THEME WALL

Standard Wall shall be used on all interior walls



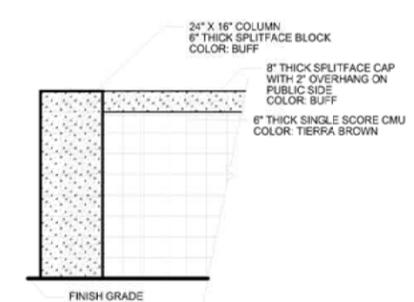
8' THEME WALL

Theme Wall shall be used along all arterial roads



VIEW FENCE

View Fence shall be used along the rear yards that back on large open space areas



END OF WALL COLUMN

NO.	REVISION	DATE

Copper Cove Phase 4 Preliminary Landscape Plan

95th Avenue and Camelback Road

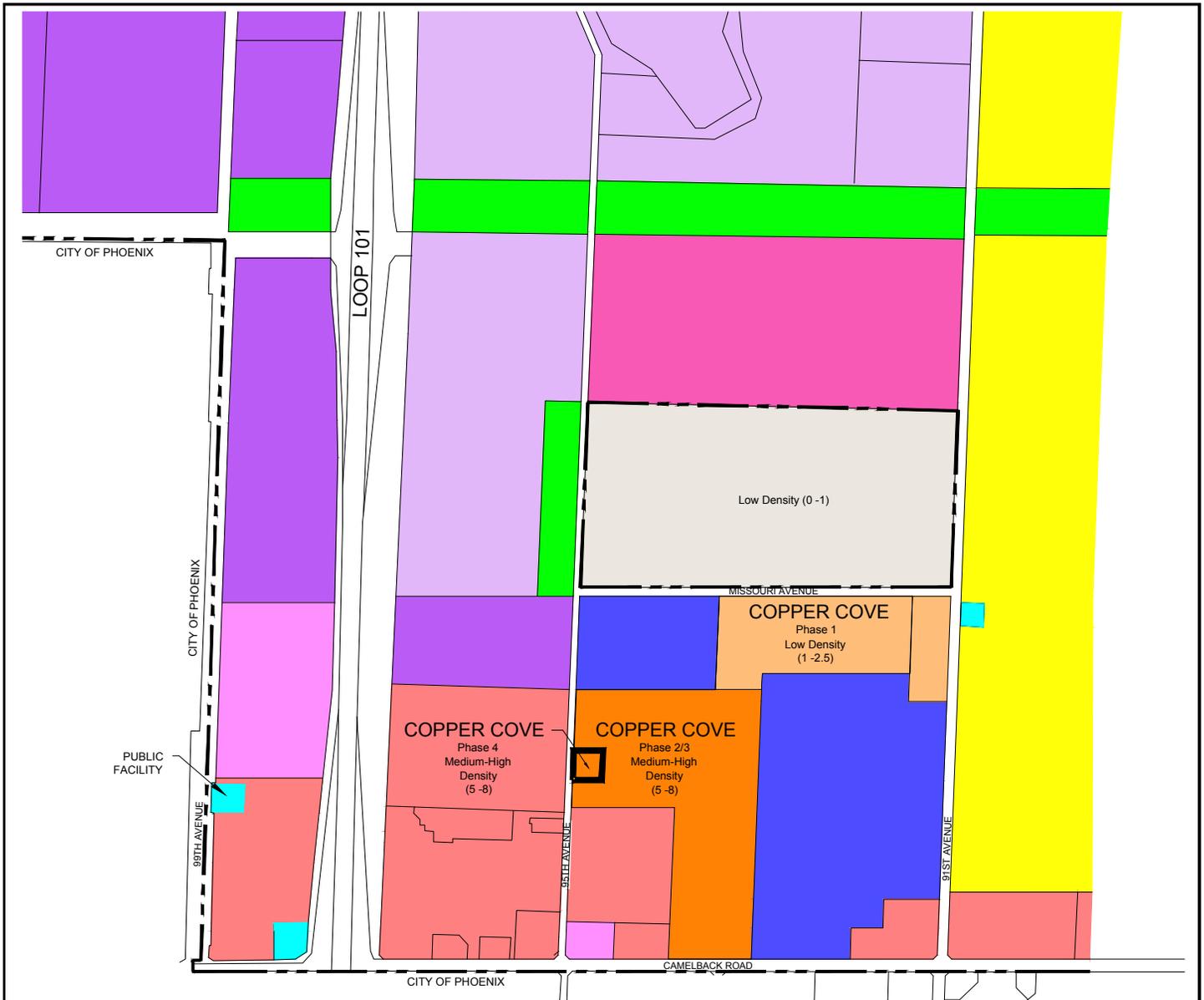


SHEET

2 OF 2

CVL Contact: E. Sweetland, RLA
CVL Project #: 01-0230601
CVL File #:

EXHIBIT F
GENERAL PLAN LAND USE MAP



LAND USE DESIGNATIONS	
	Low Density Residential: 0 - 1 du/ac
	Low Density Residential: 1- 2.5 du/ac
	Medium Density Residential: 2.5 - 3.5 du/ac
	Medium High Density Residential: 5 - 8 du/ac
	Office
	Planned Commercial
	Entertainment Mixed-Use
	Corporate Commerce Center
	Business Park
	Educational
	Parks and Open Space
	Public Facility

LEGEND

-  CITY LIMITS
-  PROJECT BOUNDARY



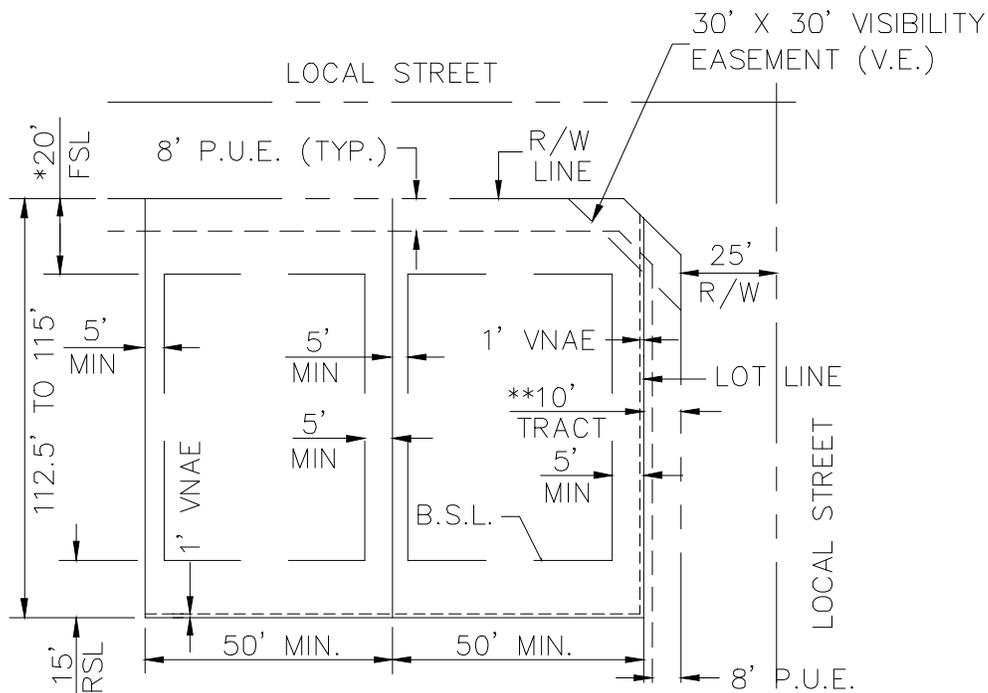
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COPPER COVE PHASE 4
GLENDALE, ARIZONA
GENERAL PLAN LAND USE MAP

JOB #	9700-01-001
DATE	01/2014
SCALE	NONE
DRAWN	CRS
EXHIBIT	F

EXHIBIT G
TYPICAL LOT SETBACKS



R1-4 PRD
TYPICAL LOT DETAIL
 (50' TO 58' WIDTH LOTS)
 N.T.S.

- * A MINIMUM OF 10' FRONT SETBACK (FSL) IS PERMITTED TO LIVING AREAS OR SIDE ENTRY GARAGES.
- ** A 10' (MIN) TRACT SHALL BE PROVIDED ADJACENT TO A STREET SIDE YARD SETBACK.
- MINIMUM DISTANCE BETWEEN BUILDING ON ADJACENT LOTS IS 10'.
- MAXIMUM LOT COVERAGE IS 50%

