

# Minor General Plan Amendment

**GPA 08-02**



**BELLA VILLAGGIO**

SPAZI DI VITA

9801 W. Bethany Home Road  
(Approximately 47 gross acres located at the southeast corner of 99<sup>th</sup> Avenue  
and Bethany Home Road)

**Glendale, Arizona**

Formal Application Date: April 7, 2008  
Planning Commission Hearing Draft: October 20, 2008  
City Council/Final: May 20, 2010

Prepared By: LVA Urban Design Studio, LLC

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## Minor General Plan Amendment

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## *A. Introduction & Vision*

### 1. Objective

The objective for requesting a Minor Amendment to the City of Glendale General Plan is to allow for a mixed-use entertainment development in a dynamic area of the City which is rapidly growing in intensity and has proved to be a key destination among the regional population.

### 2. Project Location and Description

The proposed Bella Villagio project site is located at the southeast corner of 99<sup>th</sup> Avenue and Bethany Home Road in the City of Glendale, Arizona. The site, comprised of approximately 47 gross acres, is encompassed by Bethany Home Road to the north, office to the south, 99<sup>th</sup> Avenue to the west and the Loop 101 to the east. The site is currently undeveloped vacant land.

Currently, the site is accessible from 99<sup>th</sup> Avenue and Bethany Home Road, which currently terminates at 99<sup>th</sup> Avenue. Also in close proximity to the site is the University of Phoenix Stadium, located approximately one-half mile northeast of the site. Jobbing.com Arena and Westgate City Center are located approximately one mile northeast of the site and Chicago White Sox and Los Angeles Dodgers Spring Training Facility one mile west. The City of Glendale Municipal Airport is located approximately one and a half miles west of the site.

The Bella Villagio project is proposed as an intense, multi-use destination offering a balance of housing, offices, retail, hotel and entertainment uses. The project is designed as a compact environment integrating high-density residential condominiums, shopping, employment and amenities. The proposed plan includes structured parking, as well as vehicular and pedestrian accessibility to adjacent properties.

### 3. Project Vision

The proposed Bella Villagio project is envisioned to be an intense, mixed-use destination, aimed at providing residents and visitors a concentrated place to live, work and play. The two stadium

facilities and Westgate City Center nearby are viewed as economic engines and catalysts for mixed-use development in the immediate area. As a result, the proposed Bella Villagio development can be viewed as a continuation of these core uses and active urban spaces.

*B. Existing General Plan Designation*

According to the City of Glendale General Plan Land Use Map, the Bella Villagio site is designated as Business Park **(See Figure 1, Existing General Plan Land Use Map)**. According to the Glendale 2025: The Next Step, this land use designation “is intended to encourage large scale campus style development which includes increased amenities including attractive streetscapes, enhanced landscaping, functional pedestrian connectivity, and usable gathering places. This category provides employment areas that are compatible with adjacent or surrounding land uses and promotes an efficient circulation system including the separation of pedestrian traffic from vehicular traffic. Business Park designated areas provide for the development and accommodation of administrative and research industries, offices, and limited manufacturing and support service. Business Parks are intended to provide an efficient circulation system and reduce trip generation/vehicular traffic off-site by development and perpetuation of mixed-use activity within the project.

The project site is also located in the Western Area Plan, which acts as an overlay to the General Plan, adopted in 2002. The Western Area Plan also designates the future land use of the proposed Bella Villagio site as Business Park. This Business Park designation allows administration, research and office facilities that will increase the number of jobs available to surrounding residence.

General Plan Land Use designations adjacent to the project site include Business Park to the north of the site, office to the south, mixed use to west (within the City of Phoenix Planning Area and jurisdictional limits) and proposed corporate commerce center to the east.





# BELLA VILLAGGIO

SPAZI DI VITA

## General Plan Amendment

## Existing General Plan Land Use

### City of Glendale

- Low Density Residential (0.1 du/acre) [1-2.5 du/acre]
- Medium Density Residential (2.5-3.5 du/acre) [3.5-5 du/acre]
- Medium-High Density Residential (5-8 du/acre) [8-12 du/acre]

### Planned Commercial

### Entertainment Mixed Use

### Office

### Corporate Commerce Center

### Business Park

### Light Industry

### Public Facility

### Education

### Parks And Open Space

### Municipal Planning Area Boundary

### Western Area General Plan Update Boundary

### City of Phoenix

### 0 to 1 du/acre - Large Lot

### 2 to 3.5 du/acre - Traditional Lot

### 3.5 to 5 du/acre - Traditional Lot

### 10 to 15 du/acre - Higher Density

### Parks/Open Space - Publicly Owned

### Mixed Use

### Commercial

### 15+ du/acre - Higher Density

### Project Boundary



Scale: 1" = 1/4 Mile

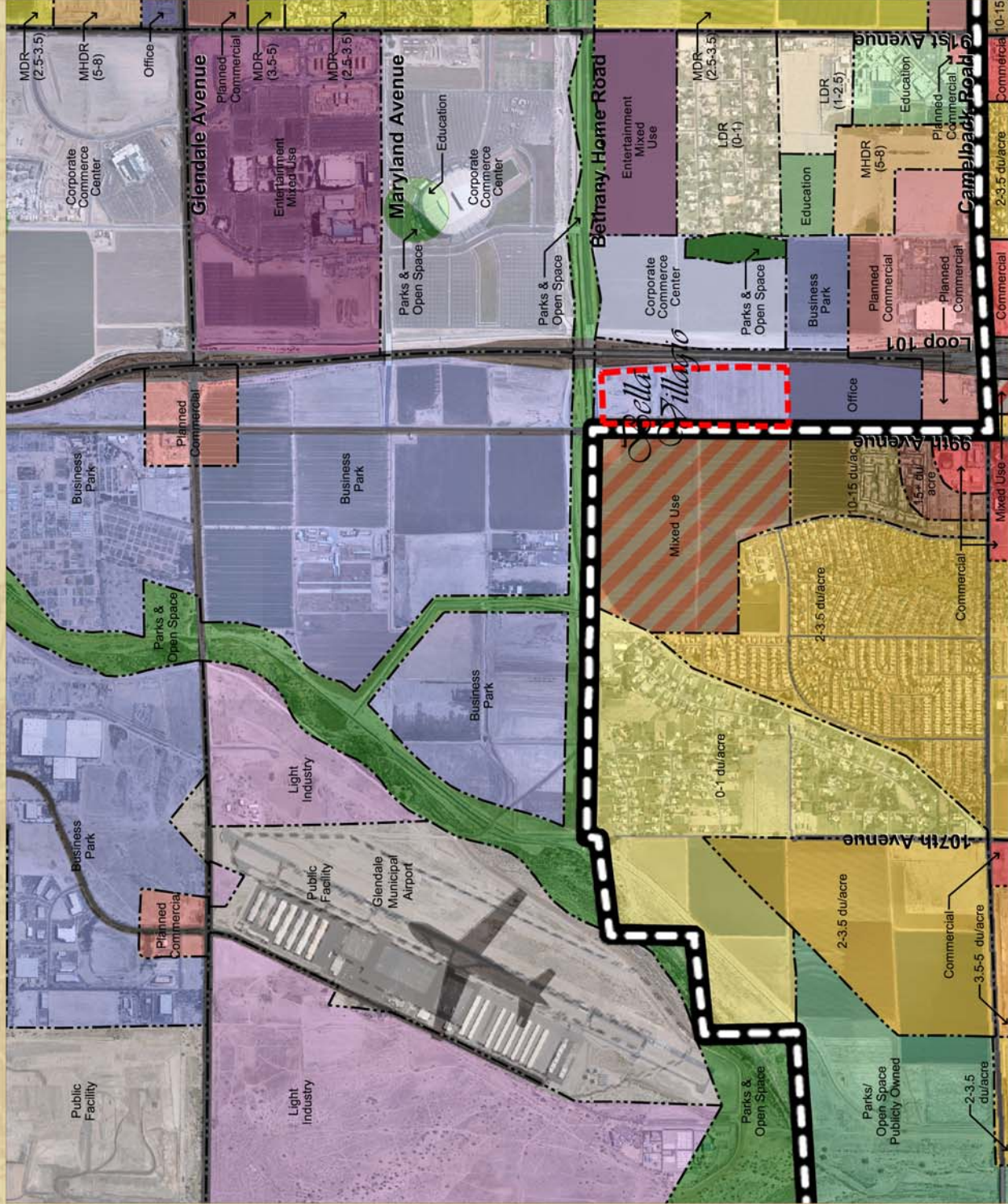
Figure #

1

**LVA**

Preliminary-Not For Construction  
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Date: 5.25.10 Project Number: 1018



*C. Requested General Plan Designation*

The proposed Bella Villagio project will require an amendment to the existing General Plan land use designation from BP (Business Park) to EMU (Entertainment Mixed Use). The uses proposed for the Bella Villagio project are consistent with this designation. **(See Figure 2, Proposed General Plan Land Use Map)**

According to the City of Glendale General Plan, the Entertainment Mixed Use designation “provides for regional level sports, entertainment and employment centers, including public gathering sites with related commercial and public/quasi-public amenities for the benefit of the community. Land uses include large-scale projects such as arenas, stadiums, amphitheaters, public gardens, public plaza, parking garages, offices, retail establishments, and urban style housing. Common driveways, shared parking, unified architecture and landscaping, public art characterize this type of use.”





# BELLA VILLAGGIO

SPAZI DI VITA

## General Plan Amendment

## Proposed General Plan Land Use

### City of Glendale

- Low Density Residential (0-1 du/acre) [1-2.5 du/acre]
- Medium Density Residential (2.5-3.5 du/acre) [3.5-5 du/acre]
- Medium-High Density Residential (5-8 du/acre) [8-12 du/acre]

### City of Phoenix

- Planned Commercial
- Entertainment Mixed Use
- Office
- Corporate Commerce Center
- Business Park
- Light Industry
- Public Facility
- Education
- Parks And Open Space
- Municipal Planning Area Boundary
- Western Area General Plan Update Boundary
- 0 to 1 du/acre - Large Lot
- 2 to 3.5 du/acre - Traditional Lot
- 3.5 to 5 du/acre - Traditional Lot
- 10 to 15 du/acre - Higher Density
- Parks/Open Space - Publicly Owned
- Mixed Use
- Commercial
- 15+ du/acre - Higher Density
- Project Boundary



Scale: 1" = 1/4 Mile

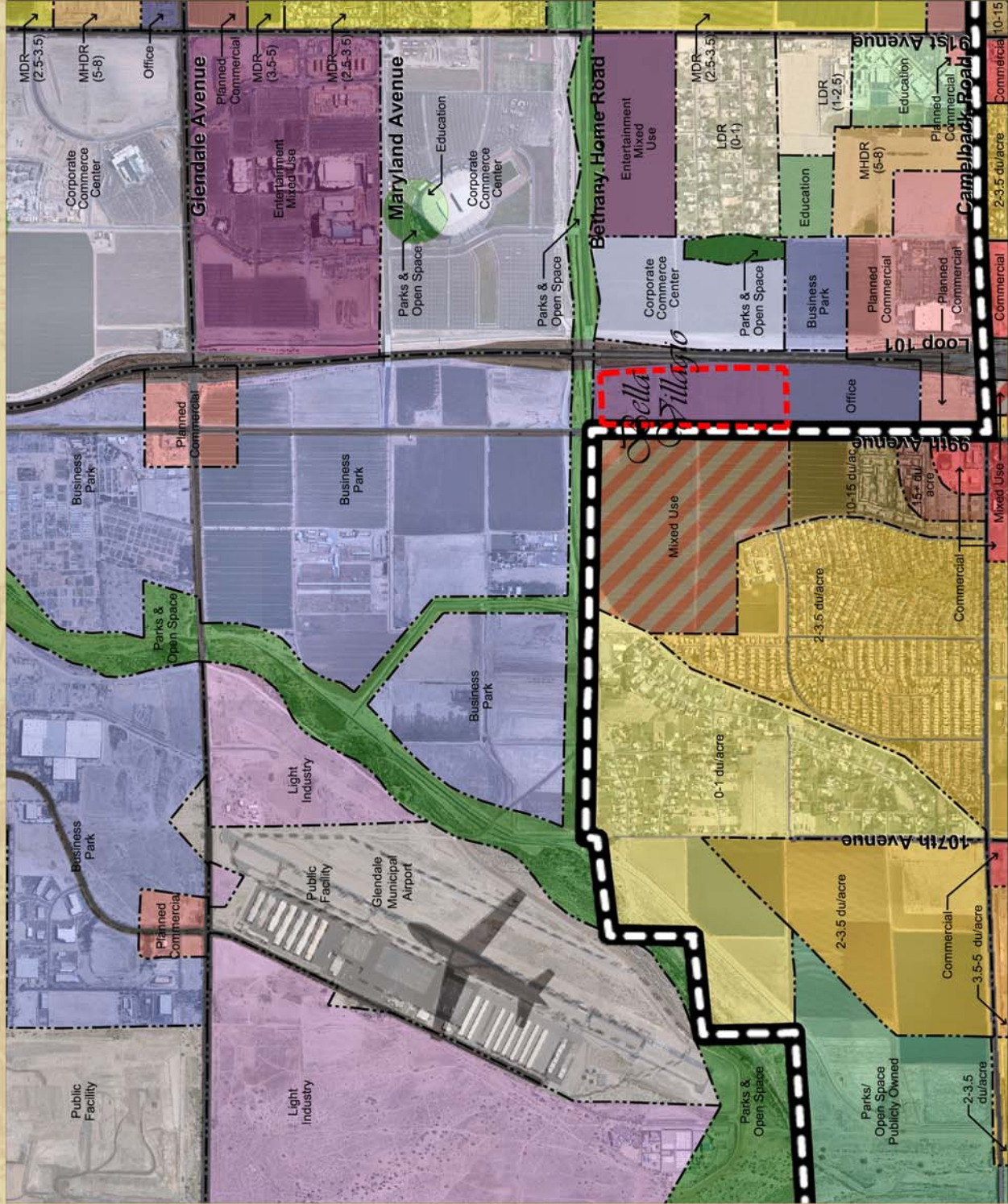
Figure #

2

**LVA**

Preliminary Not For Construction  
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Date: 5.25.10 Project Number: 1018





*D. Goals of General Plan*

The proposed Bella Villagio project will be designed to be consistent with the goals and policies outlined in the City of Glendale General Plan and Western Area Plan. The following General Plan elements have been identified to demonstrate the compatibility of the Bella Villagio project with the goals of the General Plan:

MUNICIPAL DEVELOPMENT ELEMENTS

1. Land Use Element

*Goal 1: Relate residential areas with work places.*

*The General Plan recognizes the value in establishing desirable, various housing options for the local workforce and their families. Shorter commuting distance reduces travel cost and increases leisure time*

The proposed Bella Villagio project is designed to be a dense environment offering residential housing opportunities, in addition to office, retail and entertainment uses. The site will be highly desirable for the growing demographic looking for urban lifestyles.

Bella Villagio will offer high rise condos with retail on the lower levels. This high-rise residential development will add to the urban feel within the area by adding a more diverse demographic that will aid current and future retail, office and entertainment development within the area. Adding this type of residential development close to University of Phoenix Stadium and Westgate will encourage residents and visitors to use alternative forms of transportation when going to an event or to work. A high-rise building on this site will maximize the available space allowing more open space, pedestrian corridors and mix-use opportunities on the ground levels.

The site will also provide a variety of retail, restaurant, and entertainment uses, creating an atmosphere that remains vibrant day and night. This project is ideal for residents looking for a downtown urban life style where they can work and live which will cut back on commuting time. More and more, office and hotel uses are favoring a mixed use environment which offers a better setting for workers as

opposed to freestanding sites. The nature of the development, together with the location, makes this an ideal site to locate corporate headquarters as well as small to medium size businesses.

*Goal 2: Promote sound growth management methods.*

*With attention to policies that favor proportionate increases in shopping and jobs, the City should closely monitor land use absorption in non-residential categories. Service and infrastructure priorities act as incentives for cost-beneficial land use in accordance with Economic Development goals.*

This development is precisely what is sought by this objective. The development will be organized around streets, and plazas. Residential and office development will be stacked on top of retail creating a downtown atmosphere. Residence and employees will enjoy the benefits of this downtown environment by living, working, and shopping within close proximity of each other. This will reduce the number of vehicular interface and encourage the use of alternative forms of transportation.

*Goal 4: Ensure compatibility between land use and transportation. Encourage incorporation of non-vehicular circulation within and connecting all developments.*

The mixed-use environment, surrounding entertainment uses, and scale of the project encourage the development of extensive pathway networks that unify the site and minimize vehicular interface. A connection to the adjacent Opus office development south of the site will enhance this liner connectivity among the sites without adding to the flow of traffic along 99<sup>th</sup> Avenue. Residences and visitors will be encouraged to use alternative forms of transportation. The Opus Office Development is made up of five two and three story office buildings which will not only enhance the need for multi-family housing but also continue the urban downtown atmosphere that Bella Villagio brings.

## 2. Circulation Element

*Goal 2: Support alternative modes of travel.*

*Glendale will foster options to automobile travel by seeking to expand the range of service levels of its transit system as an attractive and convenient alternative to the automobile; develop a comprehensive and continuous system of bicycle and pedestrian facilities; promote working at home and staggered work hours to help reduce traffic congestion; and encourage alternative modes of travel.*

The project area is currently not served by local bus transit, however, planning on the site has accommodated the future extension of alternative transportation modes, including the future extension of the light rail system, bus system and enhanced bike paths.

*Goal 6: Ensure regional connectivity.*

*The Glendale transportation system will be effectively connected to the regional transportation system by working closely with adjacent jurisdictions and MAG to ensure synchronized transportation lines and supporting the completion of regional facilities.*

Planning on this site will take advantage of the Loop 101 and Bethany Home Road on-ramps as well as the potential expansion of the light rail system and bus systems.

*Goal 7: Integrate land use and transportation.*

*Land use patterns and transportation systems will be integrated to help reduce congestion and provide convenient access. Mixed-use development, utilizing alternative transportation systems, helps reduce the number of vehicle trips. Improving the balance of jobs to housing is a key planning response to the length of work trips*

The proposed project will integrate residential, employment and retail uses to discourage vehicle trips and mitigate vehicular transportation within the project. The project site and proposed uses within the site are easily accessible from the surrounding community, due to the site's proximity to arterial roadways and the Loop 101 freeway. As discussed above, the proposed project will also take advantage of potential future transit options.

### 3. Housing Element

*Goal 2: Provide the citizens of Glendale a choice from a wide variety of housing types.*

*Opportunities for housing variety should be provided in all geographic areas of the City. The goal is intended to be implemented city wide and seeks quality architectural design and planning a myriad of housing types.*

The housing options offered within the proposed Bella Villagio project will likely target working individuals looking for urban and downtown lifestyles. This growing demographic is typically drawn to in-town and urban housing products such as apartments over retail, loft apartments, luxury high-rise condominiums, mid-rise apartments with structured parking, garage townhouses, and live-work units. It is the intent of this development to provide many of the housing options just mentioned.

### 4. Redevelopment Element

*Goal 2: Consider infill development a top priority.*

*Available, existing infrastructure constitutes a major plus for infill projects. Increased shopping and employment opportunities, as in Glendale's revitalizing Downtown Core, add desirability to inner-city neighborhoods. Urban living alternatives, bringing population increases to Glendale's downtown, provide an ideal adaptation for residential potential in Glendale's redevelopment planning.*

Bella Villagio will complement Glendale's downtown district by providing multifamily condos, mixed use and a strong retail core. These elements will bring new employment opportunities to residents along with adding "urban flavor" with in the area. The project will also complement the new Westgate and University of Phoenix by adding more mixed use to the area. The residential tower will complement other proposed high-rise projects with in the area.



## 5. Urban Design Element

*Goal 2: Encourage architectural variety.*

*Architectural "sameness" is a concern for Glendale residents and stakeholders. Given the tools available to the construction industry and the demands of modern consumers, the City is committed to providing direction and being a working partner with private interests in creating architectural variety.*

The proposed Bella Villagio project will implement architectural variety into the ultimate design of the residential, retail and employment uses proposed for the site. Also, setback and open space buffers will be a critical component of the edge treatment for the Bella Villagio project. Specific definition of these standards will be presented as part of the zoning and site planning portions of the future development process.

*Goal 3: Introduce different streetscapes in each neighborhood.*

*Glendale celebrates its diversity among neighborhoods. In support of recognizing each area's distinction, the citizens have asked that publicly maintained and improved streetscapes reflect many diverse designs.*

It is anticipated that both within and outside of the Bella Villagio project, a strong pedestrian circulation element will be constructed to tie the project into adjacent pedestrian corridors and amenities where appropriate, with entry statements and hardscape features intended to promote the use and enjoyment of the pedestrian circulation element with in the site.

## PUBLIC ASSETS ELEMENTS

### 1. Public Services and Facilities Element

*Goal 1: Establish municipal assets as the framework for land use and economic development.*

*Glendale desires to provide for economic expansion, including the development and redevelopment of land, in balance with the provision of municipal services. This balance is key in ensuring that existing residents and businesses continue to enjoy current levels of quality facilities and services as necessary service expansions are completed.*

In the event that the existing infrastructure does not provide adequate capacity, upsizing and/or over sizing will be contemplated in order to facilitate development of the project and to sustain the public water and sewer systems in "good health."

As a result of this General Plan Amendment and the adoption of the forthcoming PAD Zoning Amendment, intersection improvements, installation of traffic signals, Streets, and Sidewalks, if deemed appropriate by the City and the developer will be provided in conjunction with other infrastructure improvements as needed to accommodate development of the site.

## 2. Fiscal Element

*Goal 1: Stress financial responsibility and accountability in the City's General Plan implementing investments.*

*Citizens expect the City to apportion expenditures with first priority to necessities, such as public safety and basic services; next, to General Plan amenity enhancements; then to revenue-generating prospects.*

Development anticipated by approval of this General Plan Amendment will not require City participation and therefore create no risk to the financial security of the City.

It is not anticipated that development of the Property will require funding derived from capital improvement projects or other infrastructure investments on behalf of the City.

## 3. Public Buildings Element

*Goal 3: Consider joint and/or multiple use opportunities.*

*In all public building project and in school facility planning, joint-use can achieve significant efficiencies with limited public resources.*

The proposed office spaces within the project can be leased to multiple tenants, offering a variety of services as well as revenue options. Also, the proposed hotel could be utilized in a variety of uses, particularly in conference and auditorium style rooms. It is intended that the property use will be enhanced by this General Plan Amendment in that

additional and diverse land uses will be constructed which will further “activate” the property making public/private engagements more appealing and attractive to residence and visitors.

#### 4. Economic Development Element

*Goal 1: Accelerate economic growth at a higher rate than population.*

*Policies for economic development mesh with other Elements' aims to target business and institutional growth as primary contributors to future municipal stability. Both residents and their local government seek assurance that families, and the City itself, will continue to have the means to support community excellence.*

It is anticipated that the office, retail and hotel uses within the Bella Villagio project will generate many additional employment opportunities. This job creation increases the jobs to housing ratio within the community and further bolsters the Loop 101 corridor in Glendale as a major economic attraction.

*Goal 2: Encourage business growth for in-City job opportunities.*

*Land use decisions, together with street and transit improvements, identify prime locations for employment campuses. Enterprises are encouraged to locate and grow in Glendale.*

This General Plan Amendment will result in the implementation of mixed-use development within the site, intended to reduce commuting time, distance and expense by providing employment opportunities proximate to established residential districts for both residents and non-residents of the City.

The applicant envisions the proposed development concept as an opportunity to promote workforce-community interaction by investing in development uses that are in close proximity to established residential areas that offer a variety of housing product and price range.

*Goal 3: Attract diverse high-paying industries.*

*Glendale's quality living advantages should be promoted to improve our share of metropolitan employment. Particular emphasis*

*is directed to welcoming corporate entities in growth industries such as communications, data analysis, biologicals, energy, and health care.*

The applicant is proposing the development of a mixture of uses that will, in combination existing uses to the south, create a symbiotic relationship between uses that promotes the overall viability and diversity of the site. Also, this General Plan Amendment request provides for the development of specific uses that will be dictated in part by current market conditions. The proposed uses would encourage the attraction of small and medium size local businesses.

*Goal 5: Establish commercial destination attractions.*

*Activity center design and construction, particularly in Western Area and City Center developments, should project a distinctive sense of place. Architectural themes, building scale, outdoor spaces and amenities require attention to human scale, pedestrian convenience, and visual excitement.*

The Bella Villagio project is proposed as a unique mixed-use development with diverse building massing and architectural character. The project will include streetscape theming and landscape design on a pedestrian scale. The project will incorporate a community gathering places to offer residents, employees and visitors open spaces to relax or recreate.

## QUALITY OF LIFE ELEMENTS

### 1. Recreation Element

*Goal 1: Provide an equitable distribution of parks and recreation amenities.*

*Citizen preferences during the General Plan update process indicated that attention must be given to the overall distribution of park and recreational facilities within the community. Service areas for recreational facilities can be enhanced by providing ease of access for all modes of transportation, thereby maximizing park locations and distribution.*

During the site planning processes, the applicant will seek to identify the specific locations of open space and recreational amenities that contribute to the aesthetic environment of the office, residential, retail and hotel developments. The



applicant will strive to identify a network of pedestrian and bicycle trails that will enhance and encourage the utilization of these improvements. An effort will be made to connect improvements to existing or proposed alignments that may be proximate to the site.

## 2. Safety Element

*Goal 3: Focus on traffic safety improvements.*

*Stress roadway improvements to improve protection of the public and to reduce time spent by public safety personnel on preventable incidents.*

The proposed uses will generate additional vehicular, bicycle and pedestrian traffic. It is the responsibility of future development to ensure that this traffic is facilitated in an efficient and safe manner that reduces opportunities for conflicts. The applicant will work with staff to evaluate appropriate traffic mitigation and safety improvements. Future design will strive to separate pedestrian traffic from busy roadways, particularly along Bethany Home Road and 99<sup>th</sup> Avenue, where possible and promote the utilization of multi-use pathways that meander through non-vehicular areas. Provisions for such amenities have not yet been defined, but will be necessary components of future planning processes.

## 3. Neighborhood Element

*Goal 1: Establish distinct neighborhood identities.*

*Diversity among residential areas in Glendale is a point of civil pride. Historic structures, architectural details, special gathering places or open space treatments relate to the different cultures, social preferences and leisure activities of the families that live in the neighborhood.*

The ultimate objective of this amendment application is to create a viable and sustainable community that compliments the existing multi-use development and office developments to the south and east and integrate seamlessly within its context. This integration can be accomplished both in architecture and utility, creating an environment that attracts users and residents by linking itself to the surrounding

neighborhoods. Landscape themes will compliment or enhance existing elements and future development will seek to become an extension of the greater community's identity.

*Goal 3: Observe regulations and standards for livability.*

*As a maturing City, Glendale is mindful of qualitative criteria for sustaining principles of property value, enjoyment and privacy. Codes, design guidelines and municipal staff assistance are intended as assurance against neighborhood decline. New or old, residential areas are expected to contribute positively to overall community image.*

In an effort to maintain its standing as a “good neighbor” to adjacent properties, the applicant will pursue the implementation of compatibility and quality standards that recognize the concerns of adjacent property owners. Additional measures such as design guidelines may also be utilized to ensure appropriate development design and implementation.

#### 4. Conservation of Resources Element

*Goal 2: Promote and practice energy conservation.*

*Architects, designers, developers and City officials must work together to employ building and site designs that embrace and maximize energy efficiency.*

The applicant concurs that the utilization of energy efficient materials and practices is a preferred development scenario. The applicant will work with the City to identify appropriate opportunities for implementation of such practices, and determine the correct application for the integration of “green” technologies into the site development process.

*Goal 3: Protect and improve the quality of storm water runoff and reduce soil erosion.*

*Residents, developers and agri-business operators can have a substantial impact on reduction and prevention of storm water pollution. Permitting programs can be improved and enforced to ensure grading activities minimize storm water quality degradation.*

The subject property will implement storm water runoff techniques and designs that are in concurrence with the City's development criteria.

## 5. Bicycling Element

*Goal 1: The bicycle system will be continuous and provide access to all parts of the City.*

*Access to key community facilities, such as parks, schools and service areas, and connectivity between neighborhoods are essential in enhancing the functionality of the bicycle circulation system.*

The need for alternative transportation facilities is a critical component to the viability of and effective multi-use environment. With designated residential uses immediately southwest of the site, and regional destinations in close proximity, the establishment of bicycle and pedestrian elements in and around the site will be appropriate. The applicant will work with City staff during the site planning process to identify appropriate bicycle route alignments and support facilities throughout the site.

## GROWING SMARTER PLUS ELEMENTS

### 1. Growth Areas Element

*Goal 1: Secure employment expansion in well-paying jobs in high quality business and commerce park developments.*

*This goal responds to Glendale's existing employment nodes and adopted specific plans that call for master planned, mixed-use activity centers that attract corporate site selection. Amenities for employees include shopping, recreation and nearby housing choice.*

The Bella Villagio project is proposed to act as an activity center, attracting employees for the retail and office uses, as well as the hotel. Shopping and housing choices will be available to employees within the Bello Villagio project, and other available amenities such as the nearby sports facilities and Westgate City Center will be available to residents.

It is the intent of the proposed Bella Villagio project to meet the City's goal of providing high quality employment development proximate to the Loop 101 Freeway corridor. The proposed uses will improve balance related to the jobs-to-housing relationship, particularly in this portion of the City.

*Goal 2: Identify specific locations and provide infrastructure for growth nodes.*

*Designate prime mixed-use development areas directed by municipal capital investment priorities. Compact, more intense core massing is desired for some Growth Areas such as the City Center and Western Area intended to absorb most municipal growth over the next two to three decades.*

The Westgate City Center and the nearby sports facilities have become a catalyst for mixed-use destinations in the immediate vicinity, thereby enhancing the desire for compact development. The goal of the proposed Bella Villagio project is to maintain compatibility with the existing (and proposed) intense development in the immediate area.

The vacant nature of the subject property translates well to designation of "growth node" status within the City. This area is a great opportunity for intensified development that will provide a mix of infrastructure and facilities such as Multi-family high-rise condos, retail, entertainment employment and business opportunities as well as spark development for future transportation connection to other parts of the city. The acreage available for development is appropriately located adjacent to major municipal and regional circulation corridors to facilitate vehicular ingress and egress in an efficient manner. This proximity to major infrastructure will limit the overall scope of impact to neighboring communities.

*Goal 3: Manage growth to achieve reasonable, responsible urban development.*

*Growth Area planning activates community character preservation as well as fostering economic development. By designating sufficient developable land to achieve desired land use absorption, Glendale protects other assets from incursion by overly intense or incompatible development.*



One of the primary advantages of the subject property is that it lies adjacent to urbanized/built portions of the City. The existing level of infrastructure and community improvements reduces the burden incurred by the City by not having to operate and maintain major infrastructure extensions in remote portions of the municipal area. The subject property can be viewed as an infill opportunity that will tie into existing infrastructure that is appropriately sized to accept additional contributions.

## 2. Open Space Element

*Goal 1: Retain spacious feeling.*

*Residents value the open feeling of rural areas within close proximity to the urbanized areas of Glendale and support an active role for the City and private entities in retaining open space.*

The allocation of open space is a significant component of any development type, whether it is residential, commercial or employment. The provision for developed open space within the proposed amendment area will include amenities that are intended to enhance the variety of uses, as well as the surrounding communities. Open space areas within the proposed Bella Villagio project will focus on being functional, attractive and appropriate for the environment. In addition, perimeter buffer and transitional areas will include enhanced landscaping, with theming and concentrations that are appropriate for the area. Internally, open space areas will be contiguous, lending to a network of interconnected pathways and corridors that link uses and amenities.

*E. Conclusion*

The current Business Park land use is designed to accommodate offices for administrative, business and other professional services. This land use designation was adopted before several factors were not present at the time the General Plan was prepared such as the development of the Stadium, on and off ramps onto Bethany Home Road from the Loop 101 freeway, and subsequent approval for mixed-use high-rise development in the area. The adoption of the General Plan Amendment will change the land use designation to EMU (Entertainment Mixed-Use). This land use designation will not only be consistent with recent approvals in the area, but also offer the flexibility to design the site to accommodate necessary transitions between current commercial development to the south, proposed mixed use to the east and the existing stadium to the northeast as well as the potential high density development to the west.

Furthermore, the combination of high-density residential, retail, employment and hospitality uses provided to the community will aid in the creation of a true mixed-use development, whereby enhancing the viability and contribution to the area, and establish a sustainable project which can serve the community by offering a variety of uses and services to residents and visitors alike. The applicant believes that the EMU (Entertainment Mixed Use) designation best serves the long-term vision of the property and the City in promoting a concentrated, activity-driven mixed-use destination.

## *Appendix A: Legal Description*

**Wood, Patel & Associates, Inc.**  
(602) 335-8500  
www.woodpatel.com

Revised May 25, 2010  
Revised May 21, 2010  
May 8, 2008  
Page 1 of 2  
WP# 093454  
See Exhibit "A"

**PARCEL DESCRIPTION**  
**Bella Villagio**  
**Proposed Gross Area**

A parcel of land lying within Section 16, Township 2 North, Range 1 East, of the Gila and Salt River Meridian, Maricopa County, Arizona, more particularly described as follows:

Commencing at the west quarter corner of said Section 16, a Maricopa County Highway Department (M.C.H.D.) brass cap in handhole, from which the northwest corner of said Section 16, a M.C.H.D. brass cap flush bears North 00°53'52" East (basis of bearing), a distance of 2637.73 feet, said west quarter corner being the **POINT OF BEGINNING**;

**THENCE** along the west line of said section, North 00°53'52" East, a distance of 2504.29 feet;

**THENCE** leaving said west line, South 89°06'08" East, a distance of 90.00 feet, to the easterly right-of-way line of 99<sup>th</sup> Avenue;

**THENCE** leaving said easterly right-of-way line, North 89°37'16" East, a distance of 315.57 feet;

**THENCE** North 86°37'52" East, a distance of 346.70 feet;

**THENCE** South 04°04'41" East, a distance of 201.67 feet;

**THENCE** South 04°58'44" East, a distance of 301.50 feet;

**THENCE** South 01°48'47" East, a distance of 900.89 feet;

**THENCE** South 01°33'31" East, a distance of 500.40 feet;

**THENCE** South 00°43'54" West, a distance of 596.26 feet, to the east-west mid-section line of said section;

**THENCE** along said east-west mid-section line, South 88°14'17" West, a distance of 866.31 feet, to the **POINT OF BEGINNING**.

Containing 47.5021 acres, or 2,069,191 square feet of land, more or less.

Subject to existing rights-of-way and easements.