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COPPER COVE PHASE 4

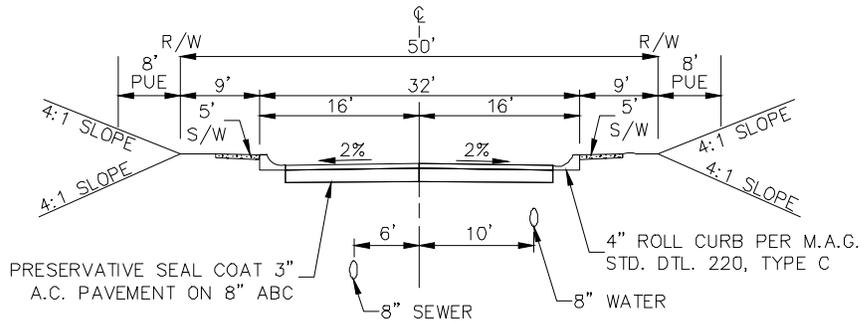
GLENDALE, ARIZONA

TYPICAL LOT SETBACK - R1-4 PRD

JOB #	9700-01-001
DATE	01/2014
SCALE	NONE
DRAWN	CRS

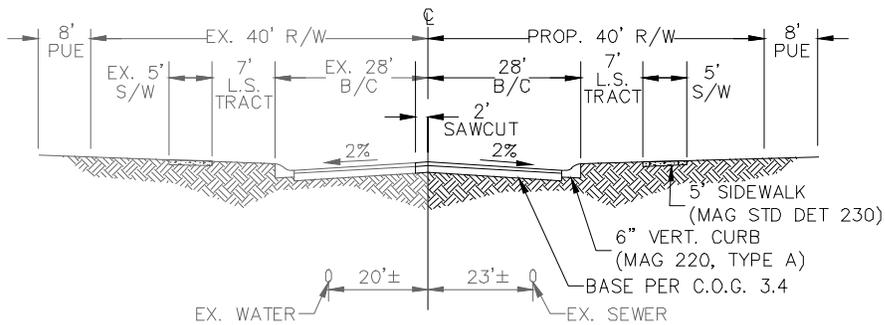
EXHIBIT **G**

EXHIBIT H
STREET CROSS SECTIONS



1 **TYPICAL LOCAL STREET SECTION**

LOOKING NORTH OR WEST
N.T.S.



2 **95TH AVENUE SECTION**

LOOKING NORTH
N.T.S.

Bowman
CONSULTING

14100 North 83rd Avenue Ste 250 Phone: (480) 629-8830
Peoria, Arizona 85381 www.bowmanconsulting.com

COPPER COVE PHASE 4

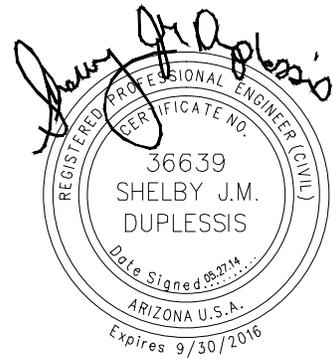
GLENDALE, ARIZONA

STREET CROSS SECTIONS

JOB #	9700-01-001
DATE	05/2014
SCALE	NONE
DRAWN	CRS

EXHIBIT **H**

**EXHIBIT I
DRAINAGE PLAN**



Bowman
CONSULTING

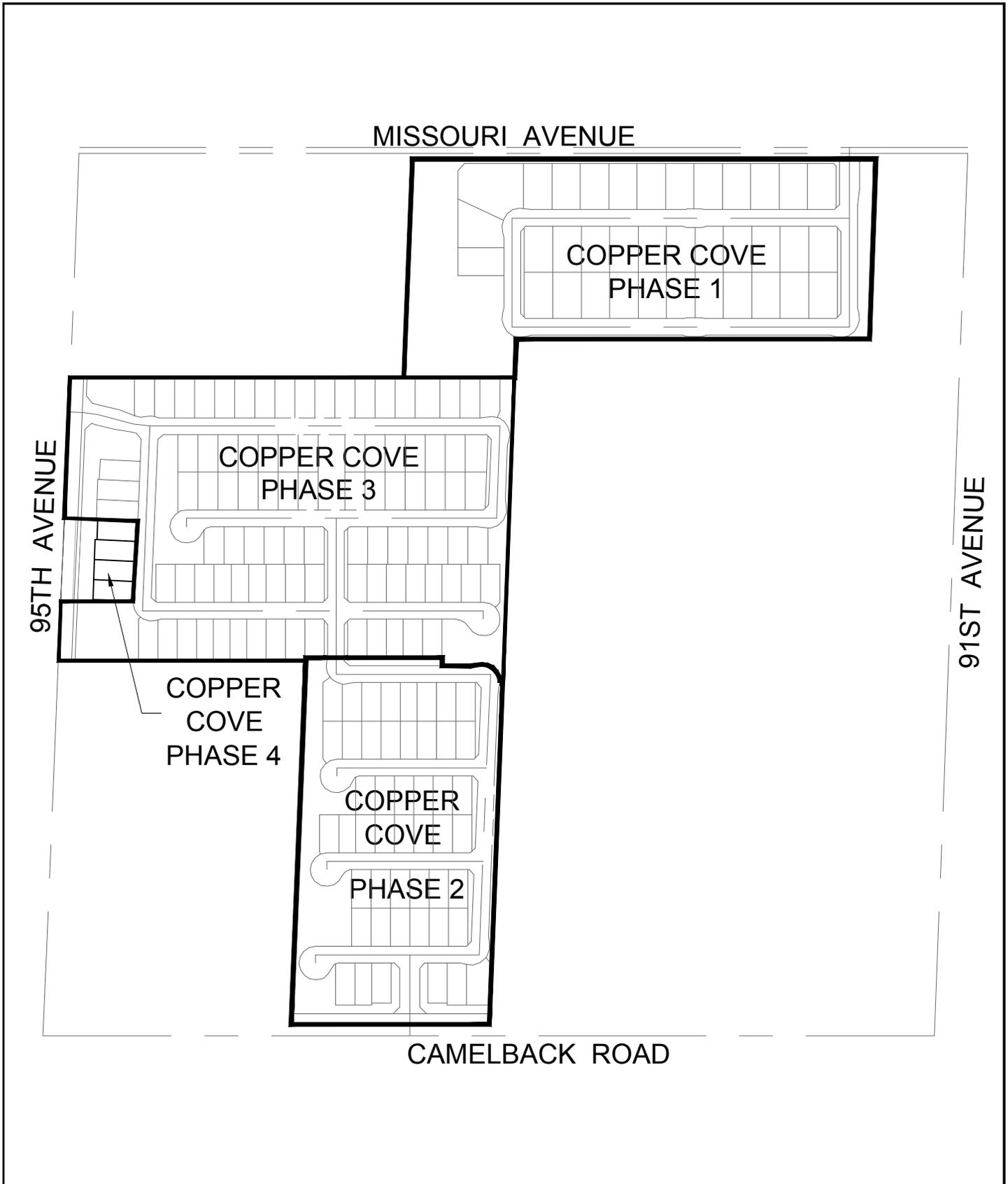
14100 North 83rd Avenue Ste 250 Phone: (480) 629-8830
Peoria, Arizona 85381 www.bowmanconsulting.com