This parcel description is based on a Record of Survey recorded in Book 926, page 9, Maricopa County Records (M.C.R.) and other client provided information. This parcel description is located within an area surveyed by Wood, Patel & Associates, Inc. during the month of May, 2007 and any monumentation noted in this parcel description is within acceptable tolerance (as defined in Arizona Boundary Survey Minimum Standards dated 02/14/2002) of said positions based on said survey.

Y:\WP\Parcel Descriptions\2009 Parcel Descriptions\093454 Bella Villagio Proposed Gross Area L01RR 5-25-10.doc



NORTHWEST CORNER OF  
SECTION 16, T.2N., R.1E.,  
MARICOPA COUNTY  
HIGHWAY DEPARTMENT  
BRASS CAP FLUSH

33'

BETHANY HOME  
ROAD

L1  
L2  
L3  
99TH AVENUE

90' R.O.W.

2637.73'

2504.29'

N00°53'52"E

90' R.O.W.

WEST QUARTER CORNER  
OF SECTION 16, T.2N.,  
R.1E., MARICOPA  
COUNTY HIGHWAY  
DEPARTMENT  
BRASS CAP IN  
HANDHOLE  
POINT OF BEGINNING

A PORTION  
OF THE  
WEST 1/2  
OF THE NW  
1/4  
SECTION 16,  
T.2N., R.1E.

EAST-WEST  
MID-SECTION  
LINE

AQUA FRIA FREEWAY  
(NORTHWEST OUTER LOOP  
JCT. I-10 - GLENDALE AVE.  
[STATE ROUTE 417])

LINE TABLE		
LINE	BEARING	DISTANCE
L1	S89°06'08"E	90.00'
L2	N89°37'16"E	315.57'
L3	N86°37'52"E	346.70'
L4	S04°04'41"E	201.67'
L5	S04°58'44"E	301.50'
L6	S01°48'47"E	900.89'
L7	S01°33'31"E	500.40'
L8	S00°43'54"W	596.26'
L9	S88°14'17"W	866.31'

# LEGEND

R.O.W. - RIGHT OF WAY

**WOOD/PATEL**

2051 West Northern  
Phoenix, AZ 85021  
Phone: (602) 335-8500  
Fax: (602) 335-8580  
PHOENIX • MESA • TUCSON



## EXHIBIT "A"

BELLA VILLAGIO  
PROPOSED GROSS AREA  
REVISED 05-25-10  
WP# 093454  
PAGE 2 OF 2  
NOT TO SCALE

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2908L01R-DB\DWG\2908L01RR.DWG

## Planned Area Development



BELLA VILLAGGIO

SPAZI DI VITA

9801 West Bethany Home Road  
(Approximately 47 gross acres located at the southeast corner of 99<sup>th</sup> Avenue  
and Bethany Home Road)  
**Glendale, Arizona**

Formal Application Date: April 7, 2008  
Resubmittal: June 19, 2008  
Hearing Draft: October 20, 2008  
Revised Hearing Draft: December 8, 2008  
Final: May 20, 2010

Application Number: ZON08-11

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---

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BELLA VILLAGGIO  
SPAZI DI VITA

Planned Area Development  
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## *Executive Summary*

Bella Villagio is located at the southeast corner of 99<sup>th</sup> Avenue and Bethany Home Road in the City of Glendale, Arizona. Comprised of approximately 47 gross acres, Bella Villagio is bordered by Bethany Home Road to the north, Missouri Avenue alignment to the south, 99<sup>th</sup> Avenue to the west, and Loop 101 to the east. The site is provided with paved vehicular access both from 99<sup>th</sup> Avenue and Bethany Home Road. A sidewalk exists on the south side of Bethany Home Road. Utilities are readily available, and the site is currently undeveloped.

Bella Villagio is located within a high visibility corridor complimented by ½ mile of Loop 101 freeway frontage at the Bethany Home diamond interchange. This interchange is one of the main entrances to the Glendale Sports and Entertainment District. Bella Villagio will be oriented internally and offers a unique balance of entertainment, office, housing, dining and retail uses in an intimate environment. Strong pedestrian connections to the University of Phoenix Stadium, Westgate, and CBD-101 via crosswalks are offered at the NE and NW corners of the site.

Bella Villagio offers a diverse mix of activities such as employment, shopping and dining that are accessible to the pedestrian/bicyclist that reduce the need for vehicular traffic. Bella Villagio is in close proximity to proposed "light rail" and alternative transportation systems that will offer pedestrians easy access to this community and further explore the surrounding Glendale Sports and Entertainment district.

Bella Villagio will benefit from recent and planned surrounding development of numerous economic catalysts within its area of influence. University of Phoenix Stadium, Jobing.com Arena, Westgate City Center, and the future spring training facility for the Chicago White Sox and Los Angeles Dodgers are all located a short walking distance from the site. The City of Glendale Municipal Airport (LUX Air) is located approximately one and a half miles west of the site, to serve aviation related needs of Bella Villagio's future residents, tenants and visitors.

The purpose of this application is to request a zone change from Agricultural (A-1) to Planned Area Development (PAD). Using PAD zoning, Bella Villagio will provide a unique urban, mixed-use **environment** that will be a "must see" destination in Glendale, Arizona. The site is currently designated as Business Park on the Glendale General Plan Land Use Map. To ensure consistency between the proposed Bella Villagio project and the General Plan, the applicant has submitted an application for Minor General Plan Amendment to change the land use designation from Business Park to Mixed-Use Entertainment.

## *Introduction*

The Introduction chapter of the Bella Villagio PAD provides the overview of the project, its background, vision and character. It is organized in the following four sections:

- Project Overview
- Project Vision
- Development Character
- Project Goals and Objectives

### **1. Project Overview**

The proposed Bella Villagio project site is located at the southeast corner of 99<sup>th</sup> Avenue and Bethany Home Road in the City of Glendale, Arizona in the western region of the Phoenix Metropolitan Area as shown on **Figure 1, Regional Vicinity**. The site, comprised of approximately 47 gross acres, is bordered by Bethany Home Road to the north, recently development office (Glendale Corporate Center) to the south, 99<sup>th</sup> Avenue to the west and Loop 101 to the east as shown on **Figure 2, Project Context**. The site is currently undeveloped vacant land.

Currently, the site is accessible from 99<sup>th</sup> Avenue and Bethany Home Road, which currently terminates at 99<sup>th</sup> Avenue. Also in close proximity to the site is the University of Phoenix Stadium, located approximately one-half mile northeast. Jobbing.com Arena and the Westgate City Center are located approximately one-half mile northeast of the site and Chicago White Sox and Los Angeles Dodgers Spring Training Facility one mile west. The City of Glendale Municipal Airport is located approximately one and a half miles west of the site.

### **2. Project Vision**

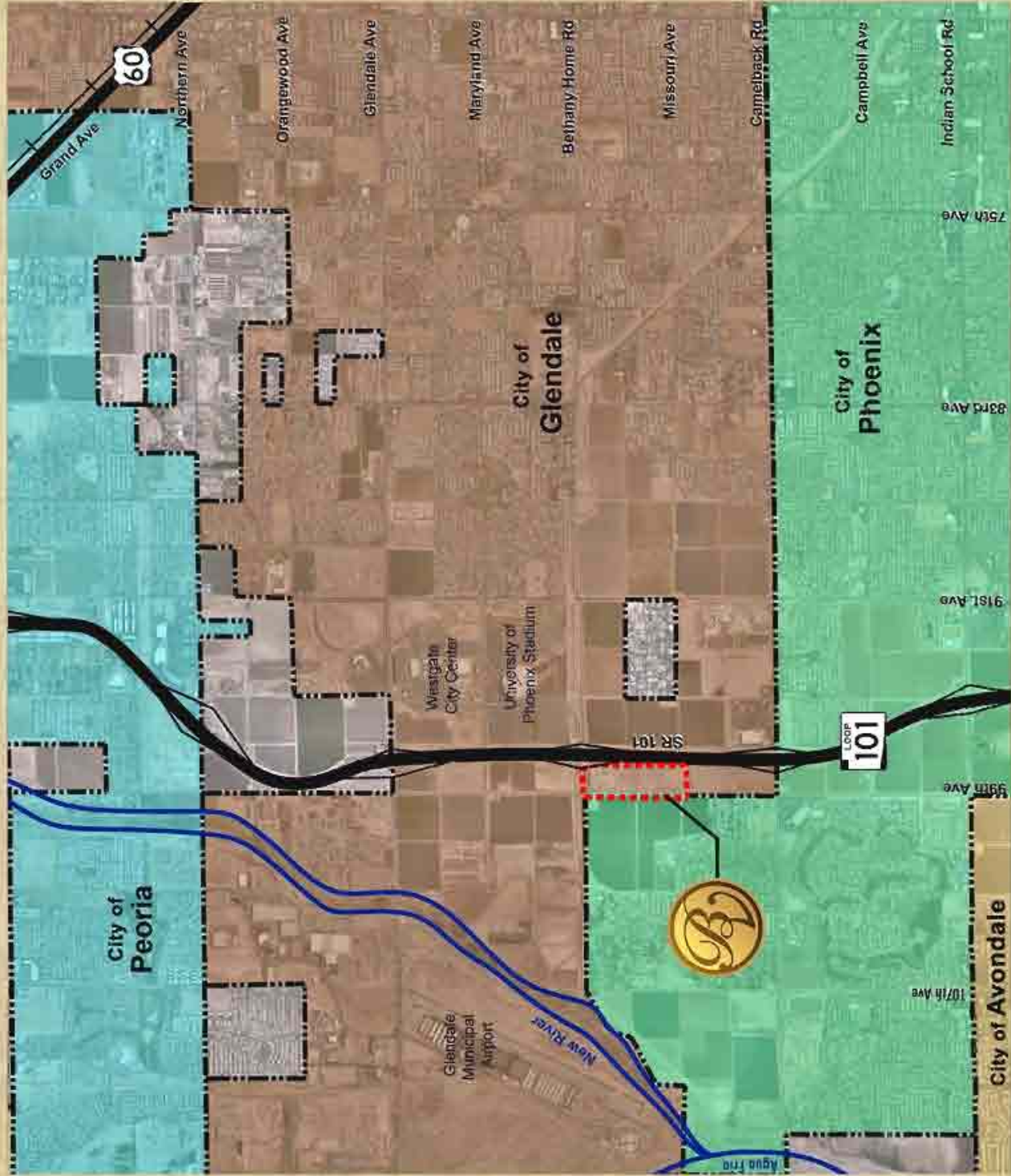
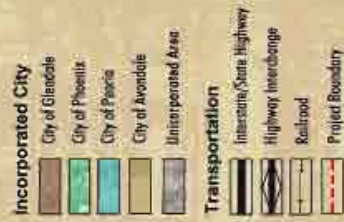
The design of Bella Villagio has been inspired by timeless classical architecture that characterizes Europe. It is by no accident that life and commerce continue to flourish in the midst of centuries-old buildings in European cities. The structures, while ancient, are not obsolete, and are admired for their artistic ornamentations. These are buildings that will not be deemed "outdated", "out of vogue" or "obsolete" in their lifetimes. For all the majesty of these buildings, just as magnificent are the spaces between them. These are the spaces where people commute, conduct their daily commerce, interact socially, people watch, dine and dance. Generations of families have lived their lives in these same spaces, between the same buildings. They know and need nothing more.



# BELLA VILLAGGIO

SPAZI DI VITA

## Planned Area Development Regional Vicinity



NTS

Figure #

1

**LVA**

Preliminary Not For Construction  
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Date: 2/28/08 Project Number: 0745

Pg. 3



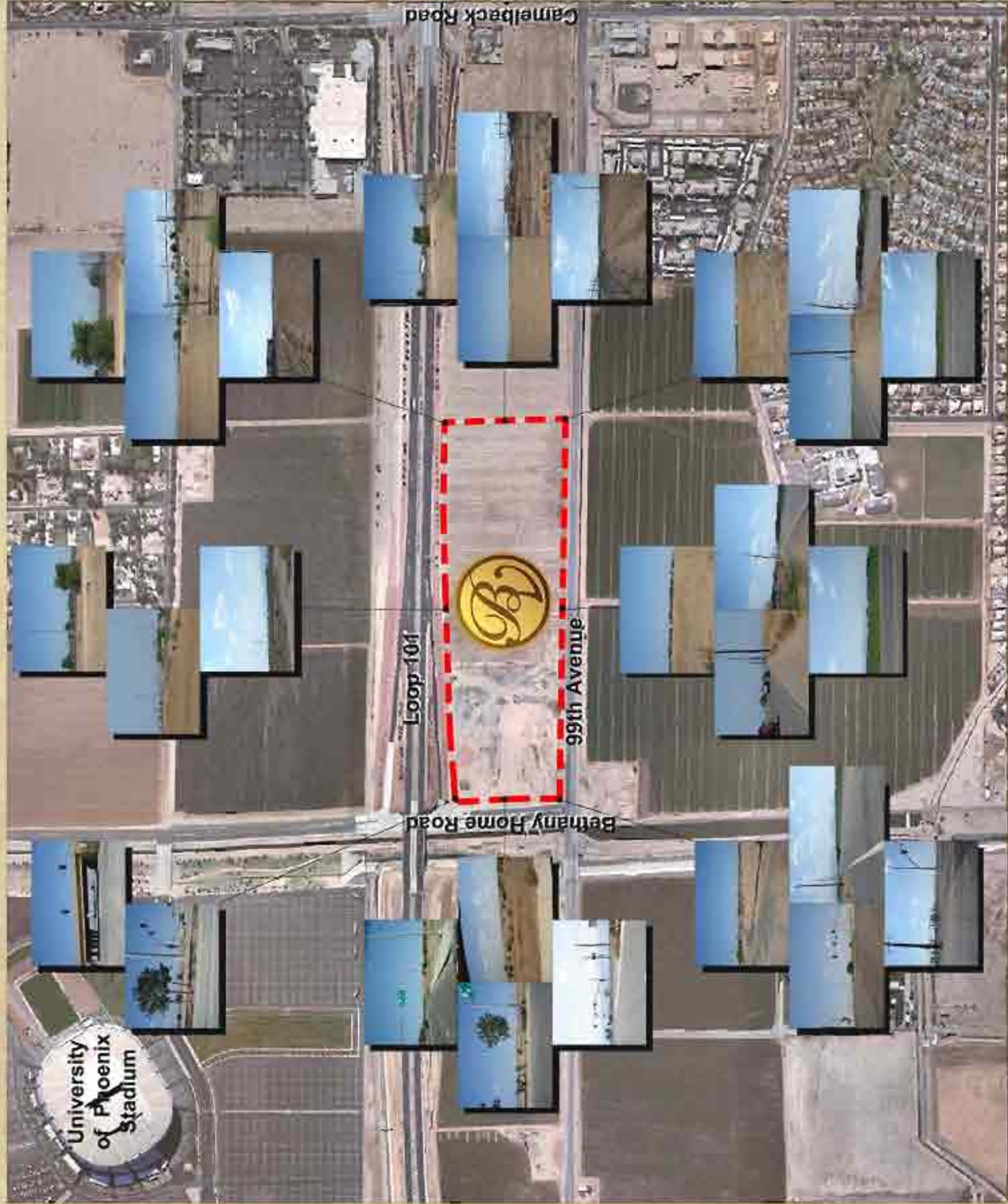


# BELLA VILLAGIO

SPAZI DI VITA

## Planned Area Development Project Context

Project Boundary



North

Scale: Not to Scale

Figure #

2

Provisioned for LCA  
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Date: 2/28/08 Project Number: 0745

Pg. 4

There is no reason that the experience of living in Paris, Brussels, Amsterdam, London or Florence cannot be enjoyed in Glendale, Arizona. Bella Villagio will provide an opportunity for residents to live within walking distance of their office. On the walk home from work, a bottle of wine or fresh flowers could be purchased from one of the many retail vendors along the Main Street. Business people who occupy the office spaces can take a mid-day stroll down Main Street, perhaps stop into a bookstore, and then meet a friend for lunch at a sidewalk bistro. They may stop for a few minutes to watch children play in a fountain, along the way back to their office. If it sounds too good to be true, it isn't. It is Bella Villagio or Beautiful Village.

### **3. Development Character**

Bella Villagio will be a luxury mixed-use live-play-work lifestyle project, focused on a central, vibrant and active Main Street. The development will be internally pedestrian oriented, as well as establishing strong pedestrian connections to the east. The University of Phoenix Stadium, Westgate City Center, and CBD-101 projects will be connected via crosswalks at the northeast and northwest corners of the project site. These crosswalks connect directly to the linear park planned along the canal on the north side of Bethany Home Road. A future pedestrian connection to the west will link with the West Valley Recreation Corridor, a multi-use path system located adjacent to New River that will provide unobstructed access for hikers, bikers and walkers. Internally, the project's "Main Street" extends though this half-mile long site, functioning as the connective tissue for the north, central and south portions of the site. The objectives for each of these three areas are summarized below:

- **The north end** of the site is anchored by a cluster of restaurants, a residential hotel, wrapped parking and loft-over-retail buildings to create a dynamic retail streetscape. Providing meaningful open space is an entertainment plaza artistically adorned to express the international flavor of Bella Villagio, and to provide the focal and activity zone for social interaction, outdoor dining and casual performances.
- **The central portion** of the site provides a continuation of the active street-level retail environment to the north. Retail space wraps the base of Class A office buildings. Loft-over-retail wraps the faces of two parking structures, as well as the podium base for two high-rise luxury residential towers.
- **A large outdoor open space is the central element of the south end** of the site. The surrounding uses will be mixed, with a heavy emphasis on Class A office space. Office-over-office, or office-over-retail (depending upon market demand) wrap the two parking structures. The first floor of the office buildings will be designed to flex as either office or retail uses, as dictated by market demand.

Approximately 95 percent of the site's parking requirement is provided in five carefully distributed parking structures, and/or beneath office and hotel buildings. More than 300 spaces are provided as at-grade convenience parking, to support retail and restaurant uses. Parking for the residential towers is contained within its podium base.

About one-half of the required stormwater retention will be held in underground storage structures, with the remaining contained in surface retention basins/landscape open space. These areas are located along 99<sup>th</sup> Avenue and at the southern (low) end of the site.

Primary access to the 47 gross acre site is provided by 99th Avenue, via five entrance drives. The southern entry drive (Missouri Ave. alignment) is anticipated to be shared with the Glendale Corporate Center office development (currently under construction). The drive entrance ¼ mile to the north, at the midpoint of the project site, will be signalized. In addition to 99<sup>th</sup> Avenue access, right-in/right-out access is planned at the north end of the site, from Bethany Home Road. The development is internally oriented with a central north/south "Main Street". The Main Street, adjacent to Boulevard Park, is planned as a one-way circulator, lined with diagonal at-grade parking spaces, graciously landscaped, furnished and surfaced with accent pavers. Perimeter driveways provide grade level parking, service access and fire department access to the buildings, as needed.

End to end, Bella Villagio is designed to be an active and prosperous village, where people live, work and play. It is a place where everything is at hand, and the car can stay in the garage.

#### **4. Project Goals and Objectives**

Bella Villagio will be designed to:

- **Mix land uses.** Bella Villagio is an urban mixed use project that contains residential, retail, employment and lodging uses that are vertically and horizontally integrated on one site.
- **Take advantage of compact building design.** Bella Villagio is an approximate 47 gross acre site that is projected to include a range of building heights up to a maximum of 332 feet. A typical suburban setting would require a site ranging from 120 to 160 acres to accommodate the intended development program.
- **Create a range of housing opportunities and choices.** Bella Villagio will enhance the selection of housing types within western Glendale by providing both loft and condominium product types. These housing types will appeal to a sector of the marketplace that previously could not find this lifestyle option in the City.



- **Create a walkable development.** Bella Villagio has created its master plan centered on the pedestrian. The center of the site is approximately ¼ mile from its northern and southern perimeter-a comfortable walk. A lively, animated Main Street, North Plaza, Office Courtyard Garden and Boulevard Park with retail, restaurant and office uses will provide the focus for the pedestrian promenade extending through the center of the project.
- **Foster a distinctive, attractive development with a strong sense of place.** Bella Villagio has been carefully branded with a European theme that is pervasive in both architecture as well as its landscape setting. Further, building masses will be responsive to “human scale” with materials and details that are proportionate to human height and provide visual interest at the street and sidewalk level.
- **Plan a development which embraces surrounding development and through connectivity.** Bella Villagio is optimally sited to be served with future extensions of transit service, ranging from rubber-tire trolley, bus, to light rail. It also will have external pedestrian connectivity to the Sports and Entertainment District (i.e. University of Phoenix Stadium, Spring Training Practice Facility, Westgate City Center, etc.). Internally, structured and at-grade parking will serve the vehicular needs of the project's residents, workers and visitors.

## *Existing Predevelopment Conditions*

The Existing Predevelopment Conditions chapter of the Bella Villagio PAD describes the pertinent factors that have influenced the proposed project. These factors have been organized in the following four sections;

Predevelopment Conditions  
Land Use Conditions  
Surrounding Area Planning and Development  
Infrastructure Conditions

### **1. Predevelopment Conditions**

#### **a. Topography and Drainage**

The project site exhibits an existing gradient less than one percent, due to its historic and existing use for irrigated crops. Existing drainage slopes from the northeast to southwest as shown on **Figure 3, Predevelopment Conditions**. Existing off-site flows from the north are intercepted by the Grand Canal which is oriented and flows east to west on the north side of Bethany Home Road. Due to the fact that Bethany Home Road is fully improved on the south side of the Canal, retention will not be required for off-site flows from the north. Off-site flows from the east are intercepted by Loop 101.

#### **b. Floodplain Designation**

The Federal Emergency Management Agency (FEMA) has prepared its Flood Insurance Rate Map (FIRM) map 04013C1620H as revised September 30, 2005, identifying the project site as located in Zone X. Zone "X" is defined as "Areas between limits of the 100-year flood and 500-year flood; or certain areas subject to 100-year flooding with average depths less than one (1) foot or where the contributing drainage area is less than one square mile; or areas protected by levees from the base flood." The existing floodplain is shown on Figure 3.

#### **c. Irrigation**

Irrigation is provided by Salt River Project (SRP) and is supplied from the Grand Canal, on the north side of Bethany Home Road. SRP has stated that effluent may be provided for irrigation purposes. However additional dialogue will be required to determine if SRP will provide effluent for a water feature(s).

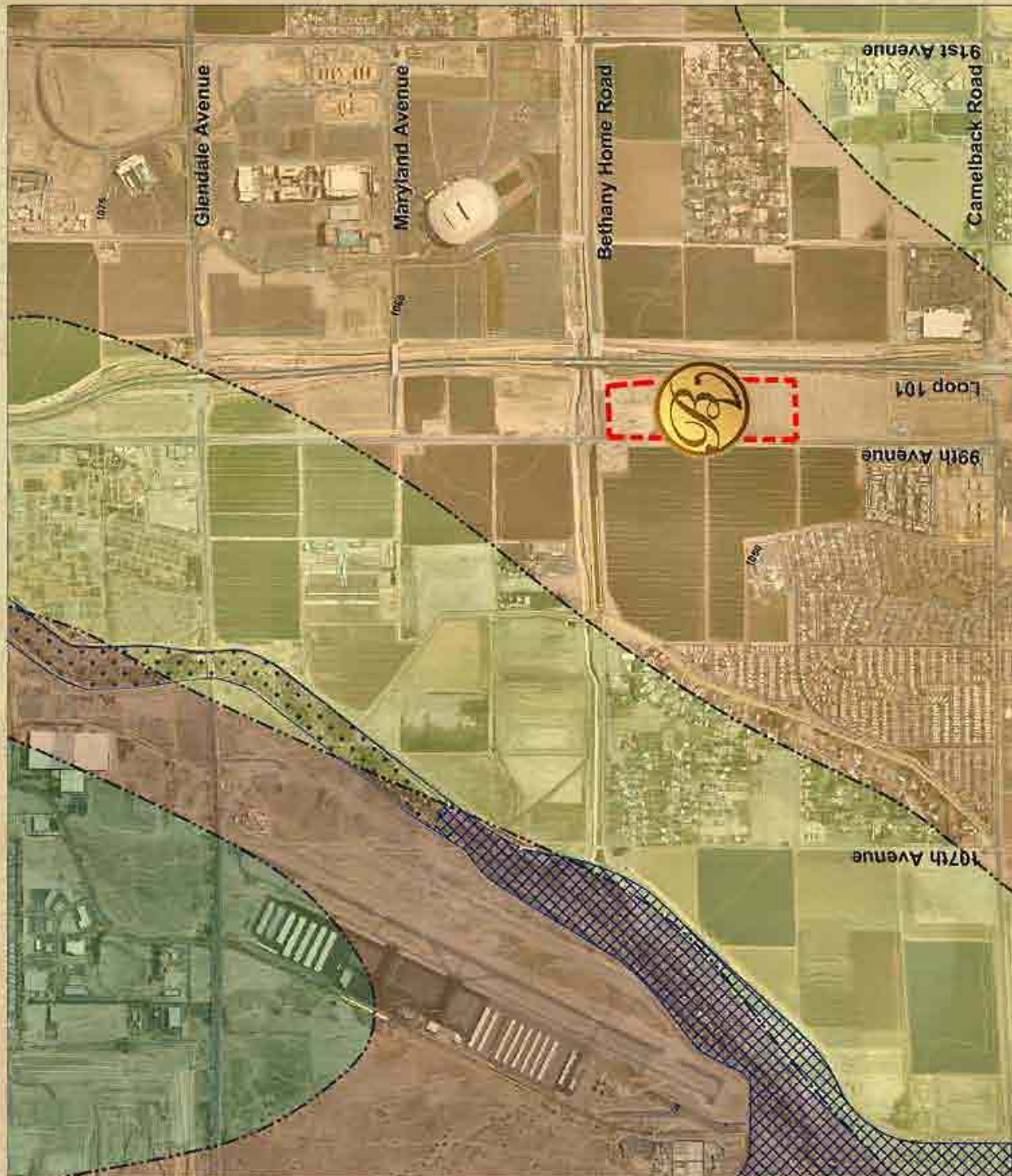


# BELLA VILLAGGIO

SPAZI DI VITA

## Planned Area Development Predevelopment Conditions

- Soil Associations**
- Climesa Estrella-Arroyo
  - Terrillwents
  - Mohell Lowes
  - Kille-Sunlight-Pool
- Drainage Features**
- Topographic Contours
  - Direction of Flow
  - Floodplain
  - Floodway
  - Project Boundary



Scale: 1" = 1/4 Mile

Figure #

3

**LVA**

Prepared for: LVA  
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Date: 2.28.08 Project Number: 0745

## **2. Land Use Conditions**

Land use conditions include the manner in which the project site and its surrounding area are currently utilized, regulated and planned for future uses.

### **a. Existing Land Use**

Historically, the project site has been cultivated under agricultural production. Recently the north 1/3 of the property has not been planted and is currently vacant as shown on **Figure 4, Existing Land Use/Zoning**.

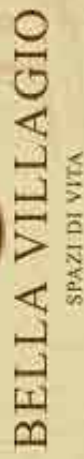
### **b. Existing Zoning**

Currently, the project site is zoned Agriculture (A-1) by the City of Glendale as shown on **Figure 4, Existing Land Use/Zoning**. Property to the north and east are also zoned A-1 in the City. To the west, across 99<sup>th</sup> Avenue, the property is zoned Planned Community District (PCD) in the City of Phoenix. At the time the property was annexed into the City of Glendale from Maricopa County, it was provided with its equivalent Glendale zoning designation of A-1. The A-1 designation is consistent with the existing use of the property, but will be proposed for revision, consistent with the development proposal contained herein.

### **c. General Plan Land Use**

The City of Glendale General Plan (Glendale 2025: The Next Step) became effective on December 1, 2002 to effectively guide future development in the City, pursuant to Arizona Revised Statutes (Growing Smarter/Plus). The General Plan Land Use Map has designated the Bella Villagio project site as Business Park (BP) as identified in **Figure 5, General Plan Land Use** according to the land use element text, the BP designation *"is intended to encourage large scale campus style development which includes increased amenities including attractive streetscapes, enhanced landscaping, functional pedestrian connectivity, and usable gathering places. This category provides employment areas that are compatible with adjacent or surrounding land uses and promotes an efficient circulation system including the separation of pedestrian traffic from vehicular traffic. Business Park designated areas provide for the development and accommodation of administrative and research industries, offices, and limited manufacturing and support service. Business Parks are intended to provide an efficient circulation system and reduce trip generation/vehicular traffic off-site by development and perpetuation of mixed-use activity within the project."*



Planned Area Development  
Existing Land Use/  
Zoning

Date: 5.20.10 Pooled Number: 1018

The location of the project site is also subject to the Western Area General Plan Update which became effective on July 4, 2002. The Update acts as an overlay to the General Plan yet in this case, also designates the Bella Villagio project site as Business Park. This Business Park designation allows administration, research and office facilities with the intent to increase the number of jobs available to surrounding residents to create a more balanced job to housing ratio within the Western Area of the City.

The applicant has proposed a mixed use project for this site. City staff has determined that the Bella Villagio project would fit the intent of the Mixed Use Entertainment General Plan land use designation. As such, an application for a Minor General Plan Amendment will be submitted for City review and approval concurrently with this PAD application.

### **3. Surrounding Area Planning and Development Conditions**

#### **a. Existing Development Context**

The major catalyst of the surrounding area has been the recent construction of Jobing.com arena (home of the NHL Phoenix Coyotes) and, the University of Phoenix Stadium (home of the NFL Arizona Cardinals) as shown on **Figure 6, Area Development**. In addition, the stadium is the new site of the annual Fiesta Bowl (as of 2007) and hosted the Super Bowl XLII in 2008. The stadium is also a rotating site of the Bowl Championship Series (BCS) and may be host to a future Super Bowl in 2012. Jobing.com arena hosts concerts and family shows as well as signature sporting events like figure skating, basketball tournaments, and All-Star games.

Shortly after the completion of the stadium, the Westgate City Center began to develop, just north of the Stadium. Westgate, at build out, will offer 6.5 million square feet of office, retail, dining, entertainment and residential uses to complement the surrounding sporting venues.

Another major attraction in Westgate City Center is the recently completed Cabela's. A popular shopping destination for outdoor enthusiasts, Cabela's functions as a wildlife museum and education center. A retail component completes this world renowned outdoor center.





# BELLA VILLAGGIO

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## Planned Area Development General Plan Land Use

### City of Glendale

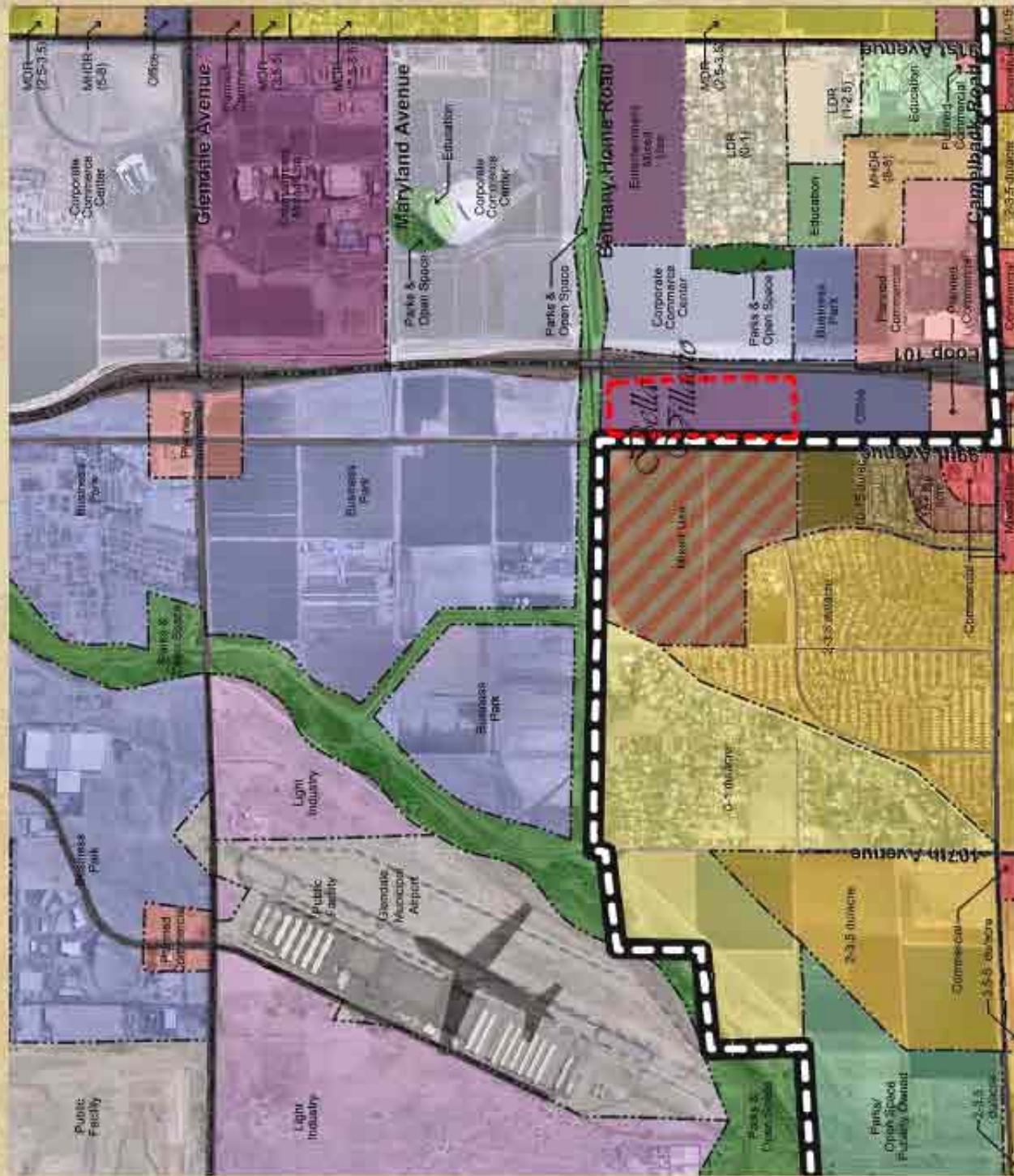


### City of Phoenix



Date: 5.20.10 Project Number: 1018

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# BELLA VILLAGGIO

SPAZI DI VITA

## Planned Area Development Area Development



Figure #  
**6**

**LVA**

Date: 5.20.10 Project Number: 1010

Pg. 14

Prepared For: LVA  
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**b. Planned Development**

Located directly south of Bella Villagio is the Glendale Corporate Center. Responding to the increasing demand of Glendale/Phoenix's emerging office markets, Opus Corporation is developing a 300,000 square foot, multi-building project. Phase I consists of five buildings. Construction is now underway on the first of two (2) three-story 105,000 square-foot Class A office building. The other four smaller office buildings range from 15,000 to 25,000 square feet and are being offered for sale to users and investors.