COPPER COVE PHASE 4
GLENDALE, ARIZONA

DRAINAGE PLAN

JOB #	9700-01-001
DATE	05/2014
SCALE	NONE
DRAWN	CRS
EXHIBIT	I

EXHIBIT J
PHASING PLAN



Bowman
CONSULTING

14100 North 83rd Avenue Ste 250 Phone: (480) 629-8830
Peoria, Arizona 85381 www.bowmanconsulting.com

COPPER COVE PHASE 4

GLENDALE, ARIZONA

PHASING PLAN EXHIBIT

JOB #	9700-01-001
DATE	01/2014
SCALE	NONE
DRAWN	CRS
EXHIBIT	J

EXHIBIT K
SCHOOL FACILITIES

May 19, 2014

Tolleson Union High School District
Attn: Karyn Eubanks
9801 W. Van Buren Street
Tolleson, AZ 85353

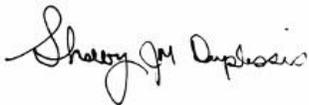
Dear Ms. Eubanks:

This letter is being sent to you pursuant to the City of Glendale Planning Division School District Notification Policy for zoning classification changes. Please be advised that we are applying for a zoning change that changes the zoning designation of a 1.01 acre site located on the east side of 95th Avenue and north of Camelback Road. This request is to rezone from A-1 (Agricultural) to R1-4 Planned Residential Development. Our application will result in a total increase of 4 units. This will complete the previously approved Copper Cove Phase 3 as per attached Phasing Exhibit.

We have attached a proposed site plan for your reference. You are requested to complete the attached Certificate of Adequate School Facilities in reference to Zoning Application ZON14-02. Please return the completed form in the return envelope included.

If you would like to discuss the proposal, I would be happy to answer any questions or hear any concerns that you may have regarding this proposal. I can be reached at **623.299.8981**.

Sincerely,



ShelbyJM Duplessis, PE, LEED AP
Senior Project Manager

**Certification of Adequate School Facilities
for
Residential Rezoning – Glendale, Arizona
Revised November 2001**

Glendale City Ordinance No. 2104 applies to applications for residential rezoning which will increase the projected number of students for any school district's attendance area. This includes applications for rezoning which change zoning classifications from non-residential to residential and rezonings, which change residential zoning classifications to a higher density classification.

To be completed by City Staff

City Application Number: ZON 14-02 and OO14-01

City Staff Contact: Thomas Ritz Telephone: 623.930.2588

Property Address: 5850 W. Glendale Avenue, Suite 212, Glendale, AZ 85301

Property Size: 1.01 Acres

Existing Zoning: A-1 (Agricultural) Proposed Zoning: R1-4 Planned Residential Development

Existing Dwelling Unit Potential: Single Family: X Multi-Family: _____

Proposed # of Dwelling Units: Single Family: 4 Multi-Family: _____

Net Increase in Dwelling Units from Existing Zoning:

Single Family: 4 Multi-Family: _____

Affected School District(s): Elementary: Pendergast Elementary School District

Middle: Pendergast Elementary School District

High School: Tolleson Union High School District

Impacted School(s): Elementary: Sunset Ridge Elementary

Middle: Sunset Ridge Elementary

High School: Copper Canyon High School

Applicant/Contact for Rezoning Application: Bowman Consulting Group - Shelby Duplessis

Address: 14100 N. 83rd Avenue, Suite 250, Peoria, AZ 85381

Telephone: 623.299.8981 Fax: 602.800.5103

Email: sduplessis@bowmanconsulting.com

Sent for Certification to: Karyn Eubanks - Tolleson Union High School District

Referred Date: 5-19-14

Response Deadline: 5-31-14

If no response is received by this date, it will be assumed that there are adequate school facilities for the proposed rezoning.

Response Date: 5-27-14

**Certification of Adequate School Facilities
for
Residential Rezoning – Glendale, Arizona
Revised November 2001**

To Be Completed By School Official (Choose One)

1. The school district has adequate facilities to accommodate the projected number of new students within the school district attendance area that will be generated by this rezoning request.
2. The school district will have adequate school facilities by a planned capital improvement to be constructed within one (1) year and located within the school district's attendance area affected by this residential rezoning request.
3. The school district has determined an existing or proposed charter school can provide adequate school facilities.
4. The applicant and the school district have entered into an agreement to provide, or help to provide, adequate school facilities in a timely manner within the school district's attendance area affected by this residential rezoning request. Details of this agreement are not required.
5. The school does not have adequate school facilities to accommodate projected growth attributable to the rezoning.