Located approximately 1 mile to the southwest of Bella Villagio is the Glendale Spring Training Facility, which will be the home of two major league baseball teams, the Los Angeles Dodgers and the Chicago White Sox as shown on Figure 6. The proposed elements of the Training Facility will include a 12,000 seat stadium with 3,000 lawn seats, two practice fields per team, four minor league practice fields per team, over 42,000 square feet of clubhouse space, and parking to accommodate 5,000 vehicles. The facility is scheduled to open in 2009.

**4. Infrastructure Conditions**

**a. Roadway Network**

The existing roadway network which will serve Bella Villagio includes Bethany Home Road, 99<sup>th</sup> Avenue, and Loop 101.

Bethany Home Road is a six lane, east-west roadway that borders Bella Villagio on the north with a posted speed limit of 40 mph. It provides three lanes in each direction with direct access to Loop 101 via a full diamond interchange as shown on **Figure 7, Transportation Systems**. Bethany Home Road provides two lanes of paved continuity from 99<sup>th</sup> Avenue east, terminating at 91<sup>st</sup> Avenue. The Glendale General Plan has designated Bethany Home Road as an Arterial east of 99<sup>th</sup> Avenue as shown on Figure 8, and a Collector west of 99<sup>th</sup> Avenue.

The intersection of 99<sup>th</sup> Avenue and Bethany Home operates as an off-set signalized intersection. The northbound approach on 99<sup>th</sup> Avenue provides four through lanes and one dedicated right-turn lane. The southbound approach on 99<sup>th</sup> Avenue provides four through lanes and one dedicated left turn lane. The westbound approach on Bethany Home Road provides six through lanes with one dedicated left-turn lane and one dedicated right turn lane with no current plans to extend Bethany Home Road west of the 99<sup>th</sup> Avenue intersection.





## Planned Area Development Transportation Systems



North K

Scale: 1" = 1/4 Mile

Zedure 33

五

preliminary data for comparison  
current V&A from Project Studio LLC

Date: 2/28/08 Project Number: 0745

Pg. 16

99<sup>th</sup> Avenue is a four lane, north-south roadway that borders Bella Villagio on the west with a posted speed limit of 50 mph. It provides two through lanes in each direction of travel and a southbound left turn lane. The Glendale General Plan has designated 99<sup>th</sup> Avenue as a Major Arterial.

Loop 101 (Agua Fria Freeway) operates as a regional freeway serving the northern and western portions of the Phoenix Metropolitan Area with connectivity to Interstate 17 and Interstate 10. Loop 101 currently provides three travel lanes in each direction. Loop 101 provides Bella Villagio with direct access via a full diamond interchange at Bethany Home Road. It is also constructed with full diamond interchanges at Glendale Avenue and Camelback Road including a freeway crossover at Maryland Avenue.

The Loop 101 and Bethany Home Road interchange currently operates as a signal controlled intersection. The eastbound approach on Bethany Home Road provides one dedicated left-turn lane, three through lanes and one dedicated right-turn lane. The westbound approach on Bethany Home Road provides two dedicated left-turn lanes, three through lanes and one dedicated right-turn lane. The northbound approach on Loop 101 provides one left-turn, one shared through-right turn lane and one dedicated right turn lane. The southbound approach to Loop 101 provides one dedicated left turn lane, one shared left-through-right turn lane and one dedicated right turn lane.

**b. Public Transit Network**

The Bella Villagio project site is not currently served with adjacent existing local or express bus service by Valley Metro or the City. The most proximate existing local Valley Metro service is located on Glendale Avenue (Route 70/Glendale-24<sup>th</sup> Street) which connects Luke Air Force Base with South Phoenix as shown on **Figure 7, Transportation Systems**. A park and ride lot is located one (1) mile north at the northeast corner of Glendale Avenue and 99<sup>th</sup> Avenue, which serves local and express bus service demand in the area. There is not any local service on Camelback Road within the Study Area. Express bus service utilizes the Loop 101 (Route 573) to transport passengers from Arrowhead Towne Center to the Central Station in Downtown Phoenix. The Glendale General Plan has identified the need for increased service on Route 70. It also recommends a western extension of Route 60 which currently serves Bethany Home Road, east of 83<sup>rd</sup> Avenue and a route down 91<sup>st</sup> Avenue, south of Northern Avenue.

A future local trolley route is being considered to serve the transportation needs in the City's Sports and Entertainment District,

northeast of the Bella Villagio project site. It is intended to link with the future extension of Valley METRO light rail as shown on Figure 7. An extension proposed to the trolley route would extend service to the south, connect other projects located on the west side of the Loop 101, and serve the Park and Ride Lot and the Sports and Entertainment District on Glendale Avenue. In this manner, an alternative to the automobile may be feasible, based on the vibrant residential, retail, entertainment and employment character of this area.

The density and intensity of the Sports and Entertainment District also provides a focus for future investment in light rail service. Even though the starter light rail segment will terminate at the intersection of Bethany Home Road and 19<sup>th</sup> Avenue by the end of 2008, future planning is anticipated to serve Western Glendale. A northern extension will terminate service at the intersection of Glendale and 19<sup>th</sup> Avenues by 2012. Three additional corridors are currently being evaluated for consideration. These include a route along Glendale Avenue (which will involve coordination with ADOT at its intersection with Interstate 17); a corridor of study between Northern and Bethany Home Road; and a corridor along Interstate 10.

**c. Non-Vehicular Network**

The Bella Villagio project site does not currently contain sidewalks, trails or bicycle facilities adjacent to the existing roadways or through the property. The Glendale General Plan has identified the planned location of paved and unpaved shared use paths on the north side of Bethany Home Road between 83<sup>rd</sup> Avenue and New River. These paths have been designed and constructed east of Loop 101 and are envisioned to terminate at New River, where they would connect with the West Valley Recreation Corridor, a regional trail envisioned to connect New River to the north and Avondale to the south.

**d. Utility Service and Facilities**

The Bella Villagio project site is not being served by any existing potable water or wastewater infrastructure, but the City will provide future service. Off-site potable water infrastructure exists in Bethany Home Road (16-inch line), Missouri Avenue alignment (8-inch line), and 99<sup>th</sup> Avenue (12-inch line) as shown on **Figure 8, Public Facilities and Utilities**. Off-site sewer service exists in 99<sup>th</sup> Avenue (42-inch line) which flows from north to south. Natural gas service will be provided by Southwest Gas. Electrical service will be provided by SRP with service extended from an existing 69 KV electrical transmission corridor located on the east side of 99<sup>th</sup> Avenue. Communications service will be provided by Qwest and Cox Communications. These two providers offer telephone, high speed internet, wireless telephone and digital television services.

**e. Educational Facilities**

Bella Villagio is located within the enrollment boundaries of the Pendergast Elementary School District (which will serve grades K-8) and the Tolleson Union High School District (which will serve grades 9-12). At the present time, future students residing in Bella Villagio would attend Sonoran Sky Elementary School located approximately ¼ mile to the west, at 10150 West Missouri Avenue as shown on Figure 8. High school students would attend Copper Canyon High School located approximately two miles southeast of the project area, at 9126 W. Camelback Road.

**f. Park and Recreation Facilities**

There are no park or recreation facilities currently located on or adjacent to the Bella Villagio project site. There are recreation facilities at the Sonoran Sky Elementary School that would serve the project site, even though it is located within the City of Phoenix. The applicant will strive to identify a network of pedestrian and bicycle trails and elements that will enhance the utilization of these facilities. An effort will be made to connect improvements to existing or proposed alignments and/or community open spaces that may be proximate to the site, such as the Grand Canal Linear Park, Desert Mirage Park and the Glendale Youth Sports Complex.

**g. Fire Protection**

The project site is located approximately 2.5 miles to Glendale Fire Station #158. It is also located approximately 1.5 miles to Phoenix Fire Station #54. These two stations currently provide a four minute response time to the project site. Both cities participate in the region-wide automatic aid agreement to assist adjacent jurisdictions respond to calls for service.





# BELLA VILLAGGIO

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## Planned Area Development Public Facilities

Public Facilities	
	Coppell Canyon High School
	Southern Dye Elementary School
Utilities	
	Power Pole
	Electric Junction Box
	Overhead Electric Line
	Blackstone Electric Line
	Telephone Manhole
	Sewer Manhole
	Fire Hydrant
	Storm Drain Manhole
	Cable Box
	Bioscience Water Line
	Project Boundary



## Master Plan

The Master Plan chapter of the Bella Villagio PAD includes the full complement of development related components. The Master Plan is organized in the following thirteen sections:

- Land Use Master Plan
- Phasing Plan
- Phased Building Development Summary
- Open Space Master Plan
- Landscape Master Plan
- Lighting Master Plan
- Circulation and Streets Master Plan
- Parking Master Plan
- Sign Master Plan
- Water and Wastewater Master Plan
- Stormwater Management Master Plan
- Design Review and Property Management
- Design Principles and Guidelines

### 1. Land Use Master Plan

The Land Use Master Plan includes the mix of appropriate uses and their location within the approximate 47 gross acre project area. The Bella Villagio PAD identifies a potential development totaling:

- 1,295 condominium dwelling units
- 270 loft units
- 180 residential hotel units
- 300 hotel rooms
- 201,700 square feet of retail space
- 123,000 square feet of restaurant space
- 929,000 square feet of office space

*Note: Numbers are approximate. The retail, restaurant and office square footage, residential dwelling units, and/or hotel rooms could be subject to change, based on future primary and secondary trade area conditions, infrastructure timing and financial market access. This PAD will maintain proportional relationships of residential, office, retail and hospitality land uses.*

These uses are identified on **Figure 9, Land Use Master Plan; Figures 9a – 9f, Development Plan by Level; and quantified in Table 1, Land Use Master Plan Data**. A summary of each land use type is presented below:



**a. Residential Dwelling Units**

The residential component of Bella Villaggio will include residential condominiums and lofts. Approximately 1565 dwelling units are proposed to be developed within all five phases of the project. The residential condominiums are programmed to range from 700 to 1,500 square feet and are identified as a component Phase 3B (Building M), Phase 4 (Building P) and Phase 5 (Building O) comprising approximately 220, 900, and 175 dwelling units, respectively. The residential lofts are programmed to range from 500 to 1200 square feet and are identified as a component of Phase 1A (Building A) Phase 1B (Buildings C,D,E,F) and Phase 2 (Building I) comprising approximately 40, 130 and 100 dwelling units, respectively.

Residential Hotel Units

As a complement to the Lodging, approximately 180 Residential Hotel Units are planned within the Hotel. These units will be "for sale" units within the hotel building, where it is customary for units to be leased back to the hotel for overflow during peak seasons or special events. A standard of one hundred and fifty days in a year is a minimum duration to maintain the units as owner-occupied. These units may also accommodate the exchange of rooms back to the hotel by providing Lock-Off units.

To summarize, Bella Villaggio is requesting approximately 1,745 condominiums, lofts, and residential hotel units to be located within the entire project site. Due to the extended timeframe of total buildout and the identification of the total number of dwelling units, square feet of space and rooms in the supportive traffic and utility master plans, the Applicant respectfully requests the allowance of residential dwelling unit, square feet and hotel room transfer(s) among Buildings A-P throughout all five phases of the project.

While the actual number of dwelling units, space and room count for an individual building may be developed below the maximum count identified in Table 1, in no case, shall the maximum number of dwelling units, space and rooms within each phase be exceeded by more than 30 percent. It is assumed that any transfer of dwelling units, space and/or rooms will also rebalance the provision of structured and at-grade parking to accommodate the revised timing of land use components within Bella Villaggio.

**b. Lodging Accommodations**

Lodging use will also be a significant ingredient of the mixed use project. A hotel is identified to be a component of Phase 1A. An integral use within Building B, will utilize its proximity to University of Phoenix Stadium to attract an upscale clientele with the other primary uses within Bella Villaggio. The hotel is envisioned as a twenty-five floor structure and will include approximately 300 rooms. Building M will be

allowed to option to a Hotel in the event the future lodging market demand supports two hotels in Bella Villagio.

**c. Retail Space**

The retail component of Bella Villagio will include a mix of small and medium size users providing goods and services within the ground floor. These uses will primarily face the internal Main Street and Boulevard Park to serve the project's residential, worker and visitor patrons. A total of approximately 201,700 square feet of space is anticipated, and will be a component of Phases 1-5 of the project. Approximately 36,500 square feet is programmed within Phase 1A, and is a component of Buildings A and B. Approximately 47,900 square feet is planned for Phase 1B and is a component of Buildings E and F. Approximately 54,600 square feet is included within Phase 2, and is a component of Buildings G, H, and I. Approximately 52,700 square feet is projected within Phase 3A, and is a component of Buildings K and J. Approximately 10,000 square feet will be developed in Phase 4, within Building P.

**d. Restaurant Space**

The restaurant component of Bella Villagio will include a mix of national chains and local/regional eateries. Combined with the retail uses, restaurants will be strategically located to face the internal Main Street, Plazas and Boulevard Park as end caps to foster and accentuate the social interaction and vitality of Bella Villagio. Approximately 122,900 square feet of indoor and outdoor space is anticipated, and will be a component of the five Phases of the project. Approximately 89,700 square feet is projected within Phase 1A and 1B, and is a component of Buildings A, B, C, D, and E. Approximately 13,400 square feet is projected within Phase 2, and is a component of Buildings G, H, and I. Approximately 5,200 square feet is projected within Phase 3A, and is only a component of Building J. The remaining 20,000 square feet will be developed in Phase 4, within Building P.



# BELLA VILLAGGIO

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## Planned Area Development Development Plan (Ground Level)



Building	Total Planned Building Area	Phase
Bld A	110780	1A
Bld B	434340	1A
Bld C	290640	1B
Bld D	203330	1B
Bld E	137850	1B
Bld F	53630	1B
Bld G	166150	2
Bld H	162150	2
Bld I	142070	2
Bld J	22940	3A
Bld K	156000	3A
Bld L	156000	3B
Bld M	355400	3B
Bld N	122210	5
Bld O	258380	5
Bld P	1049800	4
Total	3377390	

Note: Defined Uses are reflected on ground level only. Additional information can be found on Table 1 "Land Use Master Plan Data" (pg 31).





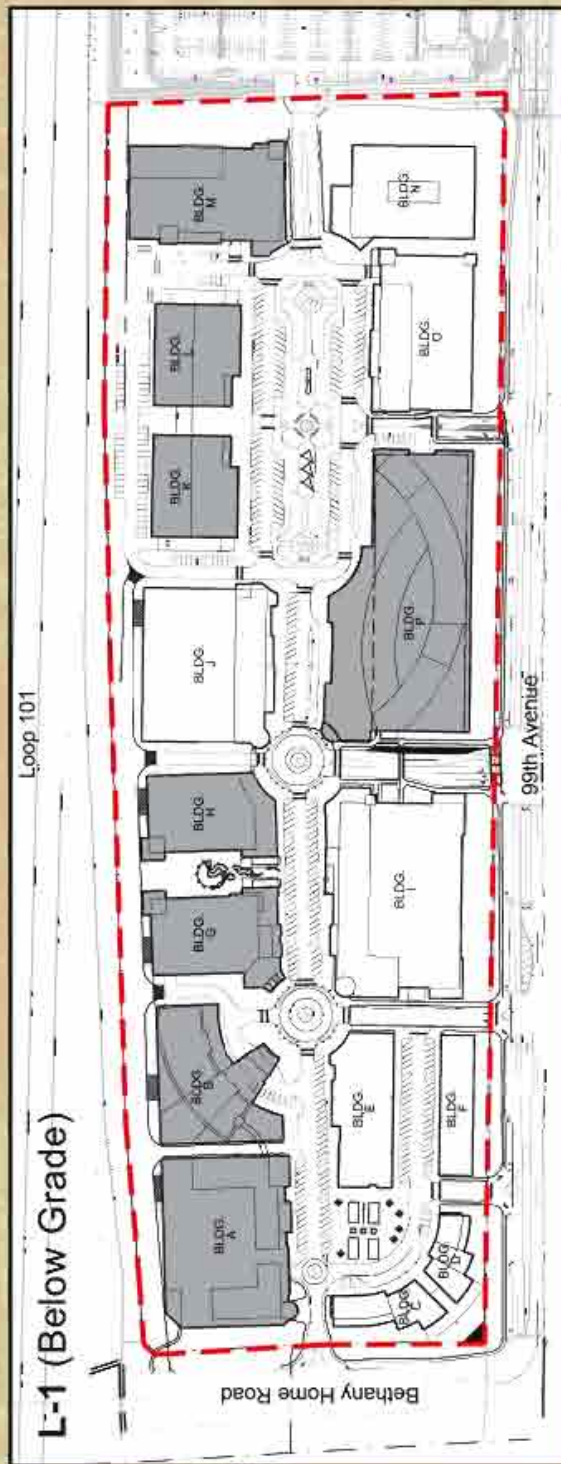
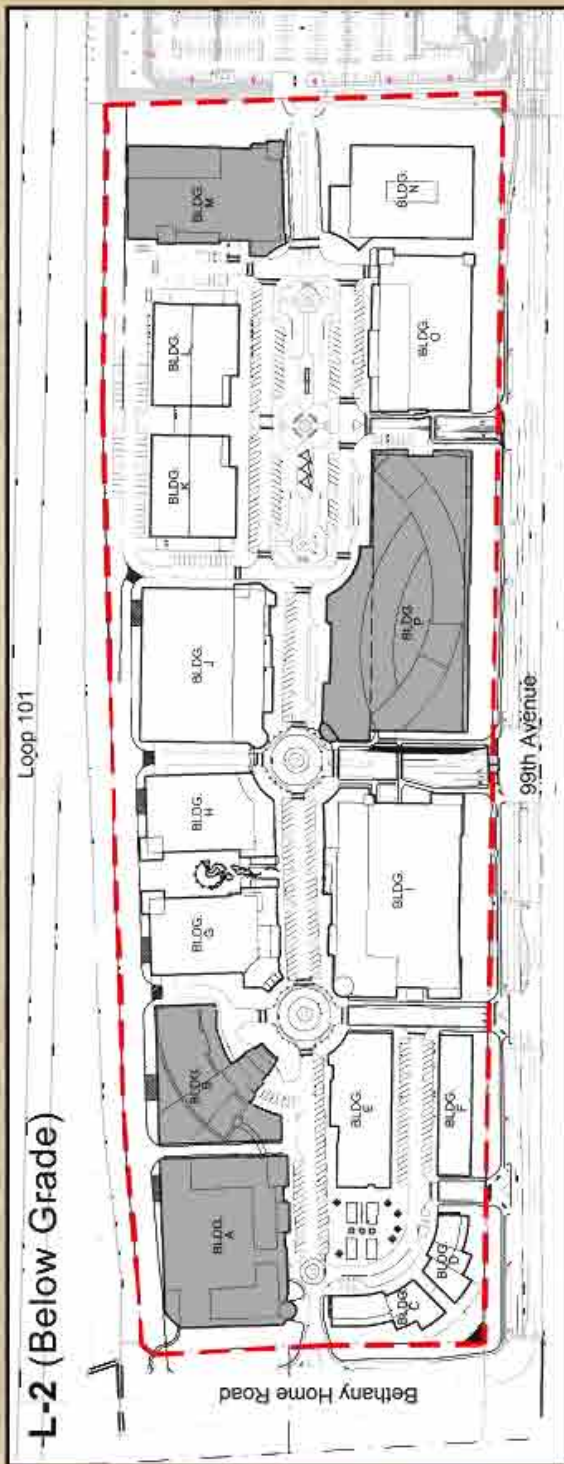


# BELLA VILLAGGIO

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## Planned Area Development Development Plan Level 2 (L-2) & Level 1 (L-1)

Land Use	Restroom/Shop	Residential	Hotel	Parking	Office	Site Boundary



North

Scale: 1" = 240'

Figure # **9A**

**DEBDG**

**LVA**

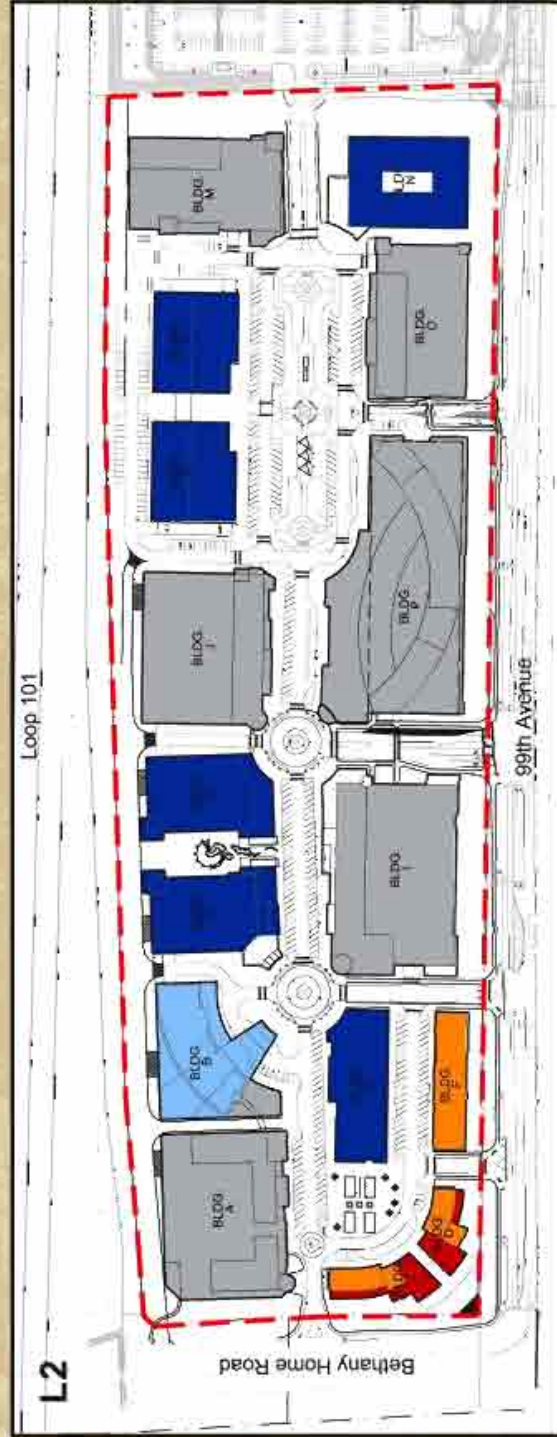
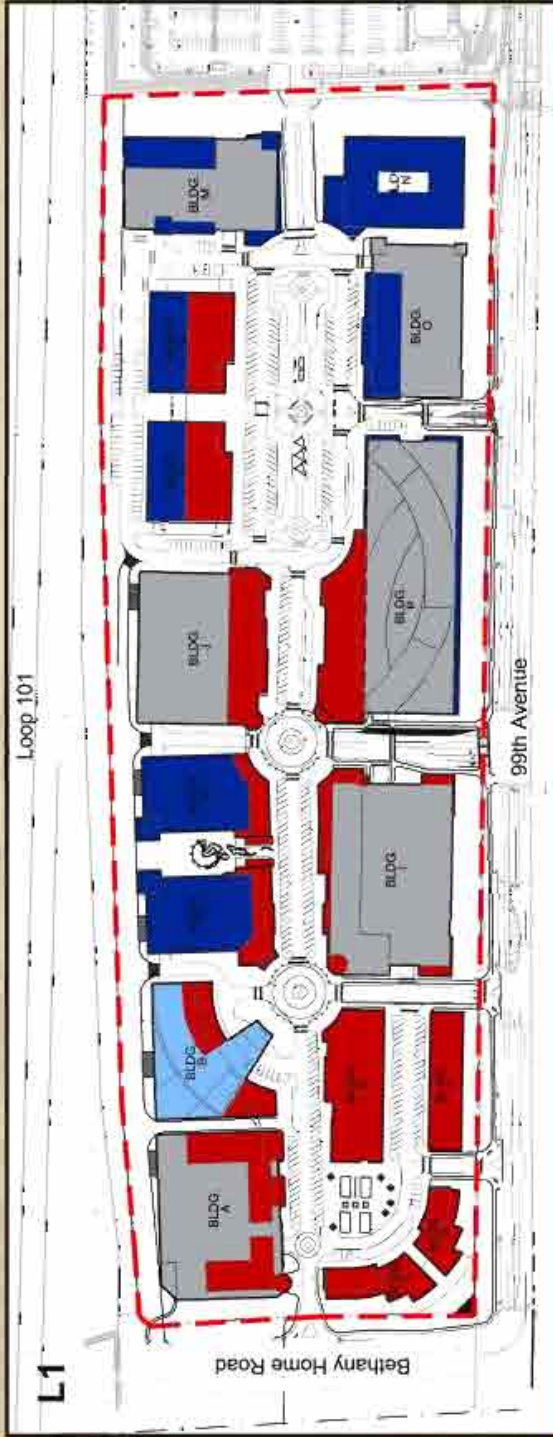


# BELLA VILLAGGIO

SPAZI DI VITA

## Planned Area Development Development Plan Level 1 (L1) & Level 2 (L2)

Land Use
Residential/Hotel
Residential
Hotel
Parking
Office
Site Boundary





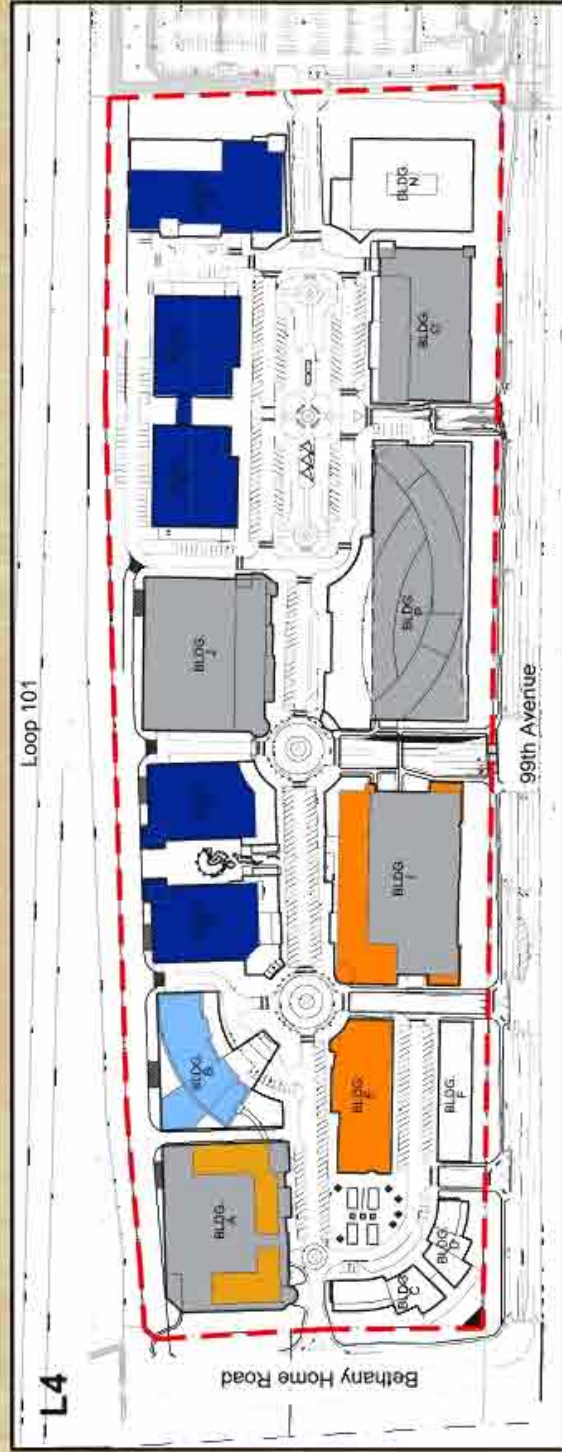
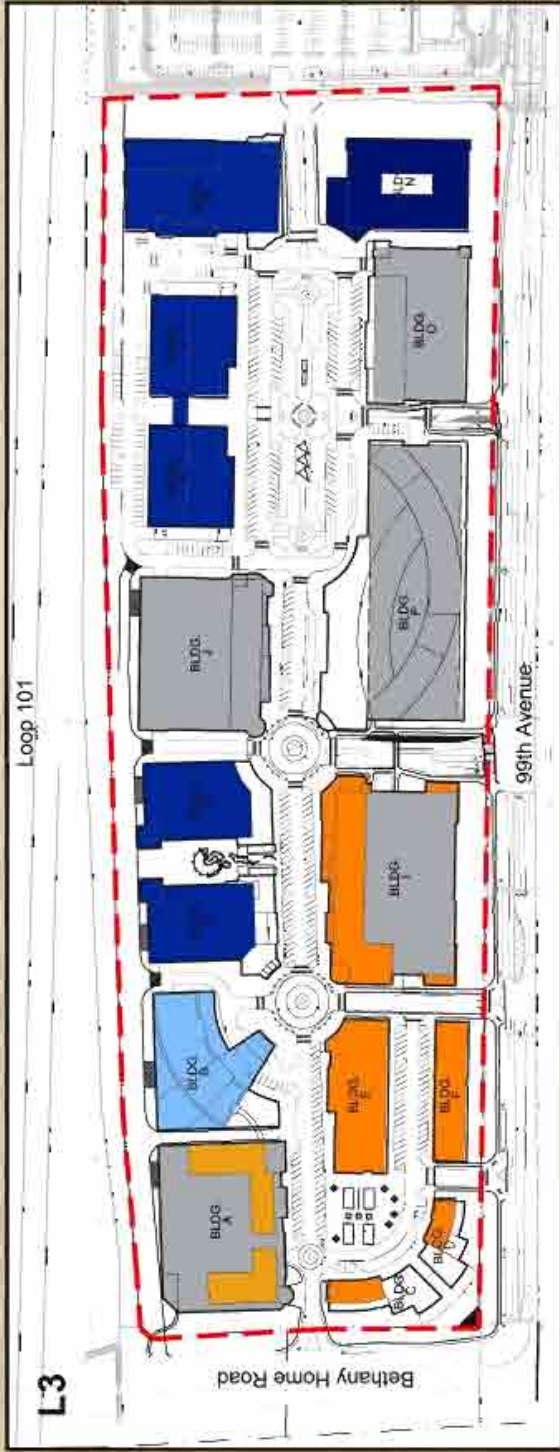


# BELLA VILLAGGIO

SPAZI DI VITA

## Planned Area Development Development Plan Level 3 (L3) & Level 4 (L4)

Land Use	
[Red Box]	Restaurant/Retail
[Orange Box]	Residential
[Blue Box]	Hotel
[Grey Box]	Parking
[Dark Blue Box]	Office
[White Box with Red Border]	Site Boundary



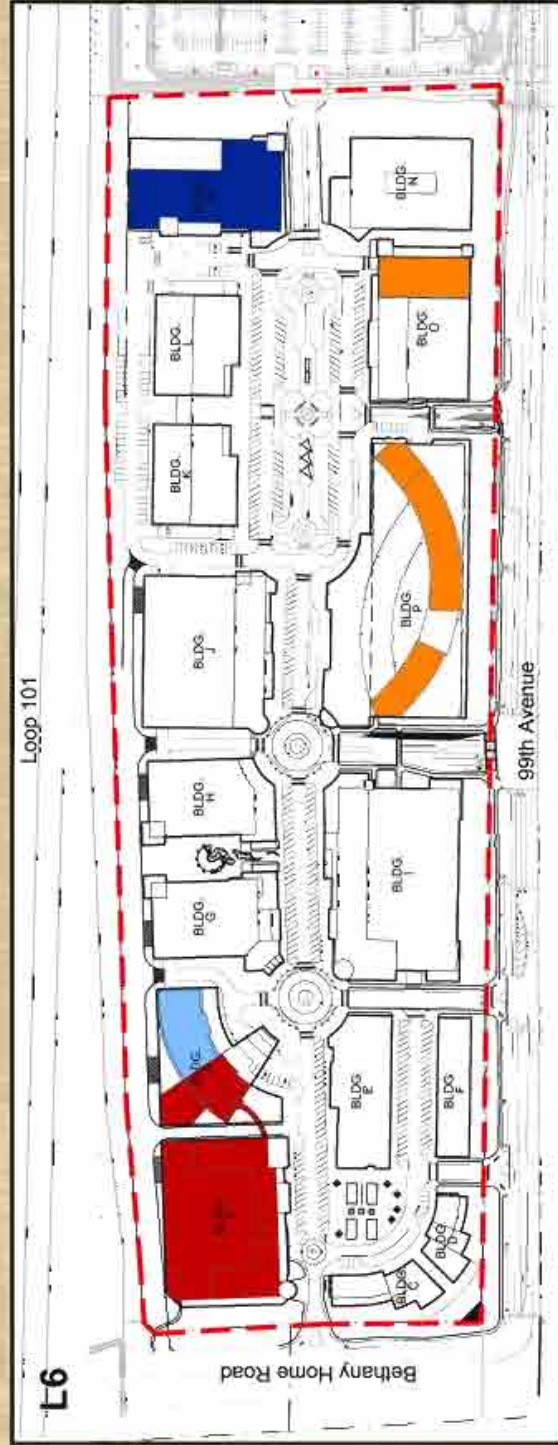


# BELLA VILLAGGIO

SPAZI DI VITA

## Planned Area Development Development Plan Level 5 (L5) & Level 6 (L6)

Land Use
Residential/Hotel
Residential
Hotel
Parking
Office
Site Boundary





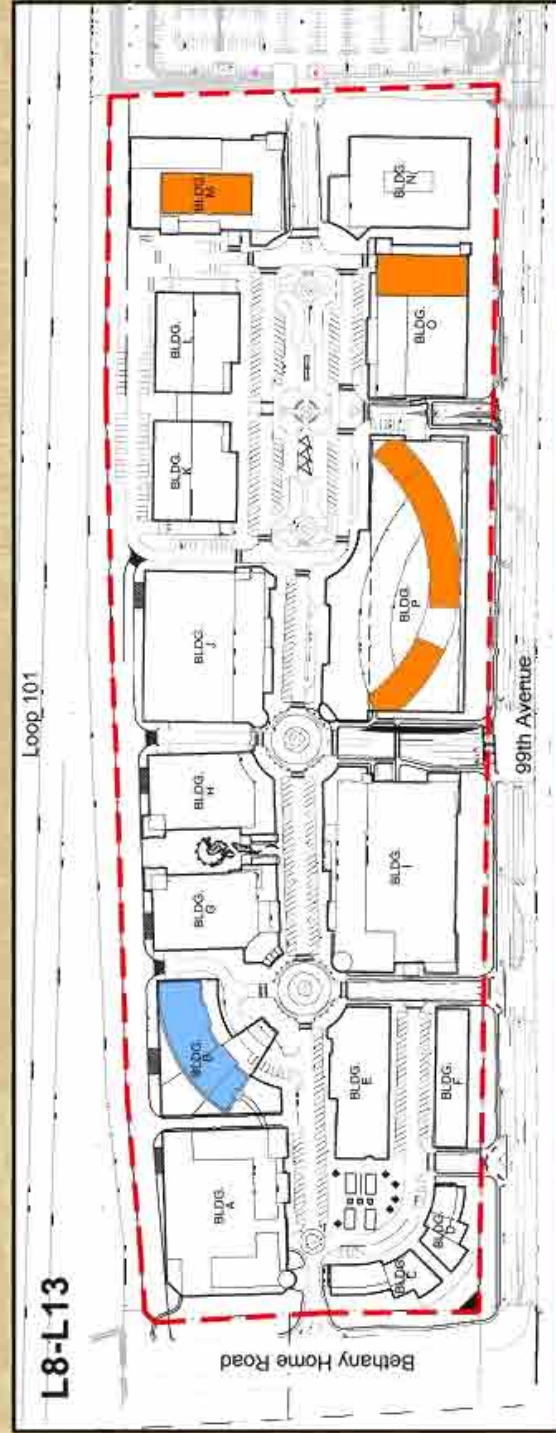
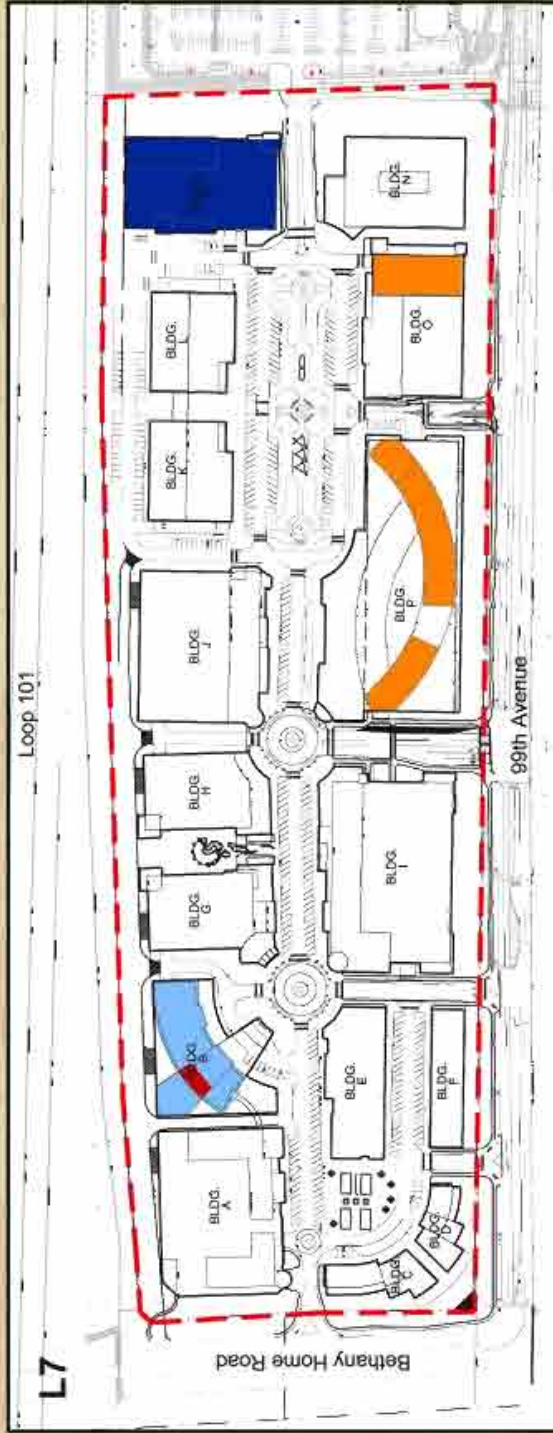


# BELLA VILLAGIO

SPAZI DI VITA

## Planned Area Development Development Plan Level 7 (L7) & Level 8-13 (L8-L13)

Land Use	Residential/Retail	Residential	Hotel	Parking	Office	Site Boundary





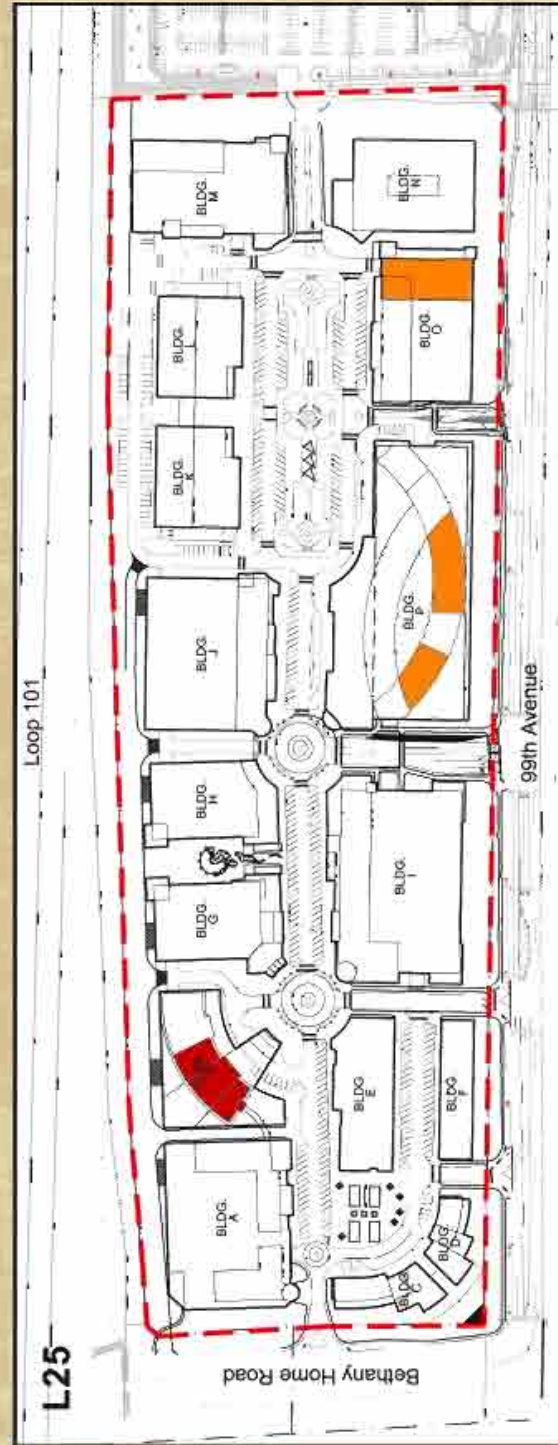
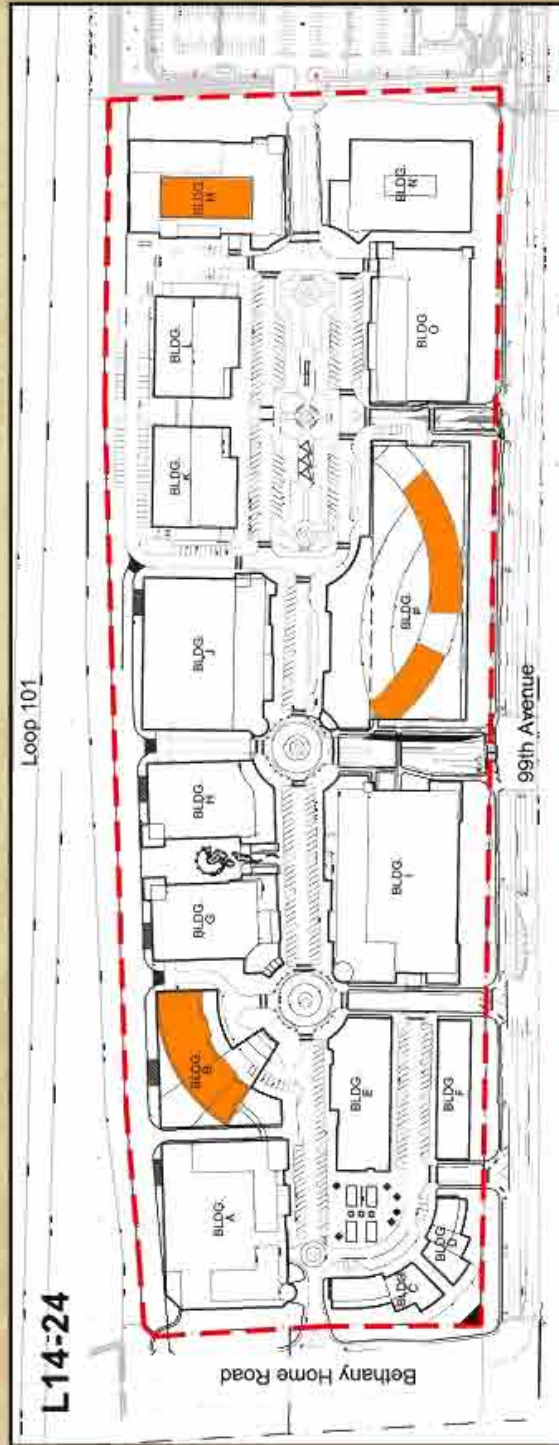


# BELLA VILLAGGIO

SPAZI DI VITA

## Planned Area Development Development Plan Level 14 - 24 (L14 - L24) & Level 25 (L25)

Land Use	Restroom/Pool	Residential
Building M : Levels 14-20	Building O : Levels 14-21	Hotel
		Parking
		Office
		Site Boundary





# BELLA VILLAGGIO

SPAZI DI VITA

## Planned Area Development

Table 1 - Land Use Master Plan Data

Building	Total Planned Building Area (Gross SF)	Max Building Height	Total Planned Residential (Gross SF)	Total Loft Units	Total Condo/Hotel Units	Total Condo Units	Total Hotel (Gross SF)	Total Hotel Rooms	Total Restaurant Indoor (Gross SF)	Total Restaurant Outdoor (Gross SF)	Total Retail Area (Gross SF)	Total Office Area (Gross SF)	Total Parking Required	Parking Garage (Gross SF)	Parking Spaces Provided (Structured)	Parking Spaces Provided (On Grade)	Phase
Bid A	110780	112'	39600	40					40000		31180	0	564	410400	1244	19	1A
Bid B	434340	332'	180000	0	180		231000	300	18000		5340	0	768	86300	262	8	1A
Bid C	29060	84'	15000	15					14060		0	0	183		0	4	1B
Bid D	20330	84'	9500	10					10830		0	0	123		0	3	1B
Bid E	137850	84'	69880	70					3030	1910	30000	34940	380		0	40	1B
Bid F	53630	84'	35750	36							17880	0	114		0	18	1B
Bid G	166150	126'	0	0					3150	820	11000	152000	575	46800	142	12	2
Bid H	162150	126'	0	0					3150	820	7000	152000	566	46800	142	13	2
Bid I	142070	126'	100000	100					5450		36620	0	327	306000	927	25	2
Bid J	23240	126'	0	0					5240		18000	0	112	324000	982	17	3A
Bid K	156000	126'	0	0							17360	138640	520	41405	125	61	3A
Bid L	156000	126'	0	0							17360	138640	520	41405	125	65	3A
Bid M	355400	332'	195000	0		218					160400	236400	535	236400	716	10	3B
Bid N	122210	112'	0	0							122210	0	407		0	0	4
Bid O	258380	272'	240000	0		178					18380	0	61	241200	731	25	4
Bid P	1049800	332'	1008000	0		900			20000		10000	11800	2212	532800	1615	20	5
Total	3377390		1892730	271	180	1296	231000	300	122910	3550	201740	929010	7947	2313710	7011	340	

### Residential Density

271 Loft Condo/ Units @ 5.7% du/ac + 1296 Luxury Condo Units\* 1567146.54 acres = 33.7 du/ac  
1296 Condo Units @ 27.57 du/ac

**e. Office Space**

The office component of Bella Villagio will include the development of Class A office space to offer a work environment conducive for both its residents as well as other tenants. Office buildings and space will be primarily located adjacent to Loop 101 to leverage freeway visibility, direct access and proximity to University of Phoenix Stadium and Westgate City Center for its prospective owners and tenants. Approximately 929,000 square feet of space is anticipated, and will be a component of Phases 2-5 of the project, with the majority of space developed in Phase 2 and 3. Approximately 34,900 square feet is programmed within Phase 1B, and is only a component of Building E. Approximately 304,000 square feet is included within Phase 2, and is a component of Buildings G and H. Approximately 437,700 square feet is projected within Phase 3A and 3B, and is a component of Buildings K, L, and M. Approximately 11,800 square feet are planned in Phase 4 within Building P. In Phase 5 an approximate 140,500 square feet are anticipated to be developed.

**f. Vehicular Parking**

Even though vehicle parking is not a land use in the traditional sense of a master plan, a mixed use project with an urban theme could not be a reality unless structured parking was carefully integrated into the project in a sensitive manner. The parking structures will be wrapped with retail, restaurant, residential and office at multiple levels, providing a very attractive and yet functional organization of uses and circulation facilities within the project. Approximately 7,350 parking spaces are programmed to serve the land uses at buildout, and will be a component of all five phases of the project. Approximately 1,600 parking spaces are projected within Phase 1A and 1B, and are components of Buildings A, B, C, D, E, and F. Approximately 1,260 parking spaces are included within Phase 2, and are a part of Buildings G, H and I. Approximately 2,100 parking spaces are programmed within Phase 3A and 3B as components of Buildings J, K, L, and M. Approximately 1,635 parking spaces are programmed in Phase 4, within Building P. The final Phase 5 will provide approximately 750 spaces. For further discussion related to parking, please refer to Section 8: Parking Master Plan of this PAD.

**g. Green Building Concepts**

In an effort to promote a sustainable built environment, the concept of Green Building elements may be introduced as an option. Green Building is a voluntary design and construction practice that promotes the economic health and well being of families and communities through responsible environmental design standards. The ability to meet these standards can be achieved through several types of application and rating processes, including but not limited to the

Leadership in Energy and Environmental Design (LEED) and Green Globes Design accreditation. These applications rate the full complement of building related components including project management, site, energy, water, resources, emissions, effluents and other impacts, and indoor environment. The difference between the two is that the Green Globes program focuses on energy savings while the LEED process emphasizes materials choice. It should be noted that third party comparisons identified that the LEED process is more rigid, time intensive and costly. However, the Green Globes assessment is not recognized by the US Green Building Council (who developed the LEED building rating system).

**Energy Use**

- Reduce energy loads and/or recover energy through: the size and placement of the building envelope, glazing selection and structured shade; inclusion of natural ventilation, day-lighting, thermal mass, under-floor and radiant conditioning.
- Explore site-wide systems to provide chilled water, solar heating/energy and wind energy resources.
- Explore the use of Energy Star appliances and energy efficient light fixtures to reduce energy demands.
- Consider the acquisition of carbon credits to offset the site's buildout carbon footprint.

**Water Use**

- Propose the most cost efficient Heating, Ventilation and Air Conditioning (HVAC) system available to reduce process water flows.
- Consider the use of low flow fixtures, waterless urinals, and landscape drip irrigation components.
- Transition to reclaimed water for fountains.
- Require the use of only those species identified on the City's Drought Tolerant Plant List

**Air Quality**

- Provide inducements for residents to work within the project site.
- Cooperate with other surrounding and proximate developments to assist in the implementation of a local circulator trolley loop.
- Encourage the extension of a new Valley Metro local route on 99<sup>th</sup> Avenue and assist in constructing a transit stop within the project.
- Offer alternative transportation mediums within the project to assist the community such as bicycles and additional rack space at strategic locations for use by residents, visitors and workers.



#### **h. Refuse Collection**

As a dense urban, mixed-use project, Bella Villagio's approximately 3 million square feet of building space will generate a significant volume and wide variety of waste products. The traditional provision of waste dumpsters scattered about back parking lots will not suffice for a project of this type, and a much more organized program will be required. There are a number of challenges:

- Due to the density of development proposed, there are few opportunities to position traditional waste dumpsters and enclosures about the site.
- The internal streets, are intended to be rich pedestrian environments, articulated with enhanced landscaping, hardscape and site furnishings, and are lined with on-street parking spaces – an environment not conducive to frequent delivery and disposal truck traffic.
- The many uses planned for this site will generate a variety of waste types, including wet waste from restaurants, and various forms of dry waste, which will be separated for recycling.

#### **BELLA VILLAGIO WASTE REMOVAL CONCEPT:**

- Each building will include a service suite at the street level, which will provide an enclosed space to receive deliveries, as well as provide a central waste collection space for that building.
- Containers will be provided in the service room for wet waste, as well as containers for pre-sorted recyclable dry waste.
- Each tenant will have the responsibility to sort their recyclable waste, and to deposit all their waste into the correct central collection bins in the service room.
- A project-wide waste porter service will be provided by the Bella Villagio Association. Operating small motorized maintenance carts, the waste porters will make rounds several times per day, to each of the service rooms, where they will collect the waste, and transfer it to central waste collection / compaction facilities. These facilities will be internal, and most will accessed from the service drive along the eastern edge of the site, although Building P will most likely have its own dedicated collection and compaction facilities.
- The Bella Villagio Association will contract with a the City of Glendale, or a waste recycling and disposal company to remove and replace the central on-site waste containers, during early morning hours.
- Specific locations of the internal service rooms and collection / compaction rooms will be specifically identified as the building phases are developed. Preliminarily, we would expect central collection / compaction operations to occur in four parking structure locations:

- Building A (Mixed-use Structure), to service the needs of Phases 1A and 1B, and Phase 2.
- Building J (Mixed-use Structure), to service the needs of Phase 3A and 3B.
- Building M, (Mixed-use Structure) for Phase 5.
- Building P, (Parking podium for Residential Towers) for Phase 4.

## 2. Phasing Plan

A total of five development phases are proposed for the staged buildout of Bella Villagio as shown on **Figure 10, Phasing Plan**. The progression of phases will generally occur from north to south. In this manner, the project offers immediate visibility and connectivity with other existing, planned and approved projects on the north and south sides of Bethany Home Road, east of Bella Villagio. Each of the five phases is indicated on the Bella Villagio Master Land Use Plan Data Table (see Table 1) to organize the projected absorption of development parcels. While forecasted herein, the phasing of Bella Villagio will ultimately respond to the continued growth and development of the City's Sports and Entertainment District, the continued improvement of the Glendale Municipal Airport, the construction of the joint spring training facilities for the Los Angeles Dodgers and Chicago White Sox and extensions of Valley METRO light rail/transit service.

The provision of sanitary sewer, potable water and dry utility infrastructure will pre-empt each phase of the project, and coincides with maintaining the provision of gravity flow for wastewater collection and treatment to each of the phases. The infrastructure will be located underground within arterial rights of way or under the internal street network, other than underground stormwater retention structures. A preliminary development schedule is projected as follows:

2012 – 2017:	Phase 1A	(Buildings A and B)
	Phase 1B	(Buildings C, D, E and F)
2017 – 2018:	Phase 2	(Buildings G, H, and I)
2022 – 2023:	Phase 3A	(Buildings J, K and L)
	Phase 3B	(Building M)
2027 – 2027:	Phase 4	(Building P)
2032 – 2035:	Phase 5	(Building N and O)

It is estimated that the buildout of Bella Villagio development will occur over an approximate 15-25 year timeframe. This estimate, of course, depends on the health of the local, regional, state and national economy and housing, retail, office and lodging market demands. **Figure 11, Conceptual Building Development Plan**, depicts the proposed phasing and building development plan for Bella Villagio.





# BELLA VILLAGIO

SPAZI DI VITA

## Planned Area Development Phasing Plan

Phasing Table

Year	Phase	Residential	Office	Residential	Total	Perking
2012-2017	Phase 1A	58,800d	36,399d	0	220 units	308 units
	Phase 1B	27,920d	47,805d	34,945d	131 units	0
2017-2018	Phase 2	11,750d	54,665d	384,000d	100	0
2022-2023	Phase 3A	5,240d	52,780d	277,280d	0	0
	Phase 3B	0	0	340,405d	218 units	226
2027	Phase 4	20,000d	10,000d	11,800d	900 units	0
2028-2035	Phase 5	0	0	140,590d	178 units	0

\* More options on building M.

Note: The phasing plan is conceptual and subject to administrative amendment from time to time in order to respond to changing market conditions and building practices.

North Scale: 1" = 240 ft



Figure #

10

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Date: 5/20/10 Project Number: 1018

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Bella Villagio- Building Elevations Interior Street Looking West



Bella Villagio- Building Elevations Interior Street Looking East



BELLA VILLAGIO

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Planned Area Development

Conceptual  
Building Development

Phasing Schedule

2012-2017: Phase 1A	(Buildings A and B)
Phase 1B	(Buildings C, D, E and F)
2017-2018: Phase 2	(Buildings G, H, and I)
2022-2023: Phase 3A	(Buildings J, K and L)
Phase 3B	(Building M)
2027: Phase A	(Building P)
2032-2035: Phase S	(Building N and O)

North

Scale: Not to Scale

Figure # 11

DDG LVA

Projections Not For Construction  
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### **3. Phased Building Development Summary**

This summary is based on the space programming of the 16 buildings within Bella Villagio by phase, as identified previously. Each of the five phases will include both at-grade and structured parking to adequately support its incremental and buildout development program. Each of the five phases and the anticipated program for the development of each building is summarized below:

#### **a. Phase 1A- (Buildings A, B)**

Phase 1A will include the full complement of residential (lofts and residential hotel units), retail (retail and restaurant space), and lodging (hotel) uses programmed for the project. At the conclusion of Phase 1A, approximately 40 lofts, 180 residential hotel units, 36,520 square feet of retail space, 58,000 square feet of restaurant space, and 300 Hotel rooms will be in place. A summary of each building in Phase 1A is presented below:

##### **Building “A” – Retail/Loft/Restaurant/Amenity Space**

Building “A” is a mixed use structure that is composed of loft, retail, restaurant, and parking components. The building will include two levels of underground parking. The below grade parking will be linked to the adjacent hotel to the south (Building B).

At the ground level, pedestrians will be greeted with generous walkways and a serene retail shopping experience, accented by bistros and coffee shops. A large single use retailer will have the option to take the entire ground level retail space fronting on Bethany Home Road. Smaller retail units will be provided internal to the site. At the northeast corner of the building, a vertical circulation core provides direct access to the second/third floor loft components and to the restaurant amenity deck at the top level. The second/third floor lofts face onto the Main Street, fostering the opportunity to include private balconies on the active street face. The sixth floor contains an approximate 35,000 s.f. outdoor event deck, featuring restaurant(s), a small performance venue and other amenities – all with a prime view of the University of Phoenix Stadium and Westgate City Center to the northeast.

##### **Building “B” – Hotel/Residence**

Building “B” is a luxury hotel with a residential hotel component, restaurants, amenities and parking uses. The building will include two levels of underground parking. The below grade parking will be linked to the adjacent mixed use structure to the north (Building A).

At the ground level, pedestrians will have access to the building lobby, retail shopping, and restaurant uses. Interior to the building, the second and third floors will be programmed for amenities,

including a swimming pool and sun deck, conference rooms, and other support/recreation activities. The sixth floor will provide exclusive access to the adjacent event deck/restaurant within Building A via a proposed sky bridge. On the east side of the building, the sixth and seventh floors have been programmed for a hotel branded restaurant and exterior amenity space, to capture the nighttime views of the Stadium and Westgate City Center. The third to thirteenth floors will be primarily hotel rooms sized at approximately 450-500 square feet each. The fourteenth to twenty-second floors are envisioned as residential hotel units designed at varying size footprints. The twenty-third and twenty-fourth floors are herein identified and reserved for penthouse units. The top (25th) floor may incorporate a roof top restaurant with the possibility of dining/entertainment space with exterior balcony areas.

**b. Phase 1B- (Buildings C, D, E, and F)**

Phase 1B will include residential (lofts), retail, restaurant, and office land uses. At the conclusion of Phase 1B, a total of 130 dwelling units, 47,900 square feet of retail space, 27,920 square feet of restaurant space, and 34,940 square feet of office will be in place. A summary of each building in Phase 1B is presented below:

**Building "C" – Restaurant/Loft**

Building "C" is a mixed use structure composed of lofts and restaurants. The building is programmed for a total of three stories constructed at-grade. Subterranean parking is not contemplated for this building.

The ground level will be utilized for the restaurants, which will be designed for high-bay upscale tenants utilizing valet parking to the adjacent garage in Building A. The corner restaurant will share the common outdoor patio space (that separates the two buildings) with the adjacent restaurant at Building 'D.' The lofts will comprise the second and third stories and are targeted at individuals/couples who appreciate intimate, upscale lofts in a valet environment.

**Building "D" – Restaurant/Loft**

Building "D" is a mixed use structure composed of restaurants and lofts. The building will be constructed at-grade. Subterranean parking is not contemplated for this building.

The restaurants will be located at the ground level to enhance the vitality of the project. Again, these restaurants will appeal to high-bay upscale tenants utilizing valet parking to the adjacent garage in Building A for the majority of their customers. The corner restaurant will share its outdoor patio space with the adjacent

restaurant at Building 'C.' The lofts on the upper stories will occupy part of the whole building footprint and are targeted at individuals/couples who appreciate an intimate, upscale lifestyle in a valet environment.

**Building "E" – Retail/Flex/Residential Loft**

Building "E" is a mixed use structure composed of retail/restaurant, flex space, and residential lofts. The building will be constructed at-grade. Subterranean parking is not contemplated for this building.

At the ground level, the main experience is retail. Covered walkways, articulated finishes, and a vibrant landscape/hardscape setting surround the building on three sides. A bistro type restaurant environment occupies the area at the north end of the building, adjacent to the north Plaza. The second story is envisioned as flex space which is currently being viewed as business office. The third level and above may be designed as flex loft spaces in varying sizes with the opportunity to open up balconies to overlook the surrounding streetscape.

**Building "F" – Retail/Loft**

Building "F" is a mixed use structure composed of both retail/restaurant space and residential lofts. The building may be constructed at-grade. Subterranean parking is not contemplated for this building.

At the ground level, the principle use will target retail to provide a vibrant pedestrian experience. Covered walkways and articulated finishes face into the side and a lush landscape provides a visual and aesthetic buffer for 99th Avenue. The second level and above may be designed to accommodate two-story loft spaces in varying sizes with the opportunity to open up balconies to overlook the streetscape on its east side.

**c. Phase 2 (Buildings G, H and I)**

Phase 2 contains a mix of uses to include residential, retail, restaurant and office space. At the conclusion of Phase 2 a total of 100 loft units, 54,620 square feet of retail space, 11,750 square feet of restaurant space and 304,000 square feet of office space will be provided. A summary of each of the three buildings in Phase 2 is presented below:

**Building "G" – Class 'A' Office/Retail/Restaurant**

Building "G" is programmed as primarily Class 'A' office space with retail/restaurant components on the ground floor facing west. One floor of underground parking will be included for the convenience of the office tenants.

At the ground floor, the retail frontage allows for the continuation of the pedestrian shopping/dining experience with the buildings constructed in the first phase of Bella Villagio. Complementing Class 'A' office space on the ground floor level will be small restaurants that are accessible from the street level, as well as the building lobby and will end cap the office courtyard and garden at the plaza between Buildings "G" and "H". Additional office space will continue on the remaining stories to take advantage of its visibility and access from Loop 101, immediately to the east of the building.

**Building "H" – Class 'A' Office/Retail/Restaurant**

Building "H" will also be programmed similar to Building "G" for primarily Class 'A' office space with retail/restaurant components on the first floor, facing east. One level of underground parking is anticipated to be provided for the convenience of its Class 'A' office tenants.

At the ground level, the retail frontage allows for the continuation of the pedestrian shopping/dining experience established in Phase 1 and with Building "G". Small restaurants that are accessible from the street level as well as from the building lobby, will end cap the retail at the plaza between Buildings "G" and "H". The upper stories of office space may be constructed to Class 'A' standards, to take advantage of its visibility and access from Loop 101.

When fully developed, Buildings "G" and "H" will function as a cohesive office enclave within Bella Villagio, offering the ability to work within a short stroll from the condominium and loft components developed in Phase 1. These two buildings will also utilize the common plaza space between them to visually connect both structures and offer a social interaction and respite from the office environment for workers.

**Building "I" – Parking, with Retail/Restaurant/Residential Loft**

Building I is a mixed-use parking structure that is wrapped on its east side, and a portion of its north and south sides, with retail and loft components.

At the ground level, high-bay retail and restaurant space continues the pedestrian shopping and dining experience from previous development completed to the north. The upper stories are programmed for residential loft space which will overlook the streetscape on its east side. The lofts add a mixed-use component to this building that enhances the strength of the internal residents as key patrons of the retail and dining experiences within Bella Villagio. Parking will comprise the majority of the building core and

will extend up to the fifth level. The western face of the building, fronting on 99th Avenue, may include graphic panels and artistically decorative elements. Signage may also be included to continue the identity and character of the interior site, providing an inviting street face from 99th Avenue.

**d. Phase 3A (Buildings J, K and L)**

Phase 3A will not include residential condominiums or lofts, but will entail a significant addition of structured parking. Only retail, restaurant and office land uses will be programmed for the phase. At the conclusion of Phase 3A, a total of 52,720 square feet of retail, 5,240 square feet of restaurant space, and 277,280 square feet of office space will be provided. A summary of the three buildings in Phase 3A is presented below:

**Building “J” – Parking, with Retail/Restaurant**

Building “J” is predominately a parking structure with a mix of uses including high-bay retail/restaurant space on the ground floor of its western side to continue the pedestrian shopping/dining experience from Phases 1 and 2.

At the ground level, retail and the southwest corner restaurant will anchor the retail and dining experience as well as serve as an amenity to the significant office space developed in Buildings “G” and “H”. Architectural elements provide an opportunity to continue the identity and character of Bella Villagio through the fenestration of the upper floors of the parking structure.

**Building “K” – Class ‘A’ Office/Flex**

Building “K” is programmed for Class ‘A’ office space. It will also be designed with internal space design flexibility within the west side of the first floor to respond to market factors that make additional retail and/or restaurant space viable options. One level of underground parking will be included for the convenience of the Class ‘A’ office tenants.

At the ground level, the flex frontage allows for a built-in contingency adaptation without changing the general configuration of the building footprint. The upper levels of office use will be constructed to Class ‘A’ standards and will leverage its visibility and access from Loop 101 as a prestigious office address for its tenants.

**Building “L” – Class ‘A’ Office/Flex**

Building “L” is programmed principally as Class ‘A’ office space. It will also include an inherent amount of internal design flexibility (similar to Building “K”) within the west side of the first floor to



respond to market factors that make additional retail/and or restaurant space viable options. One level of underground parking will be included for the convenience of the Class 'A' office tenants.

At the ground level, the flex office/retail frontage allows for the contingency adaptation without changing the general configuration of the building footprint. The four to five stories of office use will be constructed to Class 'A' standards and will leverage its visibility and access from Loop 101 as a prestigious office address for Building "L" tenants.

**e. Phase 3B (Building M)**

Building M is envisioned as a Residential over Office use, with the ability to option Building M as a possible hotel use. At the conclusion of Phase 3B a total of 220 residential units, and 160,400 square feet of office space will be provided. A summary of the two options for Building in Phase 3B is presented below:

**Building "M" – Class 'A' Office Option**

Building "M" will be developed as a high-rise Class 'A' podium style building for office and residential use. Vehicular parking will comprise the structure on its first three floors with office space and residential condominiums on the upper floors. Approximately 220 residential units are planned for Building M. A total of two floors of subterranean parking may be provided for the convenience of Building "M" office and residential tenants.

At the ground level, the office components of the building footprint are continuous up to the podium office space, which starts on the fourth floor. This design accommodation will provide a seamless entry/exit experience for office owners, users and visitors. The four floors of office use will leverage its visibility and access from Loop 101 as a prestigious office address for Building "M" tenants.

**Building "M" – Hotel Option**

Building "M" may develop as a hotel with a restaurant, hotel condos, amenities and parking uses based on market demand. Any hotel rooms constructed outside of the primary hotel structure will displace allowed residential units on a one to one ratio.

**f. Phase 4 (Building P)**

Phase 4 will include the majority of residential condominiums within Bella Villagio. Supporting retail, restaurant and office land uses will be programmed in this phase. At the conclusion of Phase 4 approximately 900 dwelling units and 10,000 square feet of retail space, 20,000 square feet of restaurant space and 11,800 square feet of office space will be

provided. A summary of the only building to be developed in Phase 4 is presented below:

**Building “P” – Residential Towers on Podium, with Parking/Retail/Restaurant/Amenity Space**

Building “P” is envisioned as a high-rise structure included within a five story podium. It is intended as a mixed use structure that will include high-rise residential towers with retail, restaurant, amenity and parking components. A total of two levels of underground and four levels above ground parking will be provided to support the mix of uses within the building.

At the ground level, the restaurant, retail, and flex space theme is continued along the east face of the entire building. The residential condominium will also be designed with ground level entry lobbies and selected amenity/service uses to support the needs of residents and visitors. Vehicular parking space comprises the first four levels of the podium. The fifth level of the podium is designated as amenity space for the residential towers, allowing for the inclusion of the swimming pool, plazas, restaurant, etc. The upper levels of the residential towers will be strategically located to provide resident access for internal amenity and support functions.

**g. Phase 5 (Buildings N and O)**

Phase 5 will include approximately 180 residential condominiums or lofts, and entail a significant addition of structured parking. Residential, as well as, office land uses will be programmed for this phase. At the conclusion of Phase 5, approximately 140,590 square feet of office space will be provided. A summary of the two buildings in Phase 5 is presented below:

**Building “N” – Office**

Building “N” is programmed as an office space with the potential to contain a central, internal courtyard. Subterranean parking is not contemplated for this building.

This building is designed to allow flexibility in the master land use plan, allowing the ultimate building to respond to the market conditions as Bella Villagio proceeds with its fifth phase of development. As currently envisioned, Building “N” will have the potential to contain one single user or multiple end-users. The majority of vehicular parking necessary to serve Building “N” will be provided through the development of Building “O”, located adjacent to Building “N”, to the north.

**Building “O” –Parking with Flex Office/Retail**

Building “O” is planned for vehicle parking, residential, office and retail. It will also include a mix of high bay office and retail uses located on its east side at ground level to connect the pedestrian and social atmosphere between Buildings “N” and “P”.

The western side of the building, on 99th Avenue, may include graphic panels and artistically decorative elements and signage to create a consistent identity and theme of Bella Villagio for its residents, tenants and visitors.

#### **4. Open Space Master Plan**

##### **a. Active and Passive Open Space**

A mixed use development, with its inherent development density and intensity, must include an appropriate level of passive and active open space. Bella Villagio has integrated and linked these social interaction and reflective spaces internally. These areas collectively comprise approximately 14 acres, as identified in **Figure 12, Open Space Master Plan**. Active zones comprise approximately 10 acres and include The Plaza, Main Street linkage Office Courtyard Garden, as identified in **Figure 13, Park/Plaza Vignettes** and **Figure 14, Boulevard Park**. Passive zones are located at other strategic areas and along the perimeter of the project to enhance buffering and screening opportunities.