If response number five (5) is selected, please provide specific details regarding the factors contributing to the lack of adequate facilities as related to the School Facilities Board Guidelines. Indicate where facilities are not adequate. Attach additional details as necessary.

- | | |
|--|-------|
| A. School Site | _____ |
| B. Academic Classroom Space | _____ |
| C. Classroom Fixtures and Equipment | _____ |
| D. Libraries and Media Centers | _____ |
| E. Auditoriums and Multipurpose Rooms | _____ |
| F. Technology | _____ |
| G. Transportation | _____ |
| H. Science Facilities | _____ |
| I. Arts Facilities | _____ |
| J. Vocational Educational Education Facilities | _____ |
| K. Physical Education-Comprehensive Health Program | _____ |
| L. Other School Facility Areas and Equipment | _____ |
| a. Compliance with Building Codes | _____ |
| b. Building Systems | _____ |
| c. Building Soundness | _____ |
| d. Minimum Gross Square Footage | _____ |
| e. Critical Health or Safety Issues | _____ |

School District TOLLESON UNION HIGH SCHOOL DISTRICT #214
 Representative Name (Please Print) ARDESI CUNNINGHAM
 Representative Signature [Signature]
 Title SUPERINTENDENT Date 5-27-14 Application No. _____

The completed Certification of Adequate School Facilities should be forwarded to:

Planner Name, Title
 City of Glendale Planning
 5850 West Glendale Avenue, Suite 212
 Glendale, Arizona 85301

May 19, 2014

Pendergast Elementary School District
Attn: Brian Mee
3802 N. 91st Avenue
Phoenix, AZ 85037

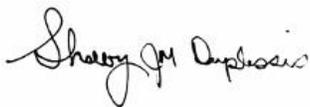
Dear Brian Mee:

This letter is being sent to you pursuant to the City of Glendale Planning Division School District Notification Policy for zoning classification changes. Please be advised that we are applying for a zoning change that changes the zoning designation of a 1.01 acre site located on the east side of 95th Avenue and north of Camelback Road. This request is to rezone from A-1 (Agricultural) to R1-4 Planned Residential Development. Our application will result in a total increase of 4 units. This will complete the previously approved Copper Cove Phase 3 as per attached Phasing Exhibit.

We have attached a proposed site plan for your reference. You are requested to complete the attached Certificate of Adequate School Facilities in reference to Zoning Application ZON14-02. Please return the completed form in the return envelope included.

If you would like to discuss the proposal, I would be happy to answer any questions or hear any concerns that you may have regarding this proposal. I can be reached at **623.299.8981**.

Sincerely,



ShelbyJM Duplessis, PE, LEED AP
Senior Project Manager

**Certification of Adequate School Facilities
for
Residential Rezoning – Glendale, Arizona
Revised November 2001**

Glendale City Ordinance No. 2104 applies to applications for residential rezoning which will increase the projected number of students for any school district's attendance area. This includes applications for rezoning which change zoning classifications from non-residential to residential and rezonings, which change residential zoning classifications to a higher density classification.

To be completed by City Staff

City Application Number: ZON 14-02 and OO14-01

City Staff Contact: Thomas Ritz Telephone: 623.930.2588

Property Address: 5850 W. Glendale Avenue, Suite 212, Glendale, AZ 85301

Property Size: 1.01 Acres

Existing Zoning: A-1 (Agricultural) Proposed Zoning: R1-4 Planned Residential Development

Existing Dwelling Unit Potential: Single Family: X Multi-Family: _____

Proposed # of Dwelling Units: Single Family: 4 Multi-Family: _____

Net Increase in Dwelling Units from Existing Zoning:

Single Family: 4 Multi-Family: _____

Affected School District(s): Elementary: Pendergast Elementary School District

Middle: Pendergast Elementary School District

High School: Tolleson Union High School District

Impacted School(s): Elementary: Sunset Ridge Elementary

Middle: Sunset Ridge Elementary

High School: Copper Canyon High School

Applicant/Contact for Rezoning Application: Bowman Consulting Group - Shelby Duplessis

Address: 14100 N. 83rd Avenue, Suite 250, Peoria, AZ 85381

Telephone: 623.299.8981 Fax: 602.800.5103

Email: sduplessis@bowmanconsulting.com

Sent for Certification to: Pendergast Elementary School District

Referred Date: 5-19-14

Response Deadline: 5-31-14

If no response is received by this date, it will be assumed that there are adequate school facilities for the proposed rezoning.

Response Date: 5-24-14

**Certification of Adequate School Facilities
for
Residential Rezoning – Glendale, Arizona
Revised November 2001**

To Be Completed By School Official (Choose One)

1. The school district has adequate facilities to accommodate the projected number of new students within the school district attendance area that will be generated by this rezoning request.
2. The school district will have adequate school facilities by a planned capital improvement to be constructed within one (1) year and located within the school district's attendance area affected by this residential rezoning request.
3. The school district has determined an existing or proposed charter school can provide adequate school facilities.
4. The applicant and the school district have entered into an agreement to provide, or help to provide, adequate school facilities in a timely manner within the school district's attendance area affected by this residential rezoning request. Details of this agreement are not required.
5. The school does not have adequate school facilities to accommodate projected growth attributable to the rezoning.

If response number five (5) is selected, please provide specific details regarding the factors contributing to the lack of adequate facilities as related to the School Facilities Board Guidelines. Indicate where facilities are not adequate. Attach additional details as necessary.

- | | |
|--|-------|
| A. School Site | _____ |
| B. Academic Classroom Space | _____ |
| C. Classroom Fixtures and Equipment | _____ |
| D. Libraries and Media Centers | _____ |
| E. Auditoriums and Multipurpose Rooms | _____ |
| F. Technology | _____ |
| G. Transportation | _____ |
| H. Science Facilities | _____ |
| I. Arts Facilities | _____ |
| J. Vocational Educational Education Facilities | _____ |
| K. Physical Education-Comprehensive Health Program | _____ |
| L. Other School Facility Areas and Equipment | _____ |
| a. Compliance with Building Codes | _____ |
| b. Building Systems | _____ |
| c. Building Soundness | _____ |
| d. Minimum Gross Square Footage | _____ |
| e. Critical Health or Safety Issues | _____ |

School District Pendergast ESD
 Representative Name (Please Print) Brian Mee
 Representative Signature Brian Mee
 Title Chief Plan Officer Date 5/29/14 Application No. _____

The completed Certification of Adequate School Facilities should be forwarded to:

Planner Name, Title
 City of Glendale Planning
 5850 West Glendale Avenue, Suite 212
 Glendale, Arizona 85301

Citizen Participation Plan
for
Copper Cove Phase 4
Glendale, AZ

Prepared by:

Bowman Consulting Group, Ltd.

14100 N. 83rd Avenue, Suite 250

Peoria, AZ 85381

August 28, 2014

ZON14-02 and PP-14-01

1. Proposed Project

Copper Cove Phase 4 is a 1.01 acre proposed 4 lot subdivision on the east side of 95th Avenue and north of Camelback Road in Glendale, Arizona. The request is for a Rezone from A-1 (Agricultural) to R1-4 Planned Residential Development. The Planned Residential Development (PRD) will complete Copper Cove Phase 2 and 3, with the same lot sizes, decorative walls, and themed landscape.

2. Public Notification Technique

Planning has determined that a notification letter is the most appropriate public notification technique for this project. A copy of the notification letter is included in the CP Plan.

3. Notification

The notification area map and a list of property owners are attached in this report. All property owners in the notification area will be notified. Additionally all interested parties, including but not limited to Registered Neighborhood Groups, Homeowners Associations', as well as those listed on the Additional Notification list. As required, labels for each list have been included in this submittal.

4. Interested Parties

Notification was sent on August 6, 2014 to all parties within 500' surrounding the property boundaries who may be affected, directly or indirectly as well as any individuals whom have expressed an interest or a concern. As required, labels for each list have been included in this submittal.

5. Potential Concerns of Interested Parties

All previous concerns were with residents north of Missouri with lots in Phase 1. No issues or concerns were raised for Phase 2/3 and no issues were raised for Copper Cove Phase 4 as well.

6. Communication with Citizens

Individuals are free to call or e-mail me at any time during the application process for comments or questions.

7. Public Notification of Changes

Another notification letter will be mailed if changes to the project occur before the advertised hearing date.

8. Coordination

Communication on any updates and citizen participation results will be communication to the project planner via e-mail or phone messages.

9. Schedule

**Submitted to Project Planner for Review
Plan Implemented**

Deadline for Citizen Participation Input

Citizen Participation Plan Report Submitted

July 2014

Early August 2014

Late August 2014

Late August, 2014

Notification Letter



August 6, 2014

**Subject: Copper Cove Phase Rezone Case #ZON14-02
Copper Cove Re-Plat Case# PP14-01**

Project Location: East side of 95th Avenue, North of Camelback Road

Dear Neighbor:

This letter is to inform you that DR Horton is applying to Rezone to R1-4 PRD (Planned Residential Development) development standards and a Re-Plat of Copper Cove Phase 2. The property is located north and east of the northeast corner of 95th Avenue and Camelback Road in the Yucca Council District. The requests will amend the existing 1.01 acre, A-1 Agricultural to R1-4 PRD and allow for an additional 4 lots in Copper Cove community.

The proposed project will be part of the Copper Cove Phases 2 and 3, which consists of 141 lots under the existing R1-4 PRD zoning district. The Re-Plat will add the four lots with lot sizes of 60' X 120' and 60'x125'.

I have included a site plan with this letter for your review. Please contact me with any comments or questions. Comments will also be accepted in writing, or by email, at the contact information below. You may also contact Tom Dixon with the City of Glendale at (623) 930-2553 or tdixon@glendaleaz.com.