Open space for the purpose of this project shall mean a portion of a lot or other area of land associated with, and adjacent to, a building or group of buildings in relation to which it serves to provide light and air, or scenic, recreational or similar purposes. The space is intended for use by the occupants of the building, and the general public. Within Bella Villagio, open space includes parks, plazas, lawns, landscaped areas, decorative plantings, pedestrian ways, event decks, and recreational areas. Areas normally inaccessible to pedestrian circulation such as streets, parking lots, driveways, service roads, and loading areas are not counted in determining open space. Minimum open space requirements are addressed in the Development Standards Chapter of the PAD.

##### **b. Open Space Criteria**

Collectively, open space should satisfy the following criteria:

- Provide areas for informal meetings and social interaction with other people – to include active and passive uses.
- Promote accessible public spaces for residents.
- Provide a strong image and sense of place.
- Foster a pedestrian linkage throughout the development and adjacent land uses.
- Provide an overall theme and visual connection between spaces and uses within the development
- Include areas of various shapes, sizes and configurations throughout the development.
- Ensure that open space is useable year-round. Provide areas which have awnings, wind breaks, sun shade and/or landscaping that would provide shelter from the elements.
- Create a pleasant pedestrian environment.
- Function as an interconnected open-space system.
- Energize commercial/retail activity.



# BELLA VILLAGGIO

SPAZI DI VITA

## Planned Area Development Open Space Analysis

Project Boundary	Conceptual Planned Area
Softscape Active Area -	86,000 S.F.
Softscape Passive Area -	226,000 S.F.
Hardscape Active Area -	238,000 S.F.
Hardscape Passive Area -	65,000 S.F.
	625,000 Total S.F.
	30% Open Space







# BELLA VILLAGGIO

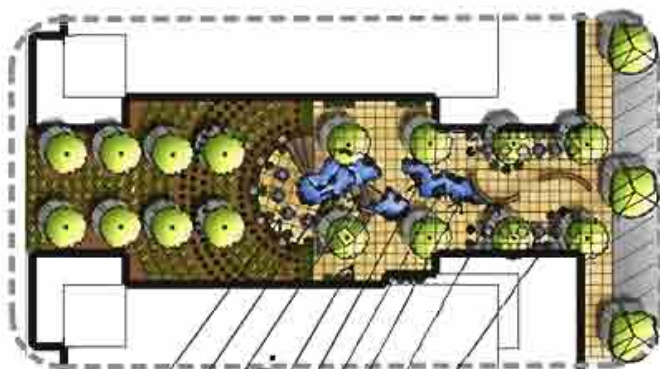
SPAZI DI VITA

## Planned Area Development Park/Plaza Vignettes

a b c d



	Softscape S.F.	Hardscape S.F.
A	3,209	18,518
B	10,833	12,037
C	10,340	5,098



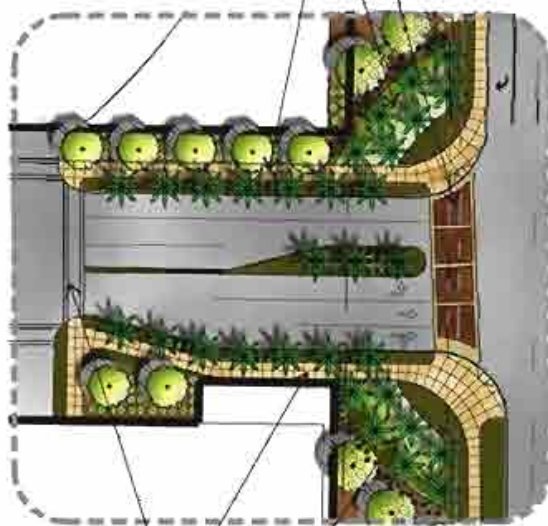
RAISED SEATING AREA  
WATER FEATURE  
8" THICK STONE SLAB STEPS  
INTEGRAL COLORED CONCRETE  
W/ 1/2" X 1/2" SCORE JOINTS  
PLANTER BEDS  
WATER FEATURE  
LARGE BOLLARDS  
NATURAL STONE SEAT WALL  
OUTDOOR DINING CORRAL

KIOSK  
OUTDOOR DINING CORRAL  
INTEGRAL COLORED CONCRETE  
W/ 1/2" X 1/2" SCORE JOINTS  
FOUNTAIN  
LAWN BERM  
BENCH  
OUTDOOR GAZE  
DECORATIVE POTS  
INTEGRAL COLORED CONCRETE  
W/ 1/2" X 1/2" SCORE JOINTS

**a** north plaza  
scale: 1" = 60'-0" (Approximately 0.5 ac)

**b** office courtyard garden  
scale: 1" = 60'-0" (Approximately 0.5 ac)

The North Plaza will function similarly to the Boulevard Park, but on a more intimate scale. These plaza spaces would include elegant water features, outdoor seating shaded by palm trees, dining patios from nearby restaurants and a handful of vendor kiosks for people to browse while waiting for their reservations. The space will be large enough for small events such as a wine tasting or an intimate music performance. The plaza will be used around the clock, but will come alive in the evening hours.



PAVER W/ INTEGRAL COLORED  
CONCRETE BANDING TO DEFINE  
PEDESTRIAN CIRCULATION PATHS  
FROM VEHICULAR PATHS  
INTEGRAL COLORED  
CONCRETE SIDEWALK  
LAWN

INTEGRAL COLORED  
CONCRETE SIDEWALK  
LAWN  
PAVER W/ INTEGRAL COLORED  
CONCRETE BANDING TO DEFINE  
PEDESTRIAN CIRCULATION PATHS  
FROM VEHICULAR PATHS

**c** main entry  
scale: 1" = 60'-0"





# BELLA VILLAGGIO

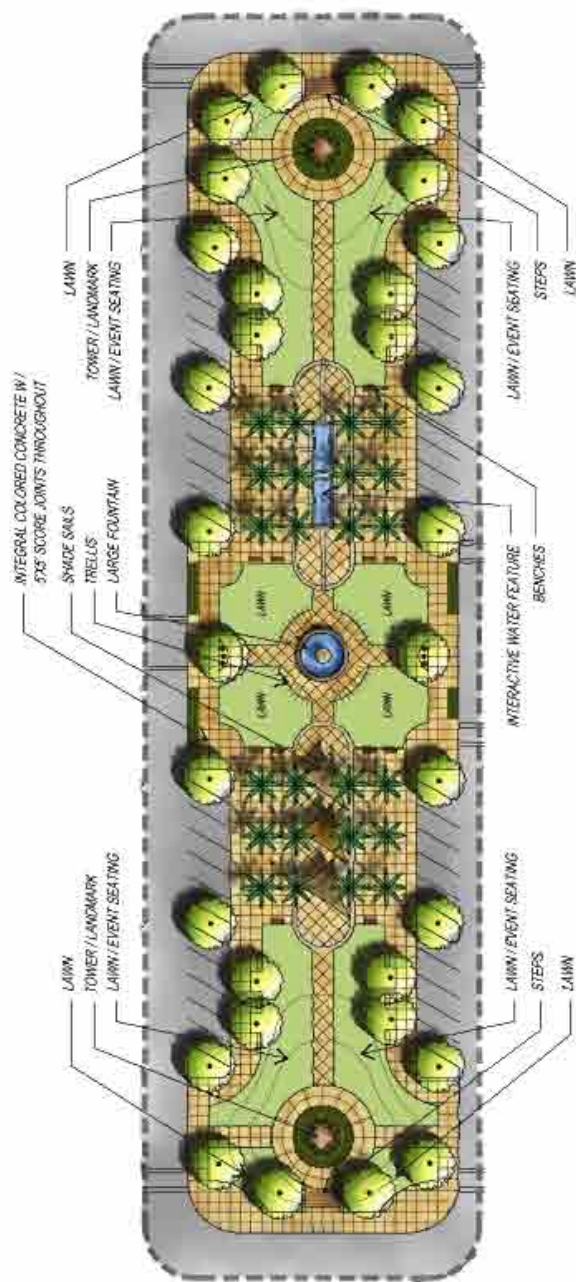
SPAZI DI VITA

## Planned Area Development Park/Plaza Vignettes

a b c d



D	Softscape S.F.	Hardscape S.F.
	21,142	40,182



**d** boulevard park

scale 1" = 80'-0" (Approximately 1.5 ac)

The Boulevard Park will serve as the primary open space amenity within the site. It has been designed to have flexibility and allow for several events or activities to take place at one time or it can be utilized for a much larger single event. Aspects of the park include sloped lawn areas at both ends that can be used for audience seating for a music festival or show. The large plaza spaces with shade canopies, palm groves, and central water feature element with surrounding lawn that can accommodate booths and display tents for an art show or food festival. Additionally, unique architectural landmark identifiers would be located at either end of the park to give a sense of the city's center. Interactive water displays that would comprise of hardscape areas with deck jets or a thin water layer would offer some respite from the warm weather, but could also be turned off to once again free up additional space for more events. In the end, the Boulevard Park will serve as the central open space hub that will be an important part of Bella Villagio's urban fabric.

North Scale: 1" = 60'



Figure #

14

**CVA**

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Date: 2-28-08 Project Number: 0745

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## **5. Landscape Master Plan**

The Landscape Master Plan provides a solid design foundation for the appropriate vegetation and their use within the project as well as hardscape features and street furniture framework. The Landscape Master Plan is organized in the following two sections:

Landscape Design Philosophy  
Landscape Zones

### **a. Landscape Design Philosophy**

The landscape treatment of Bella Villagio is intended to reinforce the unique character exhibited through its architecture and site design. These three components then mesh to create inviting and exciting spaces signifying a successful urban environment. The landscape theme has been purposefully designed to create “organized space” zones that create a variety of enticing settings for both passive and active use, ranging from partially secluded areas for reading, viewing and relaxation to the more dynamic open air plazas typical of a city's downtown.

Resource conservation is a strong foundation of Bella Villagio. To that end, the plant palette of appropriate trees, accents, shrubs, vines and groundcover minimizes water needs while allowing for both the informal and formal character that is envisioned for different spaces within the project. A majority of the plant species have been selected from the Arizona Department of Water Resources (ADWR) Low Water Use Plant List as adopted by the City of Glendale. A few additional vegetation selections that do not appear on the ADWR list have been identified for use in specific locations within the site where the presence of taller buildings will decrease the amount of sun exposure, creating unique micro-climates that respond well to their vegetative growth attributes. However, the use of these plant types should not increase the overall irrigation demand due to a reduced evapo-transpiration rate and will not be used within public rights-of-way. The plant palette is provided in **Table 2, Bella Villagio Plant Palette**.

### **b. Landscape Zones**

The underpinning of the landscape theme is intended to separate the site into different zones based on their function. Each zone is defined by its respective plant palette and planting design. The three landscape zones have been organized into the following categories:

- Perimeter Landscape Zone
- Interior Streetscape Zone
- Enhanced Interior/Entry Node Zone

Table 2: Bella Villagio Plant Palette

**TREES*****Acacia smallii***

Sweet Acacia

***Acacia salicina***

Weeping Acacia

***Acacia stenophylla***

Shoestring Acacia

***Bauhinia species***

Orchid Tree

***Cercidium floridum***

Blue Palo Verde

***Cercidium praecox***

Palo Brea

***Cercidium 'D. Museum'***

Desert Museum P.V.

***Cupressus sempivirens***

Italian Cypress

***Chitalpa tashkentensis***

Chitalpa

***Dalbergia sissoo***

Dalbergia

***Eucalyptus species***

Eucalyptus

***Fraxinus species***

Ash

***Jacaranda mimosifolia***

Jacaranda

***Pistacia chinensis***

Pistachio

***Quercus species***

Southern Live Oak

***Olea europaea***

Fruitless Olive

***Phoenix dactylifera***

Date Palm

***Thevetia peruviana***

Yellow Oleander

***Ulmus parvifolia***

Chinese Evergreen Elm

PERIMETER LANDSCAPE	INTERIOR STREETSCAPE	ENHANCED INTERIOR / ENTRY NODE
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**Velutina**

"Rio Grande" Ash

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**ACCENTS**



**Agave spp.**

Agave

**Chamaerops humilis**

Mediterranean Fan Palm

**Dasyllirion wheeleri**

Desert Spoon

**Dasyllirion longissimum**

Toothless Desert Spoon

**Hesperaloe funifera**

Giant hesperaloe

**Hesperaloe parviflora**

Red Yucca

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**SHRUBS**

**Bougainvillea species**



Bougainvillea

**Buxus microphylla**

Boxwood

**Caesalpinia species**

Bird of Paradise

**Carissa grandiflora**

Natal Plum

**Dalea species**

Dalea

•	•	•
	•	•
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***Dodonea viscosa***  
Hopseed Bush

***Eremophila* spp.**  
Valentine Bush

***Justicia spicigera***  
Mexican Honeysuckle

***Leucophyllum species***  
Sage

***Ligustrum japonicum***  
Waxleaf Privet

***Muhlenbergia species***  
Deer Grass

***Myrtus communis***  
True Myrtle

***Nerium oleander***  
Oleander

***Pittosporum tobira***  
Dwarf Pittosporum

***Raphiolepis indica***  
Indian Hawthorn

***Ruellia brittoniana***  
Blue Ruellia

***Ruellia peninsularis***  
Desert Ruellia

***Simmondsia chinensis***  
Jojoba

***Sophora secundiflora***  
Texas Mountain Laurel

***P. setaceum 'Cupreum'***  
Purple Fountain Grass

***Xylosma congestum***  
Xylosma

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### VINES

***Ficus pumila***  
Creeping Fig

***Jasminum mesnyi***  
Yellow Jasmine

***Rosa banksiae* Lady**  
Bank's Rose

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### GROUND COVER



**Acacia redolens**  
Trailing Acacia  
**Chrysactinian mexicana**  
Damianita  
**Convolvulus cneorum**  
Bush Morning Glory  
**Cynnodon dactylon**  
Hybrid bermuda grass  
**Hedera species**  
Ivy  
**Lantana species**



Lantana  
**Lonicera japonica**  
Hall's Honeysuckle  
**Myoporum parvifolium**  
Prostrate Myoporum  
**Rosmarinus officinalis**  
Rosemary



**Ruellia brittoniana** 'Katie'  
Katie's Ruellia  
**Wedelia trilobata**  
Yellow Dot  
**Zephyranthes species**  
Rain Lily

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**COLOR**

**Annuals**  
By Season

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**i. Perimeter Landscape Zone**

The appearance of the perimeter landscape treatment should create interest and set the overall theme of the project. Generous landscape setback areas (varying from 50' – 85' wide) have been indicated on **Figure 15, Landscape Master Plan**. Low water use native and approved non-native species shall be used to create an informal style representative of a city's edge. These informal arrangements will include evergreen and deciduous shade trees, evergreen shrubs, groundcover, contoured landforms and retention basins, decorative site walls and select areas of turf. These landscape areas shall be used to both add interest and provide screening which may result in planting designs within the site using varying types and densities of trees, shrubs and groundcover depending on their direct and indirect sun exposure. As depicted on **Figure 16, Landscape Palette Zone**, the landscape treatment in these areas shall be designed to establish an appealing vegetative environment.

**ii. Interior Streetscape Zone**

The interior streetscape of Bella Villagio will transition to a more formal landscape theme that richly enhances many urban European spaces. Streets will be lined with a street theme tree and have periodic breaks at selected locations with accent trees to denote the importance of an intersecting street, social congregation zone or other important function. Sidewalks and other pedestrian zones are envisioned to be embellished with large pots containing perennial and annual plantings to help emphasize the urban character and embrace the changing seasons.

**iii. Enhanced Interior/Entry Node Zone**

The main points of interest will occur at the project's entrances and interior plazas which will demand a much more intense landscape experience than the other areas of the site. The entrance locations will provide a strong sense of arrival and announce the various "gateways" into the site. Formal arrangements of trees and hedges will create a backdrop for expanses of blooming seasonal groundcover and accent plants. The inclusion of larger trees (than used on the street segments) will be encouraged at these locations to add a sense of permanence to the site.

As depicted in **Figures 15 and 16**, once beyond the primary and secondary project entrances, the landscape treatment will arrive at the special interest zones at roadway intersections and pedestrian spaces. These passive and active areas will be treated with special accent trees, shade trees, select lawn areas, as well as evergreen and flowering understory plantings. The Plaza, Courtyard and Boulevard Park are intended to provide meaningful

spaces connected by a strong pedestrian corridor that encourages interaction and exploration through the site, but will also allow the opportunity for relaxation under a shady tree. The open lawn areas and paved plaza and park will set the stage for outdoor festivals and special events as well as informal use throughout the day. These spaces will include water features, public art, shade structures and comfortable site amenities.

**c. Prominent Entry Points**

As stated above, the entrance locations will provide a strong sense of arrival. This is accomplished through a variety of forms and texture. The materials, landscaping, and color palate will set the stage for what the visitor, resident, or employee will find within the interior of Bella Villagio. The prominent entry points exist along 99<sup>th</sup> Avenue and Bethany Home Road. While the design of the entry features is still conceptual, **Figure 16a** depicts an arching element over the entrance roadway. It is anticipated, that this artistic feature will be the project's identity element and urban landmark offering visual interest and announcing the various "gateways" into the site.

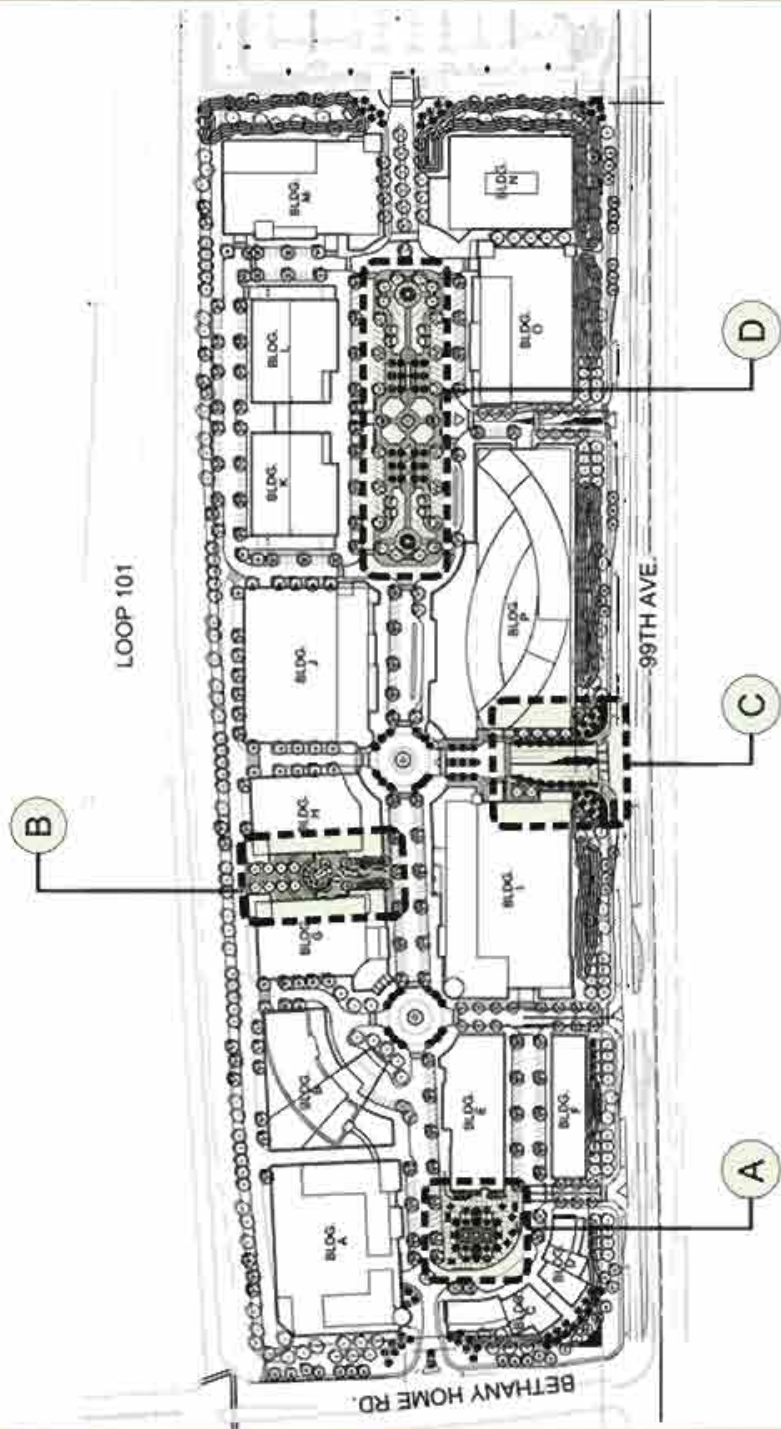


**BELLA VILLAGIO**  
SPAZI DI VITA  
Planned Area Development  
Conceptual Landscape  
Master Plan

Symbol	Description
	Trees
	Palm Trees

NOTE:  
1. See Landscape Palette: Figure 14

- A North Plaza
- B Office Courtyard Garden
- C Main Entry
- D Boulevard Park





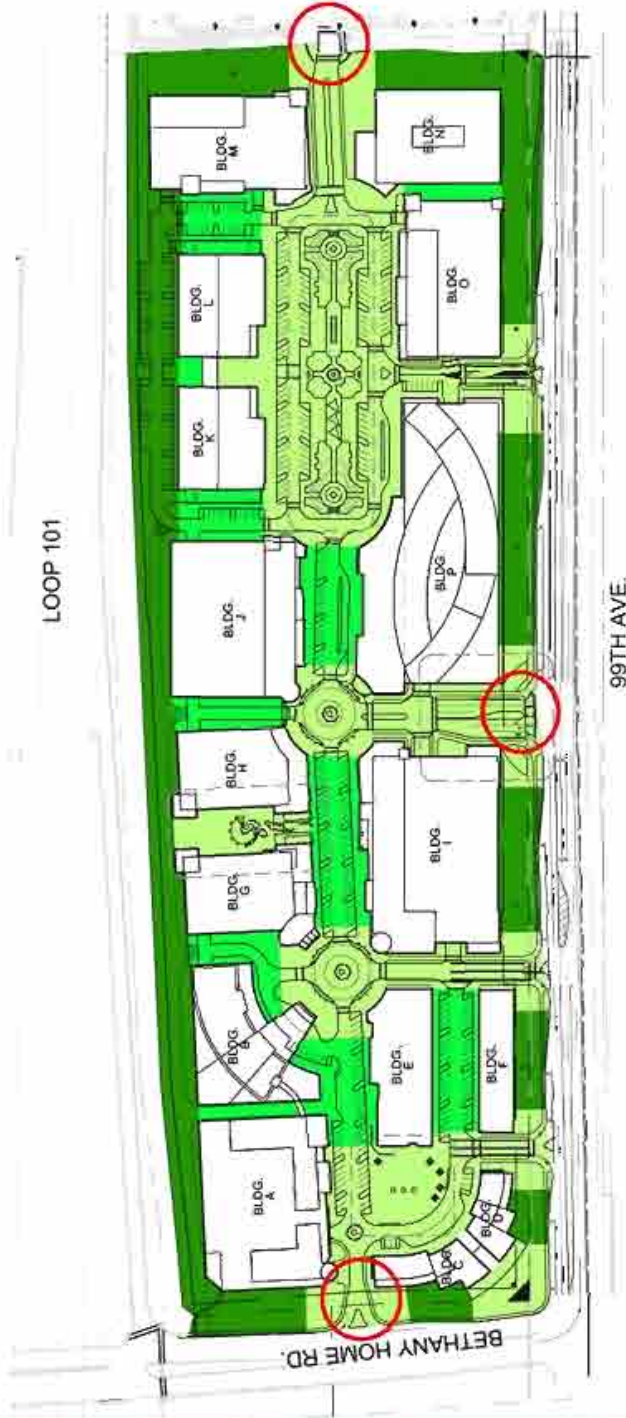
# BELLA VILLAGIO

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## Planned Area Development Landscape Palette Zone Plan

### Landscape Palette

- Perimeter Landscape Zone
- Interior Streetscape Zone
- Enhanced Interior/Entry Node Landscape Zone
- Prominent Entry Point







# BELLA VILLAGIO

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Planned Area Development  
Conceptual Entry  
Feature



Figure #  
16A

**CVA**

Preparation and For Construction  
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Date: 2/28/08 Project Number: 0745

Pg. 60

## **6. Lighting Master Plan**

Lighting is a vital component of defining space. While Bella Villagio is a true mixed-use project, it is important to keep in mind that lighting should not have an adverse impact on adjacent uses. Therefore lighting fixtures and illumination should be of similar design and character as the project's building component, and at the same time respect adjacent properties. Lighting not only creates ambiance, but also provides personal safety at building entrances and exits, and in public assembly and parking areas. As depicted on **Figure 17, Lighting Master Plan** and **Figure 18, Conceptual Street Light Sections**, Bella Villagio has been designed to consider all the above mentioned factors. The Lighting chapter is organized in the following four subsections:

- Architectural Lighting
- Street Lighting
- Signage and Graphics Lighting
- Landscape Lighting

### **a. Architectural Lighting**

Bella Villagio is oriented along the Loop 101 freeway, within the heart of Glendale's Sports and Entertainment District. Lighting within Bella Villagio will be seen from the freeway and therefore will leave a lasting impression on those passing by. Appropriately illuminating building facades will greatly influence the image, impression and visibility of Bella Villagio as an active and prosperous village, where people live, work and play.

Retail, entertainment, and restaurant components should provide lighting that creates a clear delineation between areas for automobiles and places patronized by pedestrians as people come and go from these places of business.

Lighting should complement the buildings form and scale. The lighting design will vary in characteristics of color, brightness, texture, and pattern for visual interest and compatibility among buildings.

### **b. Street Lighting**

The roadways will be lit at the perimeter by a system that provides lights for walkways, and bikeways, as well as vehicular traffic, in accordance with City of Glendale standards. Lighting fixtures will be arranged and fully shielded to ensure that light reaches its intended surface without causing glare or light spill on adjacent properties.

Pedestrian zones are an integral feature of Bella Villagio. As visitors, residents and workers make their way between their origination and destination points, it will be important to provide clearly marked, well illuminated lanes of travel. Lights in the plazas, courtyards and parks

should incorporate lighting into interesting pedestrian amenities such as sculptures, shading, and water elements. Ground level lighting can also be incorporated to create memorable yet safe, useable environments.

**c. Signage and Graphics Lighting**

See Sign Development Standards Section of the PAD.

**d. Landscape Lighting**

The Park, plaza and courtyards provide areas for interacting and socializing. These areas should create an intimate environment and encourage pedestrian activity. While lighting landscape areas can be purely aesthetic, illumination should be adequate at the ground level for the protection and safety of the public relative to pedestrian and vehicular circulation patterns.



# BELLA VILLAGGIO

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## Planned Area Development Lighting Master Plan

- Perimeter Roadway Lighting
- Entry Lighting
- Main Street Lighting
- Pedestrian Lighting
- Building and Landscape Accents
- Service Area Road Lighting







# BELLA VILLAGGIO

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## Planned Area Development Conceptual Street Lighting Sections



### Perimeter Roadway

Parking lots and roadways require luminaries to efficiently light large areas. Therefore, this lighting becomes dominate, and sets the design and style for all others as your progress towards the building.

### Entry

As you leave the roadway and parking areas and begin to transition to pedestrian areas, poles should decrease in height. In addition luminaries should decrease in scale, and have more decorative features to be appreciated at the pedestrian level.

### Main Street

### Pedestrian

### Building and Landscape Accents

Near the buildings, luminaries should begin to disappear, blending into the landscape and hardscape areas. No pole mounted luminaries should be used near the building, as they will dominate the architecture. The only exception would be the use of decorative luminaries to delineate entrances.



## **7. Circulation and Streets Master Plan**

Given the nature and relative size of the Bella Villagio development, traffic related issues are of primary importance. At full buildout the development is anticipated to generate approximately 31,664 daily external trips with 2,210 trips during the AM peak hour and 2,958 trips during the PM peak hour. It is essential to fully understand the traffic generated in terms of magnitude and trip distribution to the proposed access points. Having this sound understanding assists in assessing the internal circulation system, the impact of Bella Villagio upon the surrounding street network and the type and number of required ingress and egress points.

### **a. Analysis**

CivTech Inc. prepared a Final Traffic Impact Analysis and coordinated with the City of Glendale staff to establish requirements necessary to resolve the City's and applicant's issues. Please refer to the Final Traffic Impact Analysis, dated July 2008, for more detailed information (submitted under separate cover).

### **b. Street Layout**

When analyzing the external site boundary as it relates to the roadway connections, the property exhibits the following characteristics:

- It is bordered on the east by the Loop 101. ADOT will not allow any access to the project site from Loop 101.
- It is bordered on the south by the Missouri Avenue alignment. A Missouri Avenue crossover of Loop 101 is not anticipated by ADOT or the City of Glendale. The Glendale Corporate Center is located immediately south of Missouri Avenue and is currently under construction.
- It is bordered on the west by 99<sup>th</sup> Avenue and open agricultural land.
- It is bordered on the north by Bethany Home Road and a Loop 101 freeway interchange.
- Due to the Bethany Home Road interchange with Loop 101, ADOT restricts access points (within 660 feet of the interchange) to right-in/right-out only access.

Both Bethany Home Road and 99<sup>th</sup> Avenue currently exist as arterial roadways adjacent to the development. Through coordination with the applicant, it was determined that five (5) ingress/egress points along 99<sup>th</sup> Avenue and one (1) ingress/egress point along Bethany Home Road would be required. Through coordination with the City staff, it was determined that three (3) of the five (5) ingress/egress points along 99<sup>th</sup> Avenue would be restricted access points with the remaining two (2) as signalized, full movement access points. It was

also determined through coordination with the City staff and ADOT requirements that the ingress/egress point on Bethany Home Road be a restricted access point.

Missouri Avenue is currently under design to provide access to the Glendale Corporate Center immediately south of the Bella Villagio development. The Bella Villagio development plans to increase the capacity of Missouri Avenue by providing additional lanes on the north side of the roadway centerline. In addition, Missouri Avenue may serve the development as the second signalized ingress/egress point.

As depicted in **Figure 19, Circulation System Master Plan**, the internal Bella Villagio roadway network was designed to promote pedestrian activity. To aid in mobility, Roundabouts are proposed at multiple locations and parking is encouraged along the internal roadway network. Pedestrian friendly features (such as open spaces) are provided immediately adjacent (and grades separated) to the internal roadway system to protect pedestrians. In addition, the internal roadway network provides direct access to the proposed parking structures to foster traffic access from 99<sup>th</sup> Avenue and Bethany Home Road thereby reducing internal traffic flow.

**c. Street Sections**

The creation of street cross sections not only define the urban character, but also respects the pedestrian friendly nature of the development. Roadway dimensions and setbacks have been established through coordination with all consultants to provide the appropriate density, traffic flow, landscape requirements and pedestrian accommodations to fulfill the development's requirements, as shown on **Figure 20, Typical Street Section**, traffic Roundabouts are proposed along the internal roadways to assist in traffic calming, thereby ensuring the internal corridors remain pedestrian friendly.

99<sup>th</sup> Avenue is proposed as a five lane cross-section two (2) through lanes per direction with a two-way left-turn lane) per coordination with City staff. The five lane cross-section ties in with the planned cross-section along the frontage of the Glendale Corporate Center (to the south) as well as the cross-section immediately north of Bethany Home Road. The SRP canal immediately west of the roadway is one of several obstacles inhibiting the widening of the roadway to its ultimate planned cross-section of major arterial. Right-turn lanes are anticipated at all access points along 99<sup>th</sup> Avenue.

Bethany Home Road is proposed as a six lane cross-section three (3) through lanes per direction) with a median.

**d. Roundabouts**

Bella Villagio intends to utilize the roundabout to assist with overall traffic flow. The roundabout is designed to calm traffic and promote safe and efficient vehicle movement. The design of the roundabout requires vehicles to travel counterclockwise in a one way circular motion, with entering traffic yielding the right of way to circulating traffic. All motorists approaching a roundabout must yield. Drivers entering a roundabout must slow down to approximately 15-25 mph to avoid conflicts with vehicles navigating the circle, and be prepared to stop for pedestrians and bicyclists. Once in the roundabout, drivers proceed to the appropriate exit, guided by traffic signs and pavement markings.

According to Arizona Department of Transportation, several studies have shown that modern roundabouts are successful in promoting safety. Roundabouts are not the universal solution to all traffic problems at intersections or interchanges. However, replacing some traffic signals with roundabouts can reduce the likelihood and severity of rear end accidents by discouraging aggressive drivers.

Due to the low entry speed, motorists have no incentive to speed up when approaching green lights. Nor do they have any reason to slow down abruptly at red lights. A 2001 Insurance Institute for Highway Safety Study of 23 US intersections reported that converting intersections from traffic signals or stop signs to roundabouts reduced injury accidents by 80 percent and all accidents by 40 percent.

Because roundabouts improve the efficiency of traffic flow, they also reduce vehicle emissions and fuel consumption. Studies have found that fuel consumption can be reduced by approximately 30 percent – a savings of up 200,000 gallons of fuel per year.



# BELLA VILLAGGIO

SPAZI DI VITA

## Planned Area Development Circulation Master Plan



- Vehicular Circulation**
  - On-Site Private Drive
  - Off-Site Public Street
- Parking**
  - Structured Parking
  - At Grade Parking
- Pedestrian Circulation**
  - On-Site Pedestrian Walks and Paths
  - Off-Site Street Sidewalks
- Transit Service**
  - Future Valley Metro Route
  - Future Area Wide Transit Loop
  - Project Boundary



# BELLA VILLAGGIO

SPAZI DI VITA

## Planned Area Development

### Street Sections

Key Map





## **8. Parking Master Plan**

Parking is a key element of any site development plan and can be provided in a variety of ways. Bella Villagio proposes at-grade parking and structured parking as its mechanisms to store vehicles for short or longer term durations. An appropriate amount of parking stalls has been provided for individual buildings and uses. The conceptual development plan currently depicts approximately 7,351 spaces. For the purpose of this PAD, and approval by the Planning Director, Bella Villagio will have the ability to share parking based on alternating peak demands exhibited among the land uses – a practice commonly employed in mixed-use projects and supported/documented by the Urban Land Institute (ULI).

### **a. Shared Parking**

A conservative approach to providing an adequate supply of parking spaces for Bella Villagio is intentional and a well established fundamental principal of downtown planning. Parking can consume 50 percent or more of the building and land area of a development. Furthermore, an oversupply of parking can result in excess storm drainage impacts and unnecessarily high expenses. Therefore, Bella Villagio will utilize the concept of shared parking within the development. However, this PAD recognizes the potential negative impact that overflow parking can have on adjacent properties and the plan to promote conservative parking amounts must consider the relationship of proposed uses, the peak in parking demand, and walking distances to alternative overflow locations.

The key goal of shared parking is to establish the balance between providing adequate parking to support a development from a commercial viewpoint and minimize the negative aspects of excessive land area or resources devoted to structures of asphalt. According to the Urban Land Institute "Mixed-Use developments that share parking result in greater density, better pedestrian connections, and, in turn, reduced reliance on driving, typically because multiple destinations can be accessed by walking." At the discretion of the Planning Director during the design review process with input of the Transportation Department, a base parking reduction of 10% may be granted to the Master Developer of Bella Villagio once the project meets the definition of a mixed use project.

Parking reductions within Bella Villagio can be justified using the following assumptions:

- The physical relationships among land uses and the ability to share parking, recognizing peak and off-peak demand for the various uses.
- Management strategies such as valet parking and on-site shuttle service.
- The availability of public transportation.



**b. Structured Parking**

Even though vehicle parking is not a land use in the traditional sense of a master plan, a mixed use project with an urban theme could not be a reality unless structured parking was carefully integrated into the project in a sensitive manner. Incorporating retail, restaurant, residential and office uses on multiple levels will provide an attractive and functional element to the parking structure.

As depicted on **Figure 21, Parking Master Plan**, and reflective of the Land Use Master Plan, a total of 7,350 parking spaces are programmed to serve the land uses at build out, and will be a component of all five phases of the project. The total number of constructed parking spaces will correlate with the number of dwelling units, amount of non-residential space, and lodging rooms developed at project build out. Based on the Land Use Master Plan, the following are an approximate projection of parking spaces:

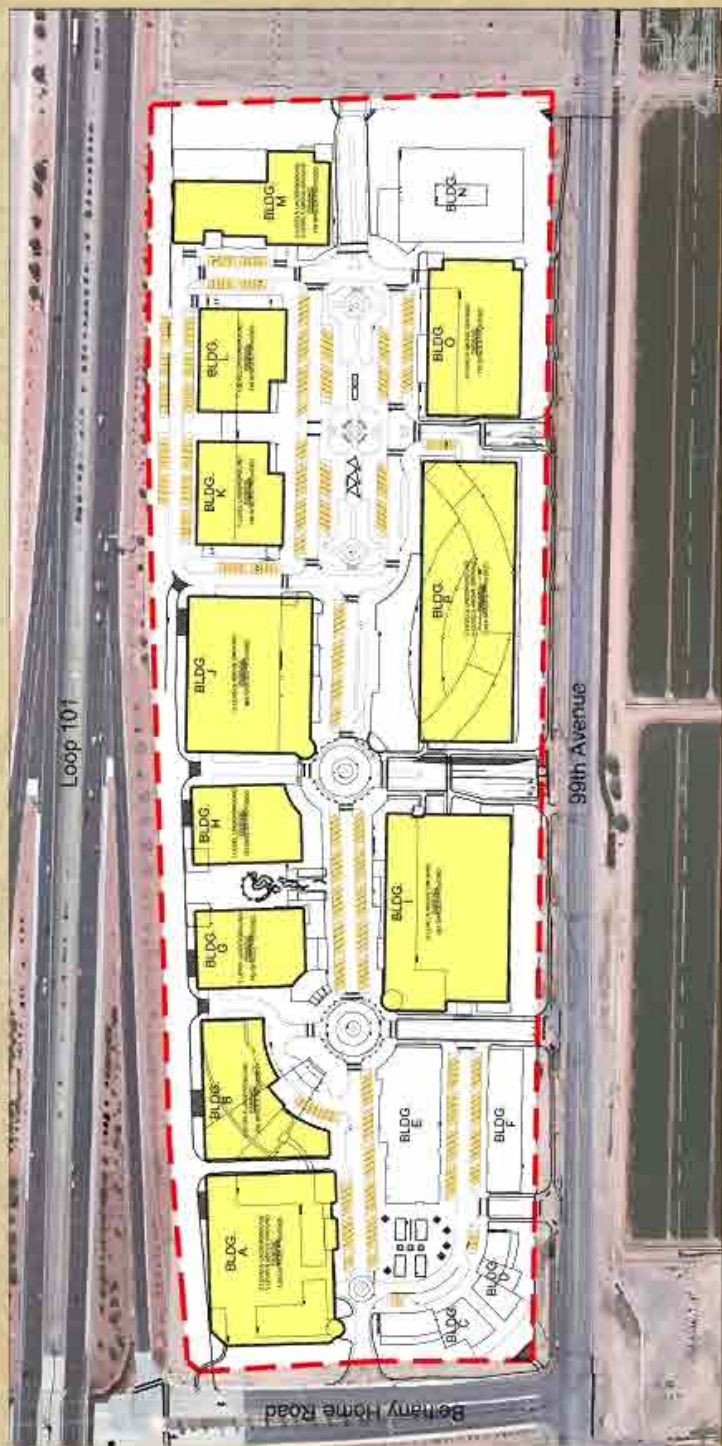
- A total of 1,598 parking spaces are projected within Phase 1, and are components of Buildings A, B,C, D, E and F.
- A total of 1,261 parking spaces are included within Phase 2, and are a part of Buildings G, H and I.
- A total of 2,101 parking spaces are programmed within Phase 3 as components of Buildings J, K, L and M.
- A total of 1,635 parking spaces are to be developed in Phase 4, within Building P.
- The final Phase 5 will add an additional 756 spaces as components of Buildings N and O.



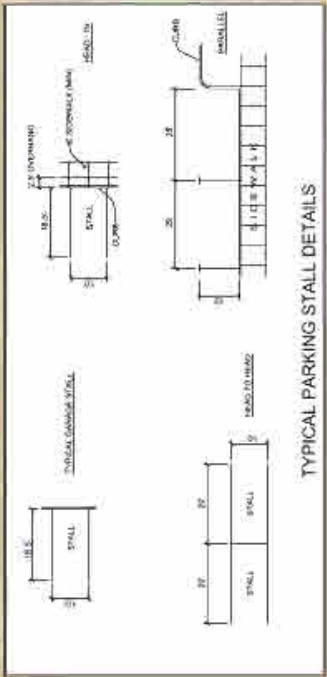
# BELLA VILLAGIO

SPAZI DI VITA

## Planned Area Development Parking Master Plan



Building	# Of Levels		# Of Levels Above Ground		Parking Spaces Provided (Structural)		Parking Spaces Provided (on grade)		Total Parking Square Feet	Phase
	Underground	Ground	Ground	Ground	Provided (Structural)	Provided (on grade)	Provided (on grade)	Provided (on grade)		
Bldg A	2	5	0	0	1,244	19	19	19	410,400	1A
Bldg B	2	0	0	0	262	8	8	8	86,500	1A
Bldg C	0	0	0	0	0	4	4	4	0	1B
Bldg D	0	0	0	0	0	3	3	3	0	1B
Bldg E	0	0	0	0	0	40	40	40	0	1B
Bldg F	0	0	0	0	0	18	18	18	0	1B
Bldg G	1	0	0	0	142	12	12	12	46,800	11
Bldg H	1	0	0	0	142	13	13	13	46,800	11
Bldg I	0	5	5	5	927	25	25	25	300,000	11
Bldg J	0	5	5	5	982	17	17	17	224,000	11A
Bldg K	1	0	0	0	125	61	61	61	41,405	11A
Bldg L	1	0	0	0	125	65	65	65	41,405	11A
Bldg M	2	3	3	3	716	10	10	10	236,400	11B
Bldg N	0	0	0	0	0	0	0	0	0	V
Bldg O	0	5	5	5	731	25	25	25	241,200	V
Bldg P	2	4	4	4	1,615	20	20	20	532,800	IV
Total	12	27	27	27	7,011	340	340	340	2,313,710	



TYPICAL PARKING STALL DETAILS



## **9. Sign Master Plan**

This section of the Bella Villagio PAD defines the criteria for exterior signage. For further information regarding sign standards, see Development Standards Section nine (9) of the PAD.

A staged approach is necessary to regulate signage within the various phases of development. The signage will be appropriately scaled and will establish a design theme that will be universal to a timeless classical European development. The European theme will be complemented with a touch of modern technology such as electronic displays and murals. Because this project is multi-faceted and will be developed in phases, the specific locations for various sign types are tentatively identified on **Figure 22, Sign Master Plan**. The exact sign envelopes for various buildings and final sign locations will need to be addressed as the phases are more fully developed and complete building elevations have been established. Accordingly, the comprehensive sign plan will be supplemented with specific phased specifications, variations or considerations as the development of the phased areas becomes more defined and to be administratively approved based on the general conformance of the sign plans with the design theme set forth in the Design Guidelines, and standards within the Development Standards Section of this PAD.

### **a. Traffic, Circulation and Access**

The site is ideally located from both a regional and local perspective. Regional access from the north and south is provided by the Loop 101, which is located along the eastern boundary of the site. The posted speed limit is 65 mph. Loop 101 has four (4) traffic lanes approaching from each direction with convenient entrance and exit ramps at Bethany Home to the north and south.

Local and direct access will be provided by Bethany Home Road to the north with a gateway entrance on Bethany Home Road between the Loop 101 and 99<sup>th</sup> Avenue to the west. The main entrances will provide access off of 99<sup>th</sup> Avenue to the west and the Glendale Corporate Center to the south. Two lanes of traffic in each direction currently serve these arterial streets. 99<sup>th</sup> Avenue has future plans for three lanes in each direction and has a posted speed limit of 45 mph.

### **b. Hierarchy of Signs**

The Sign Master Plan has been structured to provide a hierarchy of display, identification and way-finding signs. The signage for Bella Villagio is designed to carefully address the public and private components of the project. The environmental graphics will provide key identification and information to visitors to enable free flow of pedestrians and vehicles throughout the project. All tenant sign designees and sign packages that are proposed shall be submitted to



the Bella Villagio Design Review Committee (BVDRC) for review and final approvals. The following signs are further discussed in the Signs Development Standards section of the PAD:

- **Freeway Billboard** may be installed along the Loop 101 and could identify general advertising in accordance with PAD Standards.
- **Freeway Landmark Pylons** will be installed along Loop 101 and will identify the Bella Villagio project and the business uses within the development.
- **Street Monuments** will provide local level identification for both the Bella Villagio project and tenant/users within the residential, restaurant, retail, hotel and office venues for travelers along 99<sup>th</sup> Avenue and Bethany Home Road.
- **Gateway Features** will provide the primary identification for the project at the main entrances on Bethany Home Road and primary and secondary entrances located on 99<sup>th</sup> Avenue. These Gateways will be arching over the entrance roadway and will be a combination of architecture, landscape and water features. The Gateway features will be the project's identity element and an urban landmark.
- **Vehicular Way-finding** navigates and directs visitors within Bella Villagio with friendly, engaging and legible way-finding. These displays will be a cohesive system and will incorporate common elements such as color iconography, pictograms and typography. These signs are positioned at primary entrances, intersections, and key decision points and will guide visitors to the various buildings and alternatives within the development.
- **Garage Graphic Murals and Displays** will be used to enhance the facades of parking structures. These graphics will be designed in varying sizes using vertical or horizontal configurations and installed on multiple levels of the parking garage structures facing the street. The displays may be used to identify various services and products within the development and will also be one of the contemporary elements reemphasizing the European theme.
- **Electronic Message Centers (EMC)** will be integrated into the Bella Villagio development to communicate messages and display images. These electronic forms of communication will be utilized on the proposed pylon displays along the north/northeast side of Building A and other various locations within the development.
- **Real Time Event LED Panels** will be utilized throughout the development. Initially, a panel will be installed on the sixth floor event deck of Building A. Live video feeds from this venue may be captured and viewed on similar displays located at other locations within the development.
- **Hotel Signage** will provide for the hotel's identity at the street level and high level classifications.

- **Residential Signage** will provide identification at entrances.
- **Retail Signage** will be diversified. Variety and creativity in the design of signs will be encouraged to help make the Bella Villagio shopping environment inviting and exciting.
- **Restaurant Signage** is expected to attract a variety of eateries. Therefore, variety and creativity in the sign design is also encouraged to help make the dining experience a pleasant and comfortable place to relax and enjoy various food from around the world.
- **Pedestrian Way-Finding** signs will help guide visitors as they enter the retail and restaurant areas. Using the way-finding signs, they will be able to navigate through the urban city streetscapes to various destinations and points of interest.
- **Pedestrian Directory** helps compliment the pedestrian way-finding sign system. These directories will be positioned throughout the routes to allow for easy orientation to anticipated destinations.
- **Free Standing Kiosk/Carts** will be utilized in the open air venue of Bella Villagio. Each kiosk/cart will be able to identify its name and project with a sign mounted to the top or side of the kiosk/cart.
- **Special Events.** Temporary dynamic event signage will be needed when special events such as concerts, art exhibits, festivals, etc. may be scheduled in the Bella Villagio Development. These features could be banners, sculptures, art pieces, freestanding signs, or stages with varying types of displays.
- **Office Signage** is intended to allow adequate identification of businesses and establish a common set of standards for the benefit of all tenants. These signs may be located at the primary entrance or upper levels of the building.
- **Parking signage** will be used to identify entrance and exit locations of parking structures.



# BELLA VILLAGGIO

SPAZI DI VITA

## Planned Area Development Conceptual Sign Master Plan

- Freeway Frontage Zone For Freeway  
Landmark Pylon Signs or Billboards
- Street Monuments
- Gateway Features
- Garage Graphics Murals
- Electronic Message Center (EMC)
- Electronic Message Center Building Display
- Hotel Identification
- Residence-Combo Identification

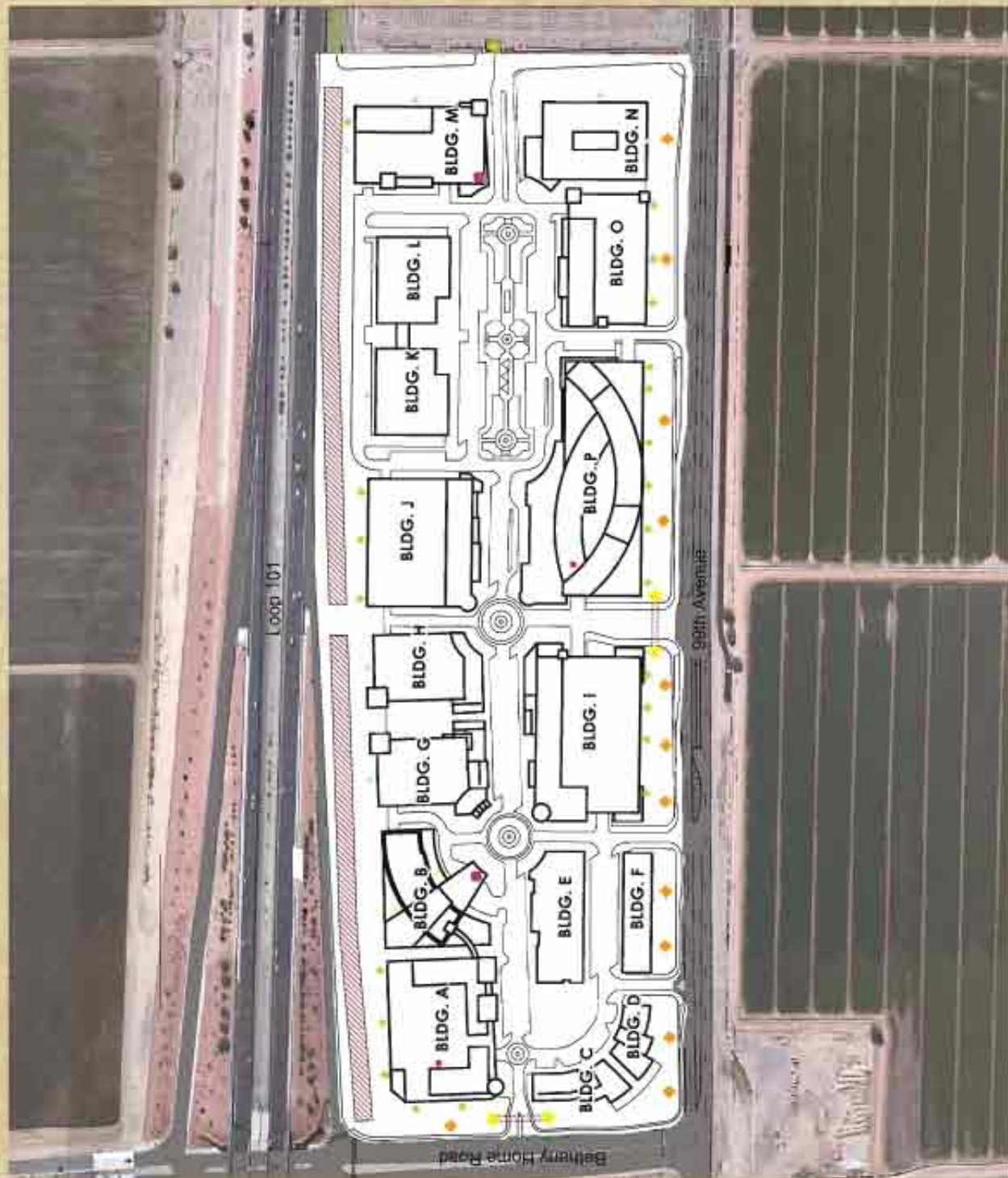


Figure #

22

BLDG

LVA

North

Scale: 1/4" = 1' - 0"



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Date: 5.20.10 Project Number: 1018

Fig. 77

## 10. Water and Wastewater Master Plan

The Bella Villagio Water and Wastewater Systems Analysis have been prepared by Kimley-Horn, in accordance with City of Glendale design requirements [see Water and Wastewater Systems Analysis under separate cover]. The Master Water Report is intended to identify the overall water and wastewater system requirements, establish the system design guidelines, and provide the locations and sizes of the proposed major infrastructure required to provide potable water and sewer service for the Bella Villagio Development.

### a. Potable Water

The proposed Bella Villagio project is located within the water service area of the City of Glendale. Existing water facilities adjacent to the site include a 12-inch main located in 99<sup>th</sup> Avenue, a 16-inch main located in Bethany Home Road, and an 8-inch main located along the south property line within the Missouri Road alignment.

As depicted on **Figure 23, Water Master Plan**, the proposed on-site water infrastructure will consist of a multi-loop 8-inch to 12-inch Ductile Iron Pipe (DIP) public distribution main which will tie into the existing public water infrastructure in six locations: three locations within 99<sup>th</sup> Avenue, two locations within Bethany Home Road, and one location within the Glendale Corporate Center (Missouri Avenue alignment) to the south. Private water lines, building fire connections and public fire hydrants are proposed to connect to the on-site public distribution main and cross-connection backflow prevention devices will be provided per City of Glendale requirements.

The existing and proposed water system has been analyzed to ensure that it meets the City of Glendale design criteria. The proposed on-site water system and the existing, adjacent off-site public water infrastructure has adequate pressures and flow characteristics to meet the required domestic water demand and fire flow demand for the proposed buildings in the Bella Villagio development.

### b. Wastewater

The proposed Bella Villagio project is located within the sanitary sewer service area of the City of Glendale. An existing 42-inch sanitary sewer main located within 99<sup>th</sup> Avenue is anticipated to be utilized to serve the project site. No sanitary sewer facilities currently exist in Bethany Home Road adjacent to the site.

As depicted on **Figure 24, Wastewater Master Plan**, the proposed on-site sanitary sewer infrastructure will be public and will consist of 8-inch and 10-inch mains. The proposed on-site sanitary sewer collection system divides the site into a north half and a south half. The north half

is proposed to serve Buildings A through F and be constructed as a part of Phase 1 of the development serving both Phase 1 and Phase 2. The south half is proposed to serve Buildings J through P and be constructed as a part of Phase 3 of the development serving Phases 3, 4 and 5. Both the north and south sewer are proposed to connect to the existing 42-inch sanitary sewer main located within 99<sup>th</sup> Avenue to the west of the project site.

The proposed on-site sanitary sewer is capable of conveying the peak sewage flow as calculated and analyzed per the:

- 2002 City of Glendale Engineering and Design Standards
- Arizona Administrative Code, Title 18: Environmental Quality
- City of Phoenix Design Standards Manual for Water and Wastewater Systems (08/01/04)

The total peak flow generated by the Bella Villagio Development proposed to be conveyed to the existing 42-inch sanitary sewer main within 99<sup>th</sup> Avenue is 994,349 gpd (0.994 MGD).

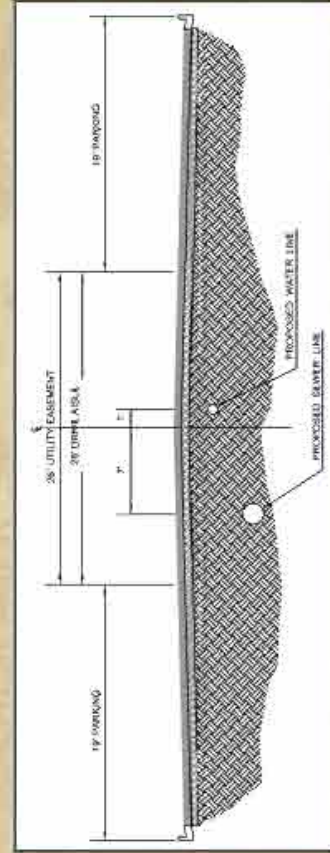




# BELLA VILLAGIO

SPAZI DI VITA

## Planned Area Development Water Master Plan



Note: The phasing plan is conceptual and subject to administrative amendment from time to time as need to respond to changing market conditions and building practices.



North  
Scale: 1" = 240 ft  
Figure # 23  
DEDG  
CVA  
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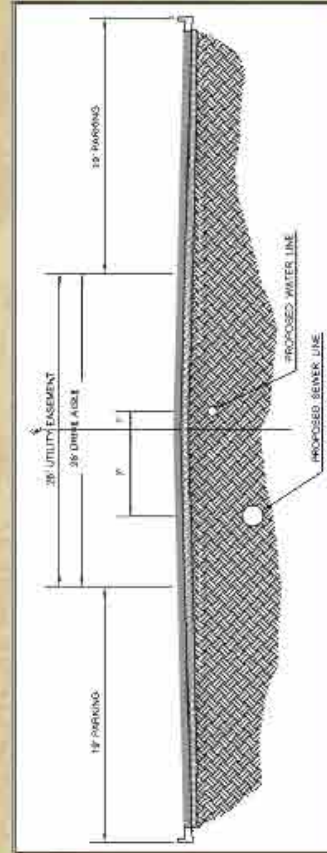
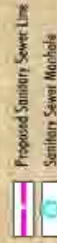




# BELLA VILLAGGIO

SPAZI DIVITA

## Planned Area Development Sewer Master Plan



Note: The phasing plan is conceptual and subject to administrative amendment from time to time as need to respond to changing market conditions and loading practices.

North Scale: 1" = 240 ft Figure # DEDG

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## **11. Stormwater Management Master Plan**

The Stormwater Master Plan addresses the entire Bella Villagio property, whether or not it is subdivided in the future. About one-half of the required stormwater retention will be held in underground storage structures, with the remaining half contained in surface retention basins/landscape open space. These areas are located along 99<sup>th</sup> Avenue and at the southern (low) end of the site. The detailed design of grading and drainage facilities will be provided within the final drainage reports prepared for each phase of development of Bella Villagio. Each phase of the development will meet City standards.

### **a. Drainage**

The Bella Villagio Preliminary Drainage Report has been prepared by Kimley-Horn, in accordance with City of Glendale design requirements [see Preliminary Drainage Report under separate cover]. The Drainage Report is intended to identify offsite flow considerations, onsite flow considerations and how these flows will be retained and subsequently drained.

As depicted on **Figure 25, Drainage Master Plan**, The proposed Bella Villagio site is located within a FEMA designated Zone X floodplain. The site generally slopes at 0.4% from the northeast to southwest. Existing off-site flows from the north are intercepted by the Grand Canal which runs west to east on the north side of Bethany Home Road. Bethany Home Road is fully improved with catch basins and a storm drain system; no retention will be required for off-site flows from the Bethany Home Road improvements. Off-site flows from the north are not anticipated to impact the site. Off-site flows from the east are intercepted by Loop 101 and are not anticipated to impact the site. Off-site flows from the south are not anticipated to impact the site. Storm water runoff associated with the half-street improvements to 99<sup>th</sup> Avenue will be retained on-site along the west boundary of the property.

On-site retention will be provided in the form of surface retention basins and subsurface tanks. Storm water runoff will be conveyed to the retention basins through the use of surface sheet flow as well as catch basins and an underground storm drain system. Retention basins will be sized to retain the runoff generated by the 100-year 2-hour storm event. It is anticipated that drywells will be utilized to dispose of the retained storm water within 36 hours per City of Glendale design guidelines [See Figure 25, Drainage Master Plan].





# BELLA VILLAGGIO

## SPAZI DI VITA

### Planned Area Development

### Drainage Master Plan

- Legend**
- Curb Basin
  - Headwall
  - Underground Storage Tank
  - Property Line
  - Existing Property Line
  - Proposed Right Of Way Line
  - Existing Right Of Way Line
  - Proposed Storm Drain
  - Major Contour Line
  - Minor Contour Line
  - Drainage Area Delineation
  - Drainage Area Id
  - Sanitary Retention Basin Id
  - Underground Retention Basin Id
  - Flow Direction
  - Low Point
  - Finish Floor Elevation
  - Proposed Top Of Curb Elevation
  - Existing Top Of Curb Elevation



Figure # **25**

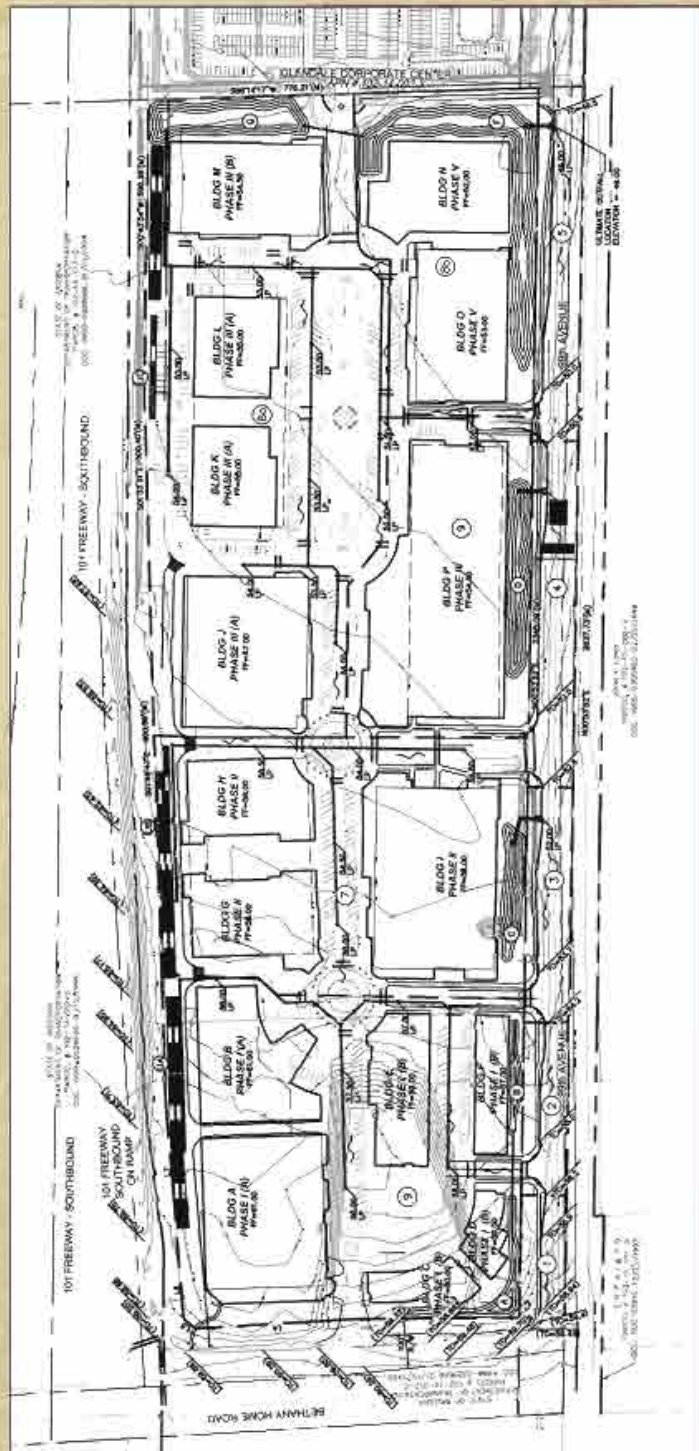
North

Scale: 1" = 240 ft

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#### SURFACE RETENTION PROVIDED

BASIN ID	RETENTION PROVIDED	DEVELOPMENT
A	0.20 AC-FT	1
B	0.07 AC-FT	1
C	0.07 AC-FT	1
D	0.64 AC-FT	3
E	1.89 AC-FT	6
F	5.53 AC-FT	15
TOTAL	8.54 AC-FT	

#### UNDERGROUND RETENTION PROVIDED

BASIN ID	PIPE LENGTH	RETENTION PROVIDED	DEVELOPMENT
UA	104 FT	1.83 AC-FT	6
UB	100 FT	1.43 AC-FT	6
UC	100 FT	1.43 AC-FT	6
TOTAL	204 FT	4.69 AC-FT	18

#### TOTAL RETENTION PROVIDED

SURFACE RETENTION	8.54 AC-FT
UNDERGROUND RETENTION	4.69 AC-FT
TOTAL RETENTION PROVIDED	13.23 AC-FT
REQUIRED RETENTION	8.54 AC-FT

LINE	BEARING	DISTANCE
1 (W)	N00°53'15"E	100.00'
2 (W)	N00°53'15"E	318.23'
3 (W)	N00°53'15"E	327.56'
4 (W)	S04°20'04"E	50.40'
5 (W)	S04°20'04"E	175.12'
6 (W)	S04°20'04"E	501.50'

#### DRAINAGE CALCULATIONS:

CROSS SITE AREA = 46.04 ACRES  
 TOTAL REQUIRED VOLUME = 8.54 AC-FT  
 ON-SITE REQUIRED VOLUME = 7.50 AC-FT  
 OFF-SITE REQUIRED VOLUME = 1.04 AC-FT

#### DRAINAGE AREAS

AREA ID	AREA	CLASSIFICATION	RUN-OFF C	VOL REQ
1	0.20 AC	OFF-SITE	0.95	0.10 AC-FT
2	0.07 AC	OFF-SITE	0.95	0.07 AC-FT
3	0.07 AC	OFF-SITE	0.95	0.07 AC-FT
4	1.42 AC	OFF-SITE	0.95	0.38 AC-FT
5	10.61 AC	ON-SITE	0.95	2.81 AC-FT
6	12.83 AC	ON-SITE	0.95	3.35 AC-FT
7	8.48 AC	ON-SITE	0.95	2.23 AC-FT
8	12.83 AC	ON-SITE	0.95	3.35 AC-FT
9	4.84 AC	ON-SITE	0.95	1.23 AC-FT
TOTAL	46.04 AC			8.54 AC-FT

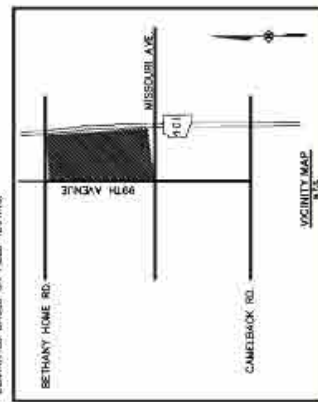
#### PHASING DRAINAGE AREAS

PROJECT PHASE	VOLUME REQUIRED	SURFACE VOLUME PROVIDED	UNDERGROUND VOLUME PROVIDED	TOTAL VOLUME PROVIDED
I	2.15	0.02	1.63	2.15
II	1.73	0.20	1.53	1.73
III	0.81	0.01	0.80	0.81
IV	0.81	0.24	0.84	0.85
V	0.87	0.67	0.60	0.87
TOTAL	6.34	3.93	4.01	6.34

\*ALL VOLUMES ARE IN AC-FT

#### NOTES:

- RETENTION VOLUME CALCULATIONS ARE BASED ON 1. THE 100-YR 2-INR RAINFALL DEPTH OF 2.6 INCHES WAS USED IN ALL CALCULATIONS.
- ON-SITE DRAINAGE CALCULATIONS REFER TO PRELIMINARY DRAINAGE REPORT OF 0.17 OPS WAS USED TO CALCULATE THE NUMBER OF DRAINAGE REQUIRED. DRAINAGE MAY BE ELIMINATED BASED ON FIELD TESTING.



## **12. Design Review and Property Management**

The ability to create a high quality project does not happen by chance. The perception of development quality manifests itself in the visual appeal of a designed environment. The Master Developer of Bella Villagio clearly understands that development quality is based on the effort put into the design, construction and maintenance of its improvements. To that end, the intent, formation and function of a formal group to oversee the design of incremental parcels and a formal group to maintain common areas is proposed. This section is presented in the following two subsections:

- Bella Villagio Design Review Committee (BVDRC)
- Bella Villagio Property Owners Association (BVPOA)

### **a. Bella Villagio Design Review Committee (BVDRC)**

To achieve the intent of this PAD and ensure its cohesive development, the Bella Villagio Design Review Committee (BVDRC) is to be created. The charge of the BVDRC is to privately review, implement and enforce the Bella Villagio Design Guidelines and Covenants, Conditions and Restrictions (CC & R's) which are the regulatory controls of the Master Developer. The design guidelines and CC & R's will be created to provide the specific framework and standards and procedures that will guide Bella Villagio development in an orderly and comprehensive manner. As a courtesy, the draft design guidelines will be reviewed by City of Glendale staff for inclusiveness of City-wide standards. However, the imposition, enforcement and administration of the private design standards will be the sole responsibility of the BVDRC, not the City of Glendale. Any changes or updates to the Bella Villagio design guidelines will be provided to the City of Glendale for incorporation purposes.

The Bella Villagio CC & R's will establish the review authority of the BVDRC. Preferably, BVDRC approval of each development proposal will occur prior to the review and issuance of site plan approval by the City of Glendale. In this manner, the City will know before it considers a site plan that it is consistent with the Bella Villagio PAD, design guidelines and CC & R's. Because the design review process is entirely independent of the City of Glendale site plan review process, the City may accept plans for processing and may authorize site plan approval for development proposals that have not been previously approved by the BVDRC.

Membership on the BVDRC shall be established by the CC & R's and may include representatives from the Master Developer, property owners, design consultants and/or project residents/tenants. It is anticipated participation on the BVDRC will evolve over time as property ownership transitions from the Master Developer to other property owners, tenants and residents.