Sincerely,

A handwritten signature in black ink that reads "Shelby JM Duplessis".

Bowman Consulting Group

Shelby JM Duplessis, PE, LEED AP
Senior Project Manager for Copper Cove
(623) 299-8981

sduplessis@bowmanconsulting.com

Property Owner List with Parcel Number and Parcel Map Attached

RECOMMENDED NEIGHBORHOOD NOTIFICATION AREA

NAME OF REQUEST:

COPPER COVE PHASE 4

LOCATION:

East side of 95th Avenue, north of Camelback Road

Requests to 1) rezone from A-1 (Agricultural) to R1-4 PRD (Single Residence, Planned Residential Development) and 2) receive preliminary plat approval to create four lots to be included in the surrounding Copper Cove Phase 2 subdivision.

ZONING DISTRICT: A-1 (Agricultural)

COUNCIL DISTRICT: Yucca

LOCATION OF SITE



NORTH



500' NOTIFICATION AREA

Additional Notification List:

Additional Notification List:

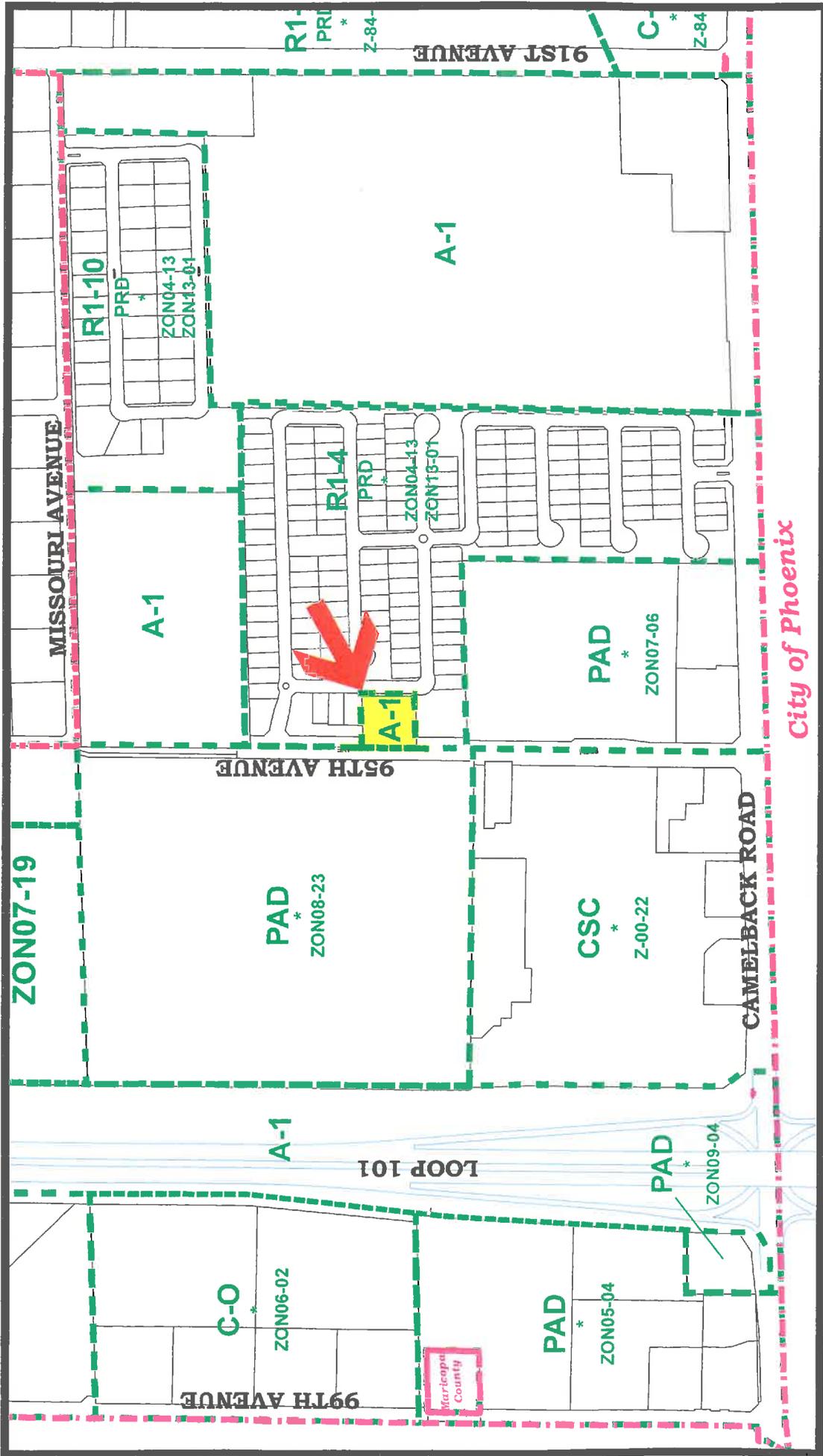
THOMAS DIXON, PLANNER
PLANNING
5850 W. GLENDALE AVENUE,# 212
GLENDALE, AZ 85301

CITY OF GLENDALE MAYOR'S
OFFICE
MAYOR WEIERS
5850 W. GLENDALE AVENUE
GLENDALE, AZ 85302

DIANA FIGUEROA, SENIOR
SECRETARY
PLANNING
5850 W. GLENDALE AVENUE, #212
GLENDALE, AZ 85301

GLENDALE CITY COUNCIL OFFICE
COUNCIL MEMBER CHAVIRA
5850 W. GLENDALE AVENUE
GLENDALE, AZ 85301

Interested Parties Notification List for Proposed Development – City Wide & Yucca