**b. Bella Villagio Property Owners' Association (BVPOA)**

Due to the ability of the Master Developer to enter into future agreements to solely or jointly develop, or sell portions of Bella Villagio to other entities, a master property owners' association will be created to manage all designated common area open space facilities. These tracts will be controlled by the BVPOA who will administer its duties in a formal structure to be established in its bylaws. These facilities typically will include plaza area(s), park area(s), entry monuments, landscape/hardscape internal open space areas, stormwater retention areas and landscaped areas within public rights-of-way adjacent to 99<sup>th</sup> Avenue and Bethany Home Road. All property owners within Bella Villagio will be required to pay dues to the BVPOA, assessed on an annual/semi-annual basis. All private facilities constructed by the Master Developer will be presented to the BVPOA for acceptance prior to dedication. The acceptance and dedication process will coincide with the public approval of the facilities through the City's development review process. Once dedicated, it will become the BVPOA's responsibility to manage and maintain the facilities under the purview of its adopted bylaws.

**c. City of Glendale Design Review Process**

The applicant recognizes that the City of Glendale Design Review is a critical process to assure consistency with city goals, objectives and guidelines. Therefore, all Bella Villagio plans will be reviewed per Section 5.908 Design Guidelines:

5.908 Design Guidelines.

- A. Design Review is required as outlined in Section 3.600.
- B. The design of the project shall be consistent with any existing guidelines applicable to the land use proposed. This shall include, but not be limited to the following:
  - 1. Subdivision Design Expectations.
  - 2. Commercial Design Expectations. (See Appendix I)
  - 3. Multi-Family Design Expectations.
  - 4. Industrial Design Expectations.
  - 5. All wireless communication facilities are subject to Design Review and must be consistent with wireless communication facilities design guidelines.

(Ord. No. 1772, 7-23-93; Ord. No. 2002, § 3, 4-28-98)

### 13. Design Principles & Guidelines

The Design Principles & Guidelines sets the foundation for a complementary design for the entire Bella Villagio project. This section is presented in the following ten subsections:

- Project Design Principles
- Site Design Principles
- Architectural Detail Principles
- Lighting Principles
- Landscape/Urban Design Principles
- Open Space Principles
- Circulation Principles
- Screening/Partition Principles
- Design Guidelines Preparation, Review and Administration
- Design Guidelines Amendment Process

#### a. Project Design Principles

A large scale, mixed-use project with the intention of creating a highly urbanized environment, typically involves a longer term phasing program and the propensity for a multitude of owners, designers and builders. In an effort to create a unique, yet visually and functionally connected environment requires the creation of overarching design principles, which then lay a solid foundation for both quantitative development standards and specific design guidelines. These design principles set a philosophy for the project that allows all future design and development teams the ability to be "on the same page" in terms of understanding how their site can be successfully designed to function within the overall development context of Bella Villagio.

The overarching design principles of Bella Villagio are presented below to guide the incremental development of "the" residential, business and shopping address within the City's vibrant Sports and Entertainment District:

- **Design-** The architectural and landscape architectural design theme of Bella Villagio will develop the street level component of the project with the materials, colors and textures that are inspired by the rich streetscapes found in European cities. Design elements would be varied to emulate a village that developed over time. As the buildings rise away from the pedestrian streetscape, a tasteful transition will occur to a more contemporary architecture that artistically integrates details inspired by the street level European architecture.
- **Function-** Each of the 16 buildings may integrate a mix of residential, office, retail, or lodging uses in a vertical manner.

- **Form**-The buildings will range in height, creating a pleasing scale of building massing. Building masses will be designed and organized in a way to provide a graceful transition in scale, between buildings, and between buildings and streets.
- **Scale**-A Main Street will create a strong pedestrian corridor throughout the project.
- **Vitality**-The mix of ground floor retail uses, lodging and office space will foster a zone of social interaction and walkability.
- **Lifestyle**-The provision of lofts and condominiums allow for the selection of an urban lifestyle for existing and future City residents.
- **Environment**-The climate of the Sonoran Desert and orientation of the building and circulation pattern must be respected-solar orientation, judicious use of water resources, and the cooling effects of wind and shade are important considerations.
- **Sustainability**-The use of building methods, and “green” components; access to alternative modes of travel; and judicious use of water will be embraced to diminish the waste stream and recycle appropriate resources.

**b. Site Design Principles**

- The architectural character should impart a sophisticated and refined image of a progressive downtown European city. The intent for the architecture is shown on **Figure 26, Development Character-Looking South.**
- Buildings sited at the terminus of primary or secondary vehicular entries should be designed with enhanced architectural embellishments. The intent for these interface areas is shown on **Figure 27, Development Character-Looking Northeast.**
- References to period architecture should be interpreted in a contemporary fashion.
- The placement of buildings will reinforce the character of the Main Street and provide a continuous street frontage of building faces and complementary uses.
- Buildings with frontage on the Main Street should be set back from the face of curb a consistent distance to allow a wide walkway to connect the curb and building face.
- Parking structures faced to the sites interior will be wrapped with retail and other uses on the ground floor. On the sides facing the freeway and adjacent streets, parking will be masked with tastefully designed architectural elements that may also be utilized to provide artistic and advertising graphics.
- All buildings should be designed with four-sided architecture.
- Where adjacent buildings are contemplated at varying heights, a compatible transition should occur to minimize abrupt changes in massing that diminish the pedestrian scale desired along both sides the Main Street.

- The intensity of the sun in the Sonoran Desert should strongly influence the orientation of building placement and the inclusion of “designed shade” on south and west facing elevations (which should also be accommodated on north and east elevations for design consistency).
- Architectural massing should define a base, middle and cap for each building.
- Upon buildout, a skyline should be created that is varied and accentuated with towers, domes and rotundas including appropriate detailed corners and entries.
- An attractive retail pedestrian atmosphere, providing human scale details and amenities, should be provided through ground floor architecture along both sides of Main Street.



# BELLA VILLAGGIO

SPAZI DI VITA

## Planned Area Development Development Character Looking South



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Figure #  
26

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# BELLA VILLAGGIO

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## Planned Area Development Development Character Looking Northeast



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Figure #  
27

**LVA**

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**c. Architectural Detail Principles**

- The use of natural stones, terra cotta, and clay fired units are encouraged for accents and architectural details, especially at primary and secondary building entries and windows abutting the Main Street. The intent for these and other building design details are shown on **Figure 28, Architectural Details**.
- Sloped, terra cotta clay tile roof forms can be used as a consistent functional and/or faux roof element form for any building yet could be of different sizes and finishes to promote textural variety.
- Punched type windows and support columns are appropriate, and should be inset from the face of the building to create deep shadow lines and visual relief.
- The use of reflective glazing shall be limited.
- The preferred color palette is composed of warm earth tones.
- Vibrant accent colors may be used in selected locations in limited quantities.
- Storefronts may not extend beyond the face of the shell building, including open doors.
- Storefront glazing should be of clear glass, comprising the majority of the storefront face.
- Awnings and shade structures are recommended for southern and western building faces. Fabric colors should be complementary to the body color of the painted building.
- The selected street furniture components (i.e. benches, pottery, trash receptacles, bollards, planter baskets, etc.) should use repetitive materials and textures to foster design continuity.
- Trellises, canopies and awnings should relate to the building architecture and be designed to allow safe pedestrian passage as well as a shade pattern that reduces exposure to the summer sun.
- Accessories such as colorful banners and flags should be used to identify seasonal, sporting, culinary, social, and special events within Bella Villagio, adding vitality to the Main Street, The Plaza and Boulevard Park.

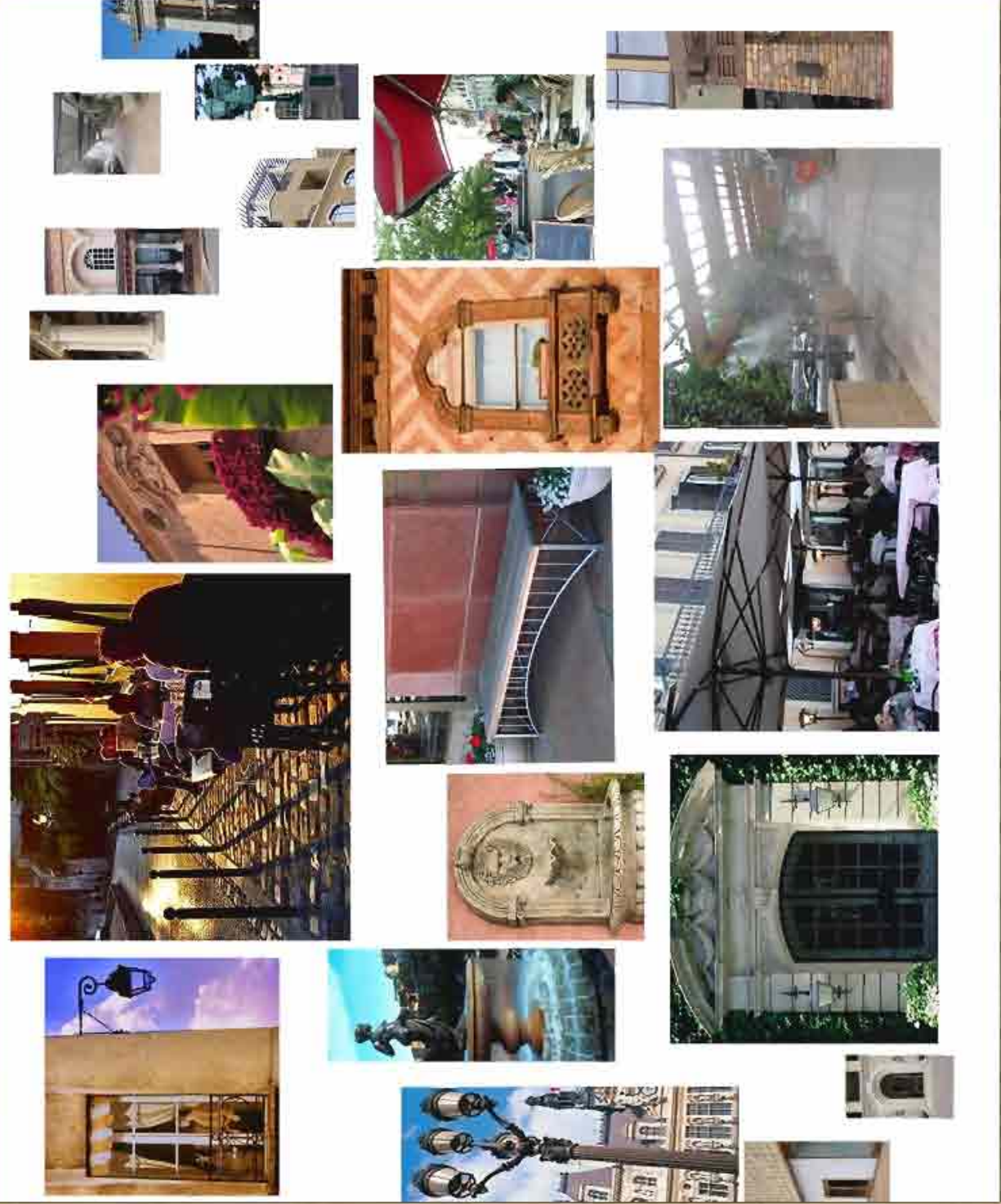




# BELLA VILLAGGIO

SPAZI DI VITA

## Planned Area Development Architectural Detail



Scale: Not to Scale

Figure #

28

**LVA**

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**d. Lighting Principles**

- Lighting fixtures should be arranged and fully shielded to contain the spread of light on the desired area.
- Indirect light sources shall be utilized for the illumination of architectural and landscape features. Architectural lighting that articulates buildings and provides functional lighting to illuminate pedestrian areas should be provided.
- Service areas should be illuminated with pole or wall mounted fixtures that project light downward. Flood lights and wall-pack units are prohibited.
- At-grade, structured parking and pedestrian areas shall maintain a desired illumination standard to provide ambience and safety for its users.
- Exposed neon or gaseous light tubing and linear accent lighting may be allowed in selected settings.

**e. Landscape/Urban Design Principles**

The Plaza should be a small semi-public space intended for outdoor craft shows, art shows, and small musical performances. The vision for The Plaza is shown on **Figure 29, Development Character-The Plaza**.

Boulevard Park should be a large semi-public plaza designed for larger public gatherings including concerts, arts and craft fairs, culinary events, active recreation and dog walks. The vision for Boulevard Park is shown on **Figure 30, Development Character-Boulevard Park**.

- Street trees (identified from the City's Approved List of drought tolerant species) shall be planted on both sides of Main Street to create shade, color, a pedestrian scale, and an inviting shopping/dining experience in Bella Villagio. Consistency in tree species, tree size, and spacing should be used to establish a cohesive street identity.
- Trees with open branching structures should be used. Trees that minimize seasonal litter (i.e. leaves, flowers, etc.) are recommended.
- Trees, shrubs and groundcover that exhibit annual or seasonal color, and smell are recommended to highlight special locations; e.g. flanking main project entries, pedestrian ways, and social interaction zones.
- Decorative vines should be considered for use (with trellises or attachments) on screen walls, building faces, tree trunks (i.e. palms), and trained on ornamental trellises or arches that enhance building entries and/or screen outdoor social areas.
- Other social zones should be specifically designed throughout the project that will include seating and tables for outdoor

dining/socializing, reading and people watching. These zones are pleasant, inviting and exhibit a human scale that fosters 18-hour use.

- Site furnishings, shade devices, water features and paving should be carefully designed in a cohesive manner to respond to the Sonoran Desert environment.
- Carefully integrate low fencing, gates and/or to create entries into different spaces within the Plaza, Boulevard Park and other areas.
- Acceptable paving materials include natural stone, terra cotta, clay fired units, and poured-in-place concrete with special treatment.
- A pavement selection will be made to comprise the ground plane of The Plaza, Main Street, Boulevard Park and perimeter sidewalks with one or more unifying elements. The use of poured-in-place concrete is also acceptable and could include any of the following treatments: integral pigment color, special aggregate, special scoring pattern, ornamental insets such as tile, and pattern-stamped.
- Permanent outdoor seating may be located within the Plaza, along the Main Street and within Boulevard Park at strategic locations.
- When possible, permanent seating should be incorporated in a style that is complementary with the design of each building base.
- Portable outdoor seating such as movable chairs, tables for cafes and other furniture should be constructed of metal, wood or synthetic wood. Plastic furnishings should not be permitted.
- Street clocks, directory kiosks, and permanent/portable showcase displays are encouraged at strategic locations as stand-alone furnishings or may be attached to buildings that face the Plaza, Boulevard Park and along the Main Street.
- Focal elements and or sight termini (i.e. fountain, landscape specimen, and public art) are recommended in The Plaza, Boulevard Park, and other minor seating and pedestrian passage spaces to provide noise attenuation/ambiance. The design and materials should either relate to the architecture of the principal building or comprise a consistent design theme throughout Bella Villagio





# BELLA VILLAGGIO

SPAZI DI VITA

## Planned Area Development Development Character North Plaza



Scenes and improvement are proposed artist's renderings only and may not be built.



Figure #  
29

**CVA**

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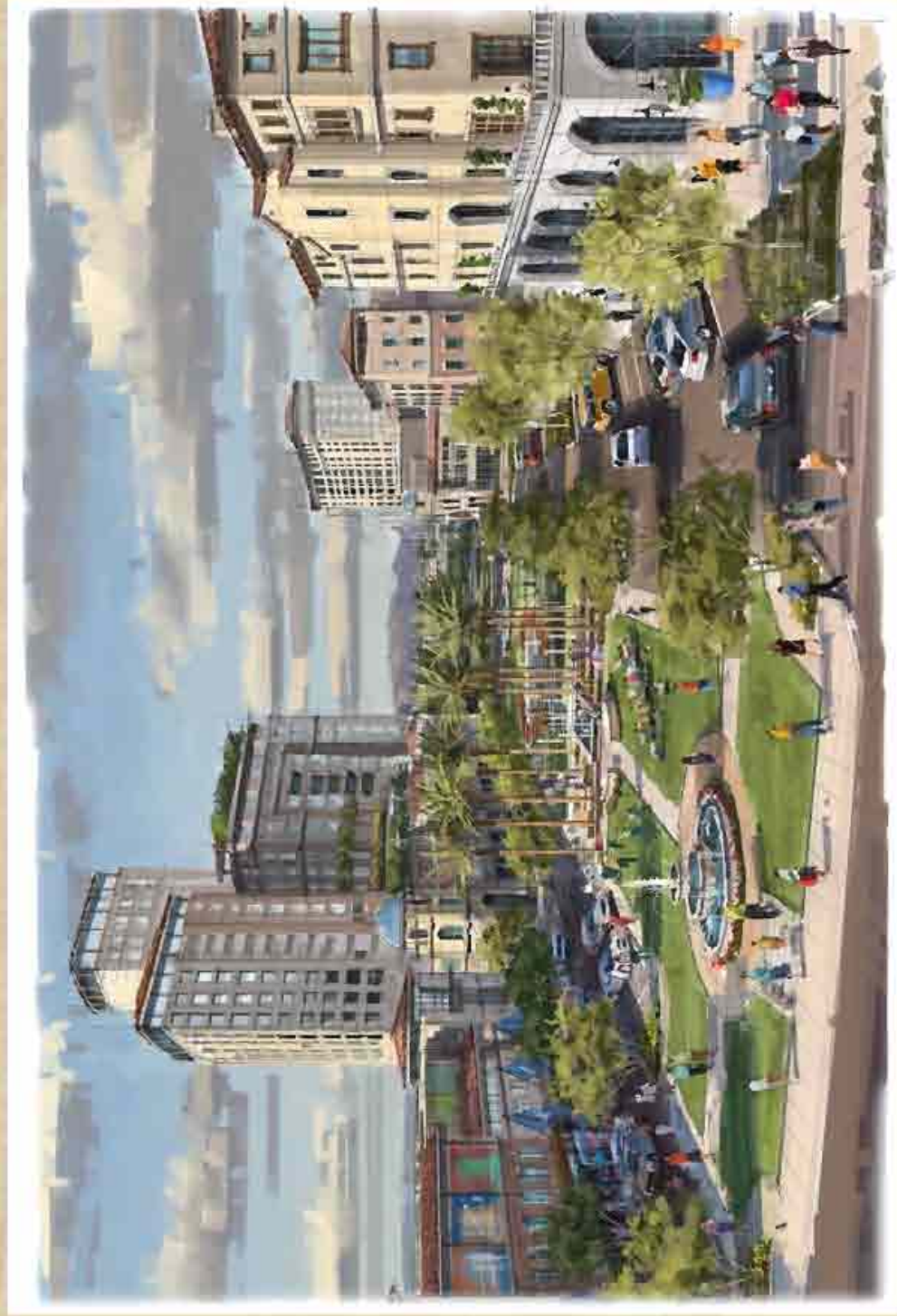




# BELLA VILLAGGIO

SPAZI DI VITA

## Planned Area Development Development Character Boulevard Park



Scenes and improvements are proposed artist's renderings only and may not be built.

**f. Open Space Principles**

- Public and semi-public open spaces should be defined by buildings or landscape elements on a minimum of two sides.
- Public and semi-public spaces should be publicly accessible during daylight hours and linked to adjacent streets and sidewalks.
- Gateways, trellises, special lighting, planting, etc., should be used to create a sequence for pedestrians; for example, an ornamental gate at the sidewalk, a passage lined with columns, and arrival at a courtyard.

**g. Circulation Principles**

- A transit stop may be located along the northern perimeter of the property if rubber tire trolley or other form of transit is provided on Bethany Home Road.
- A transit stop may be located along the western perimeter of the property when Valley Metro provides bus service on 99<sup>th</sup> Avenue.
- The inclusion of bike racks should be located proximate to the primary entry of each building in a visible, yet partially screened location.

**h. Screening/Partition Principles**

- All mechanical units located on top of buildings shall be screened from public view using roof forms.
- Where roof decks and/or mechanical units are visible from adjacent buildings within Bella Villagio, they should be painted to match the finish roof material.
- The service area for each building should be visually screened with walls and fences and softened with landscaping.
- Dumpster and/or roll off units for solid waste are to be screened with concrete masonry units or satisfactory alternative material, landscaped and gated (painted same color as masonry wall).
- In social zones (i.e. outdoor cafes, bistros, etc) ornamental or wrought iron may be used to create a low fence, protecting a seating zone from pedestrian traffic. The fencing may be painted black or the same color as the building where it is attached.

**i. Design Guidelines Preparation, Review and Administration**

While the principles presented above provide a general overview of the design intent for Bella Villagio, this section only provides a framework to illustrate and define common design objectives for a unified, harmonious mixed use project. These general guidelines set the intended development tone for a highly urbanized village that

could ultimately include multiple property owners, and potentially numerous design teams, builders, and tenants.

It should be noted that compliance with these, and the forthcoming specific guidelines, does not ensure or imply acceptance or approval by the City of Glendale. Local standards shall prevail regarding issues not specifically addressed in these or the specific guidelines that will be prepared upon approval of the Bella Villagio PAD.

The preparation of detailed development guidelines will be authorized by the covenants, conditions, and restrictions (CC & R's). Preparation and approval of the design guidelines will be undertaken and completed by the Master Developer prior to the first request for site plan review and granting of building permits by the City of Glendale. In this manner, a specific design parameter can be established and readily communicated from the first to the last design and development project undertaken within Bella Villagio.

**j. Design Guidelines Amendment Process**

Once prepared and adopted, the design guidelines may benefit from amendments to resolve an unforeseen, new or evolving issue in a high quality manner. Amendments to the specific design guidelines may be brought forth by any party requesting the amendment. The burden to demonstrate why an amendment should be approved rests entirely upon the applicant. A formal application must be submitted to the Bella Villagio Design Review Committee including the following information:

- Completion of the application form (general/contact information)
- Specific guideline(s) proposed for amendment or augmenting the existing document
- Why the DRC should consider the amendment
- Why the proposed amendment will benefit the specific project as well as the future design and development within Bella Villagio
- Proposed text and/or sketch change to the existing document

Upon receipt of the application and all supporting information, the DRC will determine if the submittal is complete. When so determined, the item will be placed on the next DRC agenda. The applicant is highly encouraged to attend the meeting to provide information and answer questions. The DRC will consider the amendment and vote after all pertinent testimony/documentation has been presented. A

simple majority shall be used to render a decision and all decisions are final. No appeals will be granted.





## *Development Standards*

### **1. Introduction**

The Development Standards chapter of the Bella Villagio PAD includes regulatory provisions designed to promote the land use and development vision for the project site while ensuring the protection of the public health, safety and welfare. It is organized in the following seven sections:

Purpose and Intent  
Land Use  
Development Standards  
Definitions  
Implementation  
PAD Appeals and Variance Procedures  
Planned Area Development Amendment Procedures

### **2. Purpose and Intent**

It is the purpose of these provisions to promote the development of an urban, intense, multi-use, multilevel, highly active destination offering a balance of housing, office, retail, restaurant, hotel and entertainment uses. Further, the design is intended as a compact environment integrating high-density residential lofts/condominiums, shopping, employment and amenities. This section is intended to provide the regulatory zoning provisions designed to guide the implementation for the community "vision" through the plan review and development permit processes. The provisions provided below shall apply to all property (see Appendix A, Legal Description) intended for development under the Bella Villagio PAD. The zoning and development provisions provided below are intended to supersede the provisions provided by the City of Glendale Zoning Ordinance (as adopted and periodically amended). In the event of conflict between a development standard, a defined development procedure or a defined term between the City of Glendale Zoning Ordinance and the Bella Villagio PAD, the Bella Villagio PAD shall prevail.

The Bella Villagio PAD is the synthesis of numerous concepts, procedures, goals and regulations affecting all aspects of development within the project site. As such, it is this document, which will legally guide, control and regulate development of this very important project within the City of Glendale. Bella Villagio represents an opportunity to create a truly unique urban living environment clustered around the stability and sustainability of mixed land use. Bella Villagio will strive to set a standard of development sensitivity and quality that will serve as a model for the surrounding community for many years to come.

### 3. Land Use

The following list of uses is intended to define authorized principle uses within Bella Villagio. This list is descriptive in nature and does not necessarily represent the full extent of permitted uses. The Master Developer, or any property owner within the defined limits of Bella Villagio may request an interpretation of analogous use to the defined list below from the City Glendale Planning Director. The Planning Director may administratively approve a use analogous to those listed below.

#### a. Permitted Land Use Table

The following land use table identifies specific uses and their ability to locate in Bella Villagio. The use is either permitted by right, requires a Use Permit subject to Performance Standards, or subject to the granting of a conditional use permit in accordance with Section 3.900 of the City of Glendale Zoning Ordinance.

**Table 3: Permitted Land Use**

<i>Land Use</i>	<i>Permitted Principle Use</i>	<i>Use Subject to Performance Standards*</i>	<i>Use Subject to Conditional Use Permit</i>
<i>Agriculture</i> <i>This use will be phased out over time</i>	■		
<i>Antiques, Crafts and Collectibles Sales</i>	■		
<i>Apparel Sales</i>	■		
<i>Art Gallery</i>	■		
<i>Automobile Detailing</i>	■		
<i>Automobile Repair</i>			■
<i>Automatic Teller Machine</i>	■		
<i>Bar/Nightclub</i>	■		
<i>Book, Stationary and Greeting Cards</i>	■		
<i>Candy and Ice Cream Store</i>	■		
<i>Church, Synagogue or Temple</i>			■
<i>Civic</i>	■		
<i>Clothing Alteration</i>	■		
<i>Commercial Parking Lots or Garages</i>	■		
<i>Congregate Care Facility</i>			■
<i>Convenience Store</i>	■		
<i>Copy Center</i>	■		
<i>Cultural Institutions</i>	■		

<i>Dancing, Theatrical or Music Studio</i>	■		
<i>Daycare</i>	■		
<i>Delicatessen and Catering Establishment</i>	■		
<i>Dry Cleaning and Laundry</i>	■		
<i>Emergency Medical Care Facility (24 hour)</i>			■
<i>Farmers Market</i>	■		
<i>Financial Institutions</i>	■		
<i>Food and Beverage Vendor Cart</i>	■		
<i>Galleries and Studios</i>	■		
<i>Gift, Novelty and Souvenir Shop</i>	■		
<i>Grocery</i>	■		
<i>Health / Fitness</i>	■		
<i>Heliport</i>			■
<i>Hobby, Stamp and Coin Shop</i>	■		
<i>Home Occupation (Class 1) per Glendale Ordinance Section 7.304 – see Appendix J</i>	■		
<i>Home Furnishings</i>	■		
<i>Hotel</i>	■		
<i>Laboratory</i>	■		
<i>Live Entertainment, Indoor (excludes adult entertainment)</i>	■		
<i>Live Entertainment, Outdoor (excludes adult entertainment)</i>		■	
<i>Live-Work Units</i>	■		
<i>Locksmith</i>	■		
<i>Lodges or Fraternal Associations</i>			■
<i>Loft</i>	■		
<i>Medical / Dental Clinic</i>	■		
<i>Message Establishment</i>	■		
<i>Messenger Delivery Service</i>	■		
<i>Multifamily Residential</i>	■		
<i>Newsstand</i>	■		
<i>Nursing Homes</i>			■
<i>Office</i>	■		
<i>Personal Services</i>	■		
<i>Pet Store</i>	■		
<i>Pharmacy</i>	■		
<i>Photographic Studio, Developing and Printing</i>	■		

<b>Private Schools</b>			■
<b>Radio, Telephone and Television Sales and Service</b>	■		
<b>Recording Studio</b>	■		
<b>Recreation and Social Clubs</b>	■		
<b>Residential Condominium</b>	■		
<b>Restaurant</b>	■		
<b>Retail / General Merchandise</b>	■		
<b>Satellite Earth Station (Per Glendale Ordinance Section 7.301 – Accessory Buildings)</b>		■	
<b>Schools (Prof., Tech., Higher Ed)</b>	■		
<b>Shoe Sales &amp; Alteration Service</b>	■		
<b>Sightseeing Tour Companies</b>	■		
<b>Small Animal Grooming</b>	■		
<b>Special Events</b>		■	
<b>Tanning Salon, Nail Salon, Barber / Beauty Parlor and Similar Uses</b>	■		
<b>Ticket and Travel Agency</b>	■		
<b>Timeshare</b>	■		
<b>Veterinary Clinic (completely enclosed)</b>	■		
<b>Video Rental Store</b>	■		
<b>Watch and Clock Repair</b>	■		
<b>Water and Ice Store</b>	■		
<b>Wireless Communication Facilities</b>	■		

\*Uses subject to Performance Standards are defined within section 4.f.

**b. Accessory Uses & Structures**

Uses that are customary and incidental to the principal use of the property permitted within Bella Villagio include the following:

1. Archways
2. Bell and /or Clock Towers
3. Canopy structures within a public access way are allowed over public areas used for gathering of people, and entrances to individually occupied tenant spaces.
4. Gates
5. Home Occupations
6. Outdoor Dining (not permitted within 50' of a perimeter property line)

7. Outdoor Sales, Retail
8. Parking Structures and Parking Lots
9. Public Art
10. Satellite Dish
11. Swimming Pool
12. Water Features
13. Valet Parking Service



#### **4. Development Standards**

The provision of Development Standards protect the future property owners within Bella Villagio, the adjacent property owners and existing uses. They also preserve the public health, safety and welfare. The standards identified herein have been established for yard, height, bulk and area. They also promote an appropriate transition and compatibility among retail, restaurant, office, lodging uses and adjacent residential uses. In recognition of the goals of the City of Glendale General Plan and the Bella Villagio PAD, these standards promote urban intensity and promote a mix of uses.

##### **a. Development Form - Form Based Provisions**

Bella Villagio is envisioned as an urban, mixed land use, development intense District. The Planned Area Development Plan purpose and intent is to strive for the development of a vibrant Glendale and Metro Phoenix destination that promotes special events, mixed use activity and diverse dining. To that end, the following form based development provisions are defined as necessary to guide the developed form while enabling unique development standards.

##### **1. Building Setbacks**

The following setback standards shall apply to Bella Villagio:

Note: The division of the Bella Villagio property may occur over time as warranted by real estate transactions as well as investment / financial lending practices. For the purpose of applicability of the following development standards, Bella Villagio is to be considered as one development site regardless of any future subdivision or lot split activity that may occur from time to time. The Planned Area Development Land Use Plan anticipates the granting of a private access way for the creation, function and management of Bella Villagio "Main Street" and all connections to public streets (Bethany Home Road and 99<sup>th</sup> Avenue). The granting of the private access way to the Bella Villagio Property Owners Association will define development blocks which may be sold in fee simple or managed as long term ground leases. In either case, the granting of the private access way will create defined space and a dichotomy between private property and the semi-public realm of the private access way. Furthermore, any future subdivision or lot split will not affect the availability of required parking and other facilities.

A minimum building setback of thirty (30) feet shall be provided for any building constructed adjacent to 99<sup>th</sup> Avenue, Loop 101, Bethany Home Road or the south property line (the Missouri Avenue alignment) regardless of any definition of yard in accordance with typical yard definition practices.

All buildings constructed adjacent to a dedicated private access way (Bella Villagio Main Street and Main Street tributaries to public street) shall maintain a minimum distance of fifteen (15) feet from any established easement (private access way) or from any defined back of curb line established for vehicular circulation and at-grade parking stalls.

All other building setbacks from established property lines must comply with 2006 IRC, IBC, IMC, UPC, 2005 NEC and 2003 IFC, as well as, most recently adopted codes of the City of Glendale as amended and applicable at the time of request for building permit. The establishment of setbacks (separation between buildings) within Bella Villagio is discouraged.

2. Visibility Triangle

In order to maintain visibility at intersections and provide architectural interest for buildings at corner locations, buildings shall meet City of Glendale standards outlined under G-448 by providing a fifteen (15) foot minimum corner cutoff and shall have an entrance to the building from this area. The minimum cutoff area shall be a triangular area that is determined by measuring fifteen (15) feet back from the corner along any property line created by the intersection of two private access ways and connecting a line between the two points.

3. Build To

All buildings constructed adjacent to a dedicated private access way (Bella Villagio Main Street) shall establish a building façade within a maximum distance of thirty (30) feet from any established easement (private access way) or from any defined back of curb line established for vehicular circulation and surface parking stalls for a minimum seventy-five (75) percent of the building façade oriented to Main Street.

4. Lot Coverage

The Bella Villagio PAD shall not exceed 70% lot coverage for the entire Bella Village PAD area. This coverage will be monitored throughout the phased development review process for this PAD to ensure that at build out, this standard is not exceeded. Any one phase or defined property (created by fee or ground lease) may exceed this standard as long as the Master Developer can demonstrate to the City of Glendale that the maximum coverage will not be exceeded at build out.

5. Lot Area

The Bella Villagio PAD hereby specifically defines that there shall be no minimum lot area for property divided by subdivision plat or by

lot split within the area defined by the Bella Villagio PAD legal description (see Appendix A, Legal Description).

6. Open Space

The Bella Villagio PAD shall maintain the following open space standards with the intent of developing active hardscape (plazas, sidewalks, paths, courtyards, roof decks, etc.) and active softscape (open turf areas, specimen planting – visual accent/focal areas) areas.

**Table 4: Open Space Standards**

Land Use	Private Space	Active Hardscape	Active Softscape
Residential	Minimum of 60 sq. ft. / unit, with an average of 100 sq. ft. / unit	20 sq. ft. / unit	50 sq. ft. / unit
Office		20 sq. ft. / 1000 sq. ft. (FA)	0 sq. ft. / 1000 sq. ft. (FA)
Retail/ Restaurant		100 sq. ft. / 1000 sq. ft. (FA)	0 sq. ft. / 1000 sq. ft. (FA)
Hotel		20 sq. ft. / Room	0 sq. ft. / 1000 sq. ft. (FA)

(FA) – Gross Floor Area

Note: See definitions of Hardscape, Active and Softscape, Active

The Master Developer shall propose the implementation of these open space standards on a phase by phase basis as necessary to satisfy the minimum standard (as determined by the City of Glendale Planning Director) at buildout of the Bella Villagio Planned Area Development. Each individual phase need not meet the minimum standard as long as the Master Developer can demonstrate to the City of Glendale that the minimum open space standards will be met in accordance with the Open Space Master Plan at Plan buildout. For residential development, private open space requirements shall be reviewed and determined during the City of Glendale Design Review Process.

**b. Building Height**

The Bella Villagio Land Use Master Plan depicts the conceptual building massing, circulation network and open space configuration for the Bella Villagio Planned Area Development. This conceptual plan

may change over time during the implementation life of this PAD in accordance with the Amendment criterion and processes defined within Section 4 of the Development Standards Chapter of this Plan.

To accommodate the design flexibility necessary to effectively implement an urban mixed use development plan while providing the development predictability desired by the general public, the Bella Villagio PAD will be enabled and regulated by building heights defined by Figure 31, Building Height Standards. This exhibit reflects the regulatory intent for building height on a block by block basis within the Bella Villagio PAD project area. The following Table summarizes the enabled/regulated building height by block.