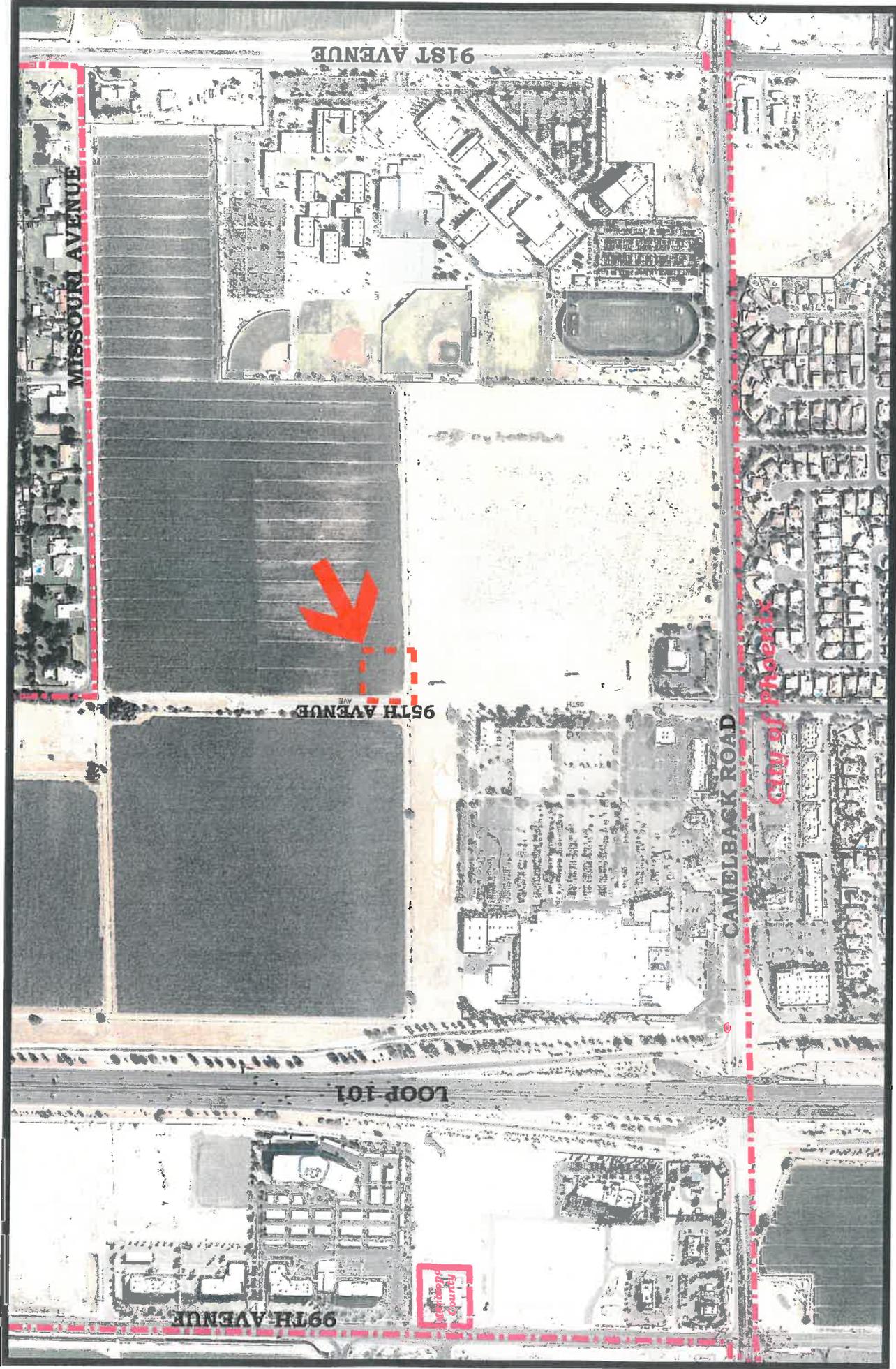


REQUEST
 PRELIMINARY PLAT FOR A 4-LOT
 SUBDIVISION IN THE R1-4 PRD
 (SINGLE RESIDENCE, PLANNED
 RESIDENTIAL DEVELOPMENT) ZONING
 DISTRICT.

CASE NUMBER
 PP14-01

LOCATION
 95TH AVENUE & CAMELBACK ROAD





Aerial Date: November 2012



CASE NUMBER

PP14-01

ZON14-02