**Table 5: Building Height Standards**

Block	Regulated Max. Height (Feet)
One	112'
Two	332'*
Three	126'
Four	126'
Five	126'
Six	332'*
Seven	112'
Eight	272'*
Nine	332'*
Ten	112'
Eleven	84'
Twelve	84'
Thirteen	84'

\*Prior to issuance of building permits, the Master Developer / Applicant will be required to notify the FAA and obtain a clearance letter. A negative determination by the FAA may reduce the maximum building height permitted within Bella Villagio.

Notes:

1) See the definition for Building Height within Sub-Section 5 of these Development Standards for the intended applicability of the height provisions.

Building Height Exceptions:

1. Height limitation shall not apply to spires, belfries, cupolas, domes not for human occupancy, penthouses, equipment houses, chimneys, ventilation equipment, skylights, communications towers, and similar features and necessary equipment appurtenances usually carried out above the roof line.
2. Height limitation shall not restrict the placement of parapet walls, cornices or decorative façade treatments above the building height limit. Such features may extend up to twenty (20) feet above the defined building height limit for each block.

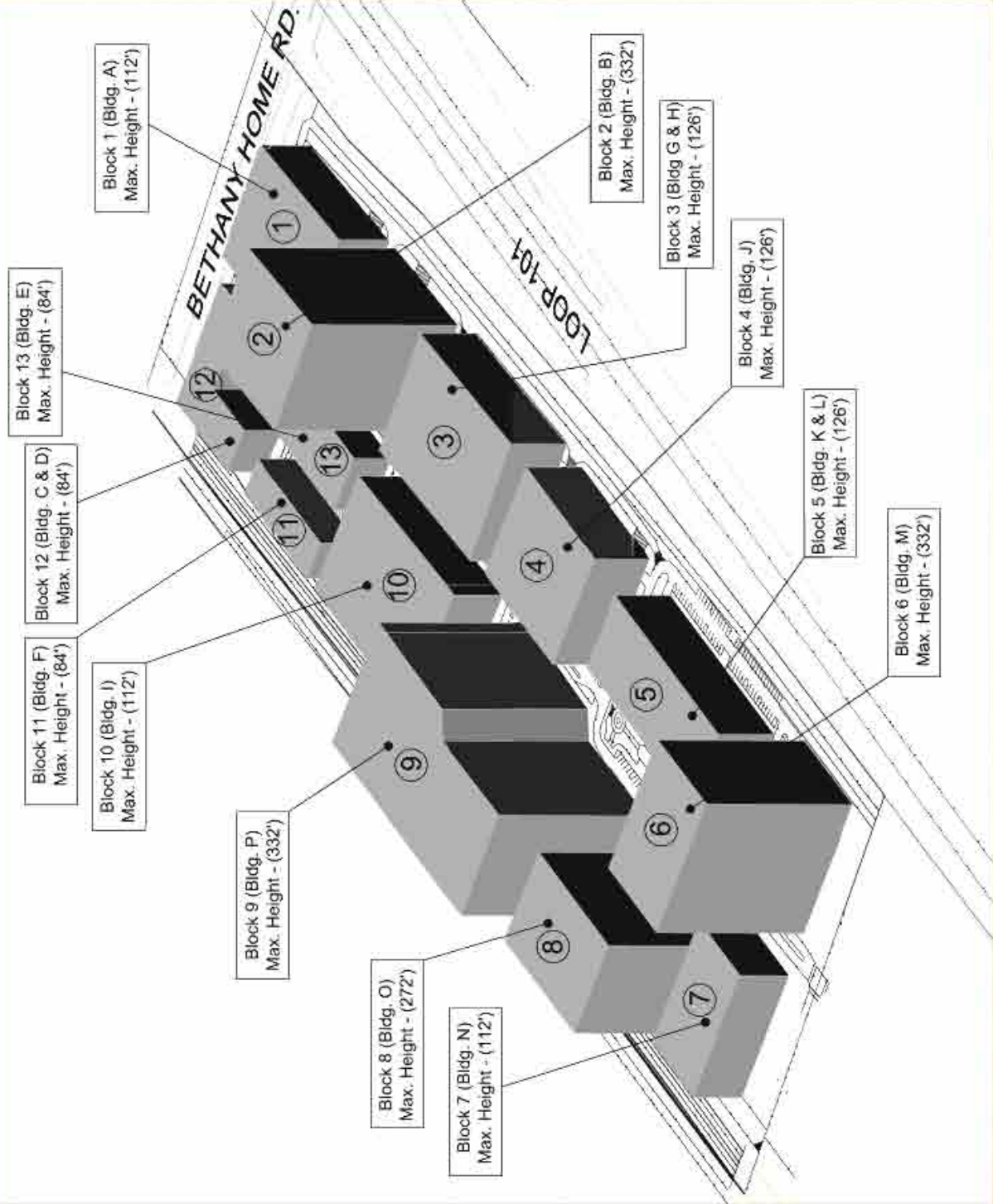




BELLA VILLAGIO

SPAZI DI VITA

## Planned Area Development Building Height Standards



Plan Key Map



Scale: Not To Scale



Figure #

31

DEDG

LVA

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Date: 2/28/08 Project Number: 0745

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**c. Landscape Form & Standards**

The Landscape Standards section defines the area and improvements to be designed and constructed in Bella Villagio. This section is presented in the following six subsections:

Designated Landscape Areas  
On-Site Landscape Areas  
Arterial Street Right-of-Way Landscaping  
Parking Island Landscaping  
Landscape Improvement Standards  
Landscape Design Standards and Requirements

**1. Designated Landscape Areas**

All areas that are *not* designated for a building, driveway, storage, parking, loading/unloading or vehicle/truck maneuvering shall be considered an on or off-site landscape area. All on and arterial landscaping shall be treated with the appropriate softscape and hardscape landscape treatment as described below.

The on- or off-site landscape area shall not be used for parking, except for required on-site retention areas or when such use is shown on the approved final landscape plan. Exclusions to this requirement would include festivals or outdoor events that require temporary event tents, vendor booths or staging areas. These uses would be at the discretion of the Master Developer.

**2. On-Site Landscape Areas**

All developed portions of Bella Villagio shall provide on-site landscaping within the following standards:

- Landscape areas shall be calculated as a percentage of the developed areas of the site. Landscape areas shall comprise a minimum ten (10) percent of the net site area within the total site boundary.
- A landscaped area shall not measure less than a minimum width of fifteen (15) feet for the entire width of a particular street. Frontage shall be established and maintained along all public and/or private street frontages. These include areas between any building, on-site parking area or outdoor storage area and the nearest point of the existing or future required public and/or private street/sidewalk improvements (as measured from either: a) the back of an existing sidewalk, b) the line equal to the back of a future required sidewalk, or c) the back of the street curb where a sidewalk is not required). However, for reverse street frontage, the landscape widths shall

be in accordance with the City-approved Bella Villagio street cross-section designs. The area of this landscape strip may be used to satisfy, to the extent provided, the on-site landscaped area and street right-of-way landscaping area requirements set forth in this section.

- All portions of a development site in Bella Villagio not occupied by buildings, driveways, storage, vehicle/truck maneuvering, loading/unloading, shall be landscaped. Future building pads/parcels in Bella Villagio shall be maintained weed-free in such a manner as may be approved by the Master Developer.

3. Arterial Street Right-of-Way Landscaping

The landscaping of all street rights-of-way within 99<sup>th</sup> Avenue and Bethany Home Road (not identified for street pavement, curbs, gutters, sidewalks, or driveways) shall be required to be landscaped in addition to the on-site landscaped areas identified in Section I.

4. Parking Island Landscaping

If, and where utilized, private at-grade parking areas shall contain at least one (1) landscaped island (protected by raised curbing), at a placement frequency of one (1) island per ten (10) parking spaces. Each island shall measure not less than two hundred (200) square feet in area and exhibit a minimum width of six (6) feet measured from back of curb to back of curb. Each landscape island shall contain one (1) tree. All shrubs and groundcover located within each landscaped island shall be maintained to a maximum height of three (3) feet. Each tree within each landscape island shall maintain a minimum clearance of six (6) feet from its lowest branch to the island finished grade elevation. The total area within each landscaped island will be used to satisfy, to the extent provided, the on-site landscape area requirements set forth in Section A.

5. Landscape Improvement Standards

a. Arterial Street Frontage Landscaping

- The installation of street trees, shrubs, and vegetative groundcover shall be required for all applicable in an amount equal to, or greater than one (1) tree and three (3) shrubs for each twenty (20) lineal feet of arterial street frontage, with vegetative shrubs and/or groundcover occupying a minimum of sixty (60) percent of the total arterial street frontage landscaped area within three years of planting. This minimum quantity of trees, shrubs, and

vegetative groundcover shall be located in the arterial street right-of-way landscaped area as required in Section I. B, or within the front twenty-five (25) feet of the on-site landscaped areas required in Section I.a. and shall be designed and located to enhance the proposed development project and the streetscape.

- All street frontage landscaping located adjacent to driveway exits and street intersections shall be designed, installed, and maintained in accordance with the height, location, and sight visibility requirements as set forth by the City of Glendale.

b. Service Road Frontage Landscaping

- The installation of street trees, shrubs, and vegetative groundcover shall be required for all applicable phases in an amount equal to, or greater than one (1) tree and three (3) shrubs for each fifty (50) lineal feet of service road (adjacent to Loop 101) frontage, with vegetative shrubs and/or groundcover occupying a minimum of forty (40) percent of the total freeway street frontage landscaped area within three years of planting. This minimum quantity of trees, shrubs, and vegetative groundcover shall be located in the service road right-of-way and shall be designed and located to enhance the proposed development project and the streetscape.
- All service road frontage landscaping located adjacent to driveway exits and street intersections shall be designed, installed, and maintained in accordance with the height, location, and sight visibility requirements of the City of Glendale Code.

c. Water Intensive Landscaping

The amount of water-intensive (plant materials not listed on the City's approved list landscaped area shall be limited to no more than twenty-five percent (25%) of the total required landscaped area. This standard is waived if the proposed development applies one hundred percent (100%) of its landscape water demand from on-site generated effluent *and/or* reclaimed graywater sources. If a combination of sources is used, only those areas irrigated by potable water sources shall be calculated toward the 20% limitation.

d. Cumulative Vegetation Coverage totals

The overall quantities of plants required by each of the items in Sections I & II herein shall be added together to calculate the minimum total quantity of plant materials required for Bella Villagio.

6. Design Standards and Requirements

a. Minimum sizes for trees, shrubs and groundcover:

Unless otherwise specified, all required trees shall be a minimum of twenty four (24") inch box in size, with a minimum of twenty-five (25) percent of the total number required thirty-six (36) inch box or larger in size. All twenty four inch box trees must be a minimum of eight (8) feet in height, four (4) feet in spread and measure a minimum of one and one-quarter inches in trunk caliper at the ground level. All thirty-six inch box and larger trees shall be a minimum of ten (10) feet in height, six (6) feet in spread and measure a minimum of two and one-half inches in trunk caliper (measured per standard ANA methods for multi and single trunk trees). All shrubs shall be a minimum of five (5) gallon in size. All groundcover shall be a minimum of one (1) gallon in size.

b. Minimum sizes for trees in parking islands:

All trees planted within parking islands shall be a minimum of thirty six (36) inch box in size. All thirty six (36) inch box trees must be a minimum of fourteen (14) feet in height, eight (8') feet in spread and measure three and one half (3 ½") inches in trunk caliper (measured per standard Arizona Nurseryman's Association (ANA) methods for multi and single trunk trees).

c. Natural topping in landscape areas:

All landscape areas planted in trees, shrubs and groundcover shall receive an appropriate topping material to provide dust control, water conservation and appearance enhancement. These topping materials shall include, but not be limited to, decomposed granite (min. ½" minus size – 2" min depth), fractured granite rip rap, river run rock or turf. A pre-emergent herbicide shall be applied to the ground prior to the placement of natural surface materials (decomposed granite, river run rock, etc.) in any landscaped area to prevent weed growth. The decomposed granite color (or other natural surface top dressings described herein) shall be selected by the Master Developer at the time of improvement plan preparation for the first phase of Bella Villagio. All subsequent phases shall match the initial selected color for design continuity.



- d. Arterial Street Frontage Landscaped Areas:  
Landscaped areas along the two arterial street frontages shall be contoured or bermed to provide variations in grade, visual relief, parking lot screening, and a pleasing curb appeal. All at-grade surface parking areas shall be screened from the arterial street view by a landscaped berm (4:1 max slope) or decorative screen wall not less than three (3) feet in height, or a combination thereof. The required height of the berm or wall shall be measured from the highest finished grade of the adjacent on-site parking area. Retention basin contouring (4:1 max slope), in conjunction with retaining walls, may also satisfy this requirement. Retaining walls in these areas shall not exceed a total height of thirty (30) inches. Site screen walls adjacent to retaining walls shall be set back a minimum of four (4) feet to allow for the placement of vegetation between the walls.
- e. Irrigation standards:  
All landscaped areas shall be served by an automatic irrigation system which may be a drip, spray or bubbler type system depending on the vegetation to be served. A pressure-type vacuum breaker shall be required with the installation of all irrigation systems. All irrigation systems and landscaped areas shall be designed, constructed, and maintained to promote water conservation and prevent water overflow, sheet flow or seepage into the street, sidewalk, or parking areas. The system shall be zoned for specific water use requirements, with all tree, shrub and turf zones being controlled separately. It will also be monitored and adjusted seasonally for optimum performance.
- f. Protect Sight Visibility on Public Rights-of-Way:  
All landscape and hardscape materials installed within the public right-of-way, or on private property in proximity to a driveway or street intersection, shall be installed and maintained in compliance with the sight visibility requirements set forth by the City of Glendale.
- g. Protect Landscaped Areas from Vehicle Damage:  
Permanent containment barriers (concrete curbs or bumper guards) shall be installed and properly secured within or adjacent to all proposed at-grade parking areas and along all driveways and vehicular access ways to protect landscape materials.
- h. Screen Walls:  
All outdoor storage areas for materials, refuse containers, mechanical equipment, or vehicles, and all loading/unloading areas or service bays shall be shielded from street view by a

screen wall. The wall shall be constructed to a minimum height of six (6) feet and designed in accordance with the City of Glendale. All screen walls shall be designed and constructed with brick, slump block, or masonry with a stucco finish of a suitable color. Pilasters, three-wall enclosures, varying wall heights, strategic plant material location, and varying the elevation of the ground plain will improve the visual impact of the wall.

**d. Vehicle Access, Parking & Loading Standards**

Parking shall comply with the following criteria:

**1. Access**

Buildings erected in Bella Villagio will have direct or indirect access to a dedicated public street or a private access way which is owned and maintained by the Bella Villagio Property Owners Association. However, provisions for access to all buildings by emergency and service vehicles in lieu of public street access shall be made possible by the layout and design of driveways, interior service roads, or pedestrian and bicycle circulation corridors not normally open to vehicular traffic to the reasonable satisfaction of the City of Glendale Fire Department, and the Glendale Street Transportation Department.

**2. Spaces**

Parking Stalls - Each space shall be an unobstructed rectangle or parallelogram in accordance with the following dimensional standards. The Planning Director shall have the ability to administratively adjust the stall size based on findings of a trend for reduced vehicle size:

Perpendicular Parking: not less than 10 feet wide by not less than 18-½ feet long, with vehicle overhang.

Angled Parking: not less than 9 feet wide by not less than 19 feet long.

Parallel Parking: not less than 9 feet wide by not less than 23 feet long.

Accessible Spaces: Shall be 11 feet wide; 18 feet deep with an additional 5 foot access aisle on the right side of the accessible space for ingress/egress from the vehicle. Such spaces will be designated with signs displaying the international symbol for accessible parking.

Parking Aisles – Parking stalls shall be served by the following aisle widths:

Perpendicular Parking: One way aisle – 24 feet; Two way aisle – 26 feet.

Angular Parking: One way aisle – 18 feet; Two way aisle – 22 feet

Vehicle Overhang - Where a required off-street parking space is designed to abut a landscaped area that is at least five feet wide or a sidewalk or pedestrian pathway that is a minimum of 6 feet wide, the length of any such parking spaces, except for parallel spaces, may be reduced by 2 ½ feet for spaces that are perpendicular or angular to such landscaped area or sidewalk.

Marking - All parking spaces and directional arrows and instructions shall be clearly designated in a manner satisfactory to the City Engineer.

Screening - Surface parking shall be screened from view from the public street with an attractive low wall, fence, or line of piers between thirty-six (36) and forty-eight (48) inches in height; including accent landscaping.

The Planning Director may administratively modify the parking dimensions identified above upon finding the predominant vehicle size is evolving towards small, more compact vehicles.

### **3. Calculation**

The total number of off-street parking spaces shall be calculated as follows:

- No off-street parking spaces are required for floor area comprised by garages, parking structures or other buildings devoted exclusively to provisions of required parking spaces.
- No off-street parking spaces are required for floor area exclusively used and maintained for elevators, stairways, restrooms, electrical or mechanical equipment rooms, and employee only kitchens, lunchrooms, exercise, or locker rooms.
- With respect to any restaurant use, gross floor area does not include outdoor dining areas.
- Tandem and stacked parking may count toward the total number of off-street parking spaces.

### **4. Provisions of Required Spaces**

The total number of off-street parking spaces shall be provided as follows:

- The sum of all individual uses, calculated floor area multiplied by the standards provided within Table 5 below. However, the collective total number of off-street parking spaces required may be reduced if the spaces can be shared among the various uses in accordance with the following provision.

- A parking reduction may be proposed by the Master Developer and approved by the Glendale Planning Director, once the Master Developer may demonstrate a mix of land uses which are commonly considered in shared parking studies consistent with studies and publications prepared by the Urban Land Institute. Additional Share Parking provisions are provided in Section 8 below. A base parking reduction of 10% to be granted to the Master Developer of Bella Villagio once the project meets the definition of a mixed use project.
- Up to 100% of the required off-street parking spaces may be provided off-site, but within 1250 ft. of the use.

## 5. Minimum Number of Parking Spaces Required

**Table 6: Parking Ratios**

<b>Land Use</b>	<b>Number of Required Parking Spaces</b>
Residential Dwelling	Studio & One Bedroom – 1.0 spaces exclusive Studio & One Bedroom - .25 spaces non-exclusive Two & Three Bedroom - 1.5 spaces exclusive Two & Three Bedroom - .5 spaces non-exclusive Four & More Bedroom – 2.0 spaces exclusive Four & More Bedroom - .5 spaces non-exclusive Lock Off Units - .25 spaces non-exclusive
Senior Housing	Studio - Three Bedroom – 1.0 spaces exclusive Studio – Three Bedroom - .25 spaces non-exclusive
Live/Work Units	3 spaces for the first 2,000 square feet of floor area, and 2 spaces per 1,000 square feet of for any additional floor area over 2,000 square feet
Hotels	1 space per room, 1 space per 200 square feet for restaurant and meeting space
Places of Worship	1.5 space per 100 lineal inches of pew space
Restaurant	1 space per 100 square feet for indoor dining, 1 per 300 square feet for outdoor dining
Retail and Service Activities	1 space per 300 square feet of floor area
Office	1 space per 300 square feet of floor area
Medical/Dental	1 space per 150 square feet of floor area
Childcare Center	1 space for each on duty employee
Theaters	1 space per four seats

## 6. Off-Street Loading

All loading areas shall comply with the following provisions:

**Table 7: Off-Street Loading Ratios**

<b>Loading Areas</b>	<b>Number of Required Loading Spaces</b>
<b>Retail Stores and Restaurants uses:</b>	
Floor Area (Square Feet)	
0-12,500	0
12,500 – 60,000	1
60,001 – 100,000	2
Over 100,000	3 plus 1 for each additional 80,000 sq. ft.
<b>Office and hotel uses:</b>	
Floor Area (Square Feet)	
0-50,000	0
50,000 – 200,000	1
201,000 – 500,000	2
Over 500,000	3 plus 1 for each additional 400,000 sq. ft.

**Dimensions.** Each loading space shall have a minimum dimension of fifteen (15) feet by twenty-five (25) feet and a height of not less than fourteen (14) feet.

**Turning Area.** In no event shall the outer radius of any turning area to a required loading space be less than twenty five (25) feet.

**Table 8: Bicycle Parking Ratios**

<b>Land Use</b>	<b>Number of Required Rack Stalls</b>
Residential Dwelling	Studio & One Bedroom – .05 Studio & One Bedroom - .05 Two & Three Bedroom - .1 Two & Three Bedroom - .1 Four & More Bedroom – .1 Four & More Bedroom - .1
Senior Housing	Studio - Three Bedroom – 0 Studio – Three Bedroom - 0
Live/Work Units	One & More Bedrooms - 1
Hotels	1 space per room, 1 space per 200 square feet for restaurant and meeting space
Places of Worship	1.5 rack stall per 1000 lineal inches of pew space



Restaurant	1 rack stall per 2000 square feet for indoor dining, 1 rack stall per 1000 square feet for outdoor dining
Retail and Service Activities	1 rack stall per 300 square feet of floor area
Office	1 rack stall per 500 square feet of floor area
Medical/Dental	1 rack stall per 500 square feet of floor area
Childcare Center	.25 space for each on duty employee
Theaters	1 rack stall per fifty seats

## **7. Parking Structure Standards**

The vision for Bella Villagio as a compact, urban intensity project warrants the careful management of parking. To this end, parking structures, both above and below grade, will be an integral part of the built form of this PAD. As a significant component of the PAD, this section addressed design and development standards for parking structures which assist in the property function and management of parking structures as a part of the land use program.

Parking Structures will be designed to include:

- Vehicle stacking areas for entering and existing traffic may demonstrate up to a 100 foot long queuing lane which is distinct and independent of any direct access drives from 99<sup>th</sup> Avenue or Bethany Home Road when an access restriction gate is proposed at the ground level of a parking structure. Note: In many cases, ground floor parking will be provided for retail uses without charge and access controls.
- A minimum of 5 foot-candles shall be provided inside all parking structures and a minimum of 3 foot-candles for exterior parking areas.
- Higher levels are recommended for remote areas subject to security problems (e.g., stairways, elevators, and other pedestrian access points).
- Lighting levels shall be equally distributed to provide uniform illumination over all parking areas.
- Light sources shall be shielded so that the source of the illumination is not seen from outside the structure.
- The architectural design of the structure should eliminate possible hiding places and openings that could allow random pedestrian access.

- During periods when parking activity is substantially less than the structure capacity, as during night operations, there shall be a means of securing unused parking levels from use, including stairwell and elevators. If the structure is not operated on a 24-hour basis the entire facility shall be secured from access during hours when the facility is closed.
- For security reasons, at least one or two sides of the stair tower may include glass running vertically up to the height of the tower.
- Stairs and elevators are preferred to be located adjacent to a street on the exterior of the structure where lobbies can be exposed to outside view.

## **8. Reduction of Parking Requirements**

Within Bella Villagio, it is envisioned that parking space demand may be lessened by the development of an “urban” development form. This reduced demand is expected to be responsive to the appropriate mix of uses, a pedestrian friendly environment and the potential for access to public transportation facilities. A reduction in number of developed parking spaces may be proposed, to the Planning Director by the Master Developer during the design review process, for an administrative review and approval in accordance with the following standards.

**Table 9: Parking Reduction**

<b>Qualifying Project Feature</b>	<b>Description and Criteria for Granting Reduction</b>
Mixed-Use, combining different land uses on the same parcel	Base Reduction: Mix of Uses 10% A 10% parking reduction may be granted where the Planning Director determines that a reduction is justified based on mixed use characteristics of the uses, an hourly parking demand study published by the Urban Land Institute, and/or other appropriate source as determined by City Staff.
Uses adjacent to transit	Public Transportation Reduction: Transit Access 12.5% A 5% parking reduction may be granted if the Master Developer sufficiently demonstrates access to a Metro Light Rail station within 1 mile of the Bella Villagio property.  A 2.5% parking reduction may be granted if the Master Developer sufficiently demonstrates access to a Metro Bus Services within .25 miles of the Bella Villagio property.

	A 5% parking reduction may be granted if the Master Developer sufficiently demonstrates access to a Glendale Sport & Entertainment District local people mover system within .5 mile of the Bella Villagio property.
All Others	Shared Parking Model Reduction: Additional Considerations 10% A parking reduction may be granted for any other circumstance where the applicant wishes to request a parking reduction through the preparation of a Shared Parking Model. The applicant must prepare and submit a parking demand study to justify the reduction. The Shared Parking Model reduction is subject to review and approval of a conditional use permit in accordance with Section 3.900 of the City of Glendale Zoning Ordinance.

#### **9. Shared Use of Parking Facilities**

**a. Applicability.** Separate uses with overlapping hours of operation, on separate parcels within Bella Villagio may share parking facilities.

**b. Standards for Shared Parking.** Shared parking facilities shall comply with the following requirements:

- A Shared Parking Plan shall be established by the Master Developer and administered by the Bella Villagio Property Owners Association Board of Directors.
- A Parking Management Organization (an entity appointed by the Bella Villagio Property Owners Association Board of Directors) shall be formed to implement a Shared Parking Plan and to resolve any operational challenges which may occur with the implementation of the Plan.
- The maximum distance from the shared parking facility to a designated land use shall not exceed 1250 feet. However, distances greater than 1250 feet may be considered if the reviewing authority makes the findings that transportation alternatives are provided to accommodate the resident, patron or employee.
- No more than fifty (50) percent of the parking spaces required for a building or use may be supplied by parking facilities for any other building or use.

- Each residential unit within Bella Villagio must have one corresponding “exclusive” parking space designated for that unit. These spaces are not to be made available to shared parking use.

**e. Sign Standards**

**1. Purpose and scope**

The purpose of these sign provisions is to promote fair, comprehensive, and enforceable regulations that will foster a positive visual environment for Bella Villagio. This section is intended to regulate on-premise signs which are visible from public streets or which are visible from off the property and supersedes all provisions defined by Sections 7.100 through Section 7.109 of the City of Glendale Zoning Ordinance.

These regulations balance the need to protect the public safety and welfare, the need for a well-maintained and attractive mixed-use development, as well as the need for adequate identification, communication and advertising. The regulations allow for a variety of sign types and sizes for the site and are intended to balance the function and aesthetics of signs. The regulations for signs have the following specific objectives:

- a. To promote an urban mixed-use and entertainment district which is developed and is maintained in a way that ensures design uniformity and economic vitality;
- b. To promote the design characteristics of a dense / intense urban form as expressed by the design theme characteristics of form, material and color within a European town center;
- c. To balance public and private objectives by allowing adequate signage for business identification;
- d. To promote the free flow of traffic and protect pedestrians and motorists from injury and property damage which may be caused by cluttered, distracting, and illegible signage;
- e. To prevent property damage and personal injury resulting from signs which are improperly constructed or poorly maintained;
- f. To promote the use of signs which are well designed, of appropriate scale, and integrated with surrounding buildings and landscape in order to meet the community's desire for quality development;
- g. To protect property values, the local economy, and the quality of life by preserving and enhancing the appearance of the streetscape.

## **2. General Provisions**

The regulations, requirements, and provisions set forth in this Section shall apply to all signs erected, placed, or constructed within Bella Villagio.

- a. All signs shall comply with the unobstructed view easement requirements of the City of Glendale, Design Guidelines for Site Development and Infrastructure Construction.
- b. All signs shall be structurally designed, constructed, erected, and maintained in accordance with all applicable provisions and requirements of the City of Glendale Building Codes.
- c. Signs shall not be located in a manner which interferes with pedestrian travel or poses a hazard to pedestrians.
- d. All signs and sign structures shall be maintained in good order, repair, and appearance at all times so as not to constitute a danger or hazard to the public safety or create a visual blight.
- e. Signs may be illuminated or non-illuminated, unless otherwise restricted in this PAD. The source of the sign's illumination shall not be visible from any street, sidewalk, or adjacent property. This shall not preclude the use of neon sign elements.
- f. Sign area shall be measured as follows:
  1. Sign copy mounted or painted on a background panel or area distinctively painted, textured, or constructed as a background for the sign copy shall be measured as that area contained within the sum of the smallest rectangles that will enclose both the sign copy and the background.
  2. Sign copy mounted as individual letters or graphics against a wall, fascia, mansard, or parapet of a building or other structure that has not been painted, textured, or otherwise altered to provide a distinctive background for the sign copy shall be measured as a sum of the smallest rectangles that will enclose each word and each graphic in the total sign.
  3. Multi-face signs shall be measured as follows:
    - a. Two (2) face signs: If the interior angle between the two (2) sign faces is sixty (60) degrees or less, the area shall be of one (1) face only. If the angle between the two (2) sign faces is greater than sixty (60) degrees, the sign area will be the sum of the areas of the two (2) faces.



- b. Three (3) or more face signs: The sign area will be fifty (50) percent of the sum of the areas of all faces.
- 4. Spherical, free-form, sculptural, or other non-planar sign area shall be fifty (50) percent of the sum of the sides of the smallest four (4) sided polyhedron that will encompass the sign structure.
- g. Sign heights shall be measured as follows:
  - 1. Freestanding sign: Height shall be the vertical distance from the top of the highest element of the sign or sign structure to the top of the curb or crown of the roadway where no curb exists. The height of any monument base or other structure erected to support or ornament the sign shall be measured as part of the sign height.
  - 2. Wall fascia, mansard, and parapet mounted signs: Height shall be the vertical distance to the top of the sign or sign structure from the base of the wall on which the sign is located.
- h. The provisions of Subsection B shall not apply to the following signs:
  - 1. Traffic signs and all other signs erected or maintained by a governmental body including, but not limited to, danger signs, and signs of a noncommercial nature required by public laws, ordinances or statutes.
  - 2. Warning signs not over six square feet in area.

### **3. Prohibited signs**

The following signs are expressly prohibited at Bella Villagio:

- a. Signs located within, on, or projecting over any public street, right-of-way, or other public property, except shingle signs and projecting signs as provided in Sections 7.104 C and D.
- b. Any sign which interferes with or confuses traffic, or presents a traffic hazard.
- c. Roof Signs
- d. Pennant, banners, balloons, and similar displays, except as provided by section e.5.
- e. Sign mounted, attached, or painted on trailers, boats, or motor vehicles when parked, stored, or displayed in a manner intended to attract the attention of the public for advertising purposes.

#### **4. Permitted Permanent Signs**

This section includes specific standards for ground signs, wall signs, directional signs, construction / real estate signs, and temporary signs. All signs approved following the effective date of this PAD Ordinance shall be subject to the following requirements, and follow standards as presented in **Table 10, Sign Matrix**.

##### **a. Permanent Sign Standards**

###### **1. Electronic Message Center (EMC)**

This sign type is capable of displaying words, symbols, figures, or images that can be electronically or mechanically changed by remote or automatic means, including video. All electric signs shall conform to the Electrical Code of the City of Glendale.

The following requirements are applicable for all EMC's oriented for view from a public street or freeway. Such displays may include static displays, messages that appear to disappear from the display through dissolve, fade, travel or scroll modes, video or similar transitions and frame effects that have text, graphics or images that appear to move or change in size, or be revealed sequentially rather than all at once. The use of EMC and EMD displays shall be determined by the Planning Director at the time of Master Sign Package review.

###### **2. Freeway Landmark Pylon**

All freeway Landmark pylons shall conform to the following standards:

- a. Any lot with at least one thousand (1,000) feet of lineal frontage adjacent to the Loop 101 freeway right-of-way may place additional advertising on their property.
- b. Only one freeway pylon sign or one billboard is allowed per freeway frontage.
- c. The freeway pylon sign or billboard must be located within three hundred (300) feet of freeway right-of-way.
- d. Maximum height, including any supporting structures, shall be fifty-five (55) feet. Maximum width shall be twenty-four (24) feet.
- e. Maximum width shall be twenty-four (24) feet.
- f. The base shall be at least 50% of the width; the base cannot exceed the width of the sign.
- g. Maximum sign area shall be five hundred fifty (550) square feet.
- h. Multi-tenant buildings and complexes: the sign may identify the name of the building or complex and the name of up to eight

- (8) businesses within the building or complex. Such sign shall not include any advertising copy.
  - i. The sign area on a freeway pylon sign shall not count towards the total permitted wall sign area for a business.
- 3. Billboard signs  
All billboard signs shall conform to the following standards:
  - a. The zoning of the property on which the billboard is located must be Planned Area Development (PAD).
  - b. Any lot with at least one thousand (1,000) feet of lineal frontage adjacent to the Loop 101 freeway right-of-way may have additional advertising on the property.
  - c. Only one freeway pylon sign or one billboard is allowed per freeway frontage.
  - d. The billboard must be located within three hundred (300) feet of freeway right-of-way.
  - e. Maximum height, including any supporting structures, must be no more than sixty-five (65) feet.
  - f. Maximum width must be no more than fifty (50) feet.
  - g. Maximum sign area must not exceed six hundred seventy five (675) square feet.
  - h. Any outdoor advertising sign on-site or within two hundred feet of the property advertised shall be included in the maximum wall mounted sign area for that property if the outdoor advertising sign exclusively advertises that property. This provision shall not apply to an outdoor advertising sign which relates to multiple properties or businesses including that property.
  - i. There shall be a minimum distance of one-eighth (1/8 mile or six hundred sixty feet (660) between all billboards on any property.
- 4. Construction Code Requirements  
All signs shall conform to the requirements of the Glendale Construction Code.
- 5. Combination Signs

The thickness measured between the principal faces of any combination sign shall not exceed sixty inches when such a sign is of solid construction.

6. Illumination

The following standards are intended to guide the sign permit process affiliated with the review and approval of sign illumination:

- a. The source of indirect illumination for signs shall be so oriented or shielded that it is not visible from any residential use or public thoroughfare.
  - Direct illumination by incandescent sources shall not exceed eleven watts per bulb without a dimming device or sunscreen; provided, however, no single bulb shall exceed forty watts.
  - Signs may be illuminated 24 hours a day, 7 days a week as long as the total light source on any sign face does not exceed one hundred fifty watts.
  - No flashing, blinking or rotating lights, metal halide lights exceeding seventy-five watts, or high or low pressure sodium light bulbs shall be permitted for either permanent or temporary signs. In no case shall mercury vapor light sources be used for direct or internal illumination.
  - All sign illumination shall satisfy the provisions of the Glendale Dark Sky Ordinance.
  - Exposed neon and other similar tube type illumination, bare incandescent or fluorescent lights shall be permitted as an integral part of a sign.

**5. Permitted Temporary Signs**

The following temporary signs are permitted in Bella Villagio subject to the definitions in Section 2.300, of the City of Glendale Zoning Ordinance and the following regulations:

a. Sale, Lease, or Rent Signs

The following standards apply to temporary sale, lease or rent signs:

1. Two (2) non-illuminated sign pertaining only to the property on which it is located shall be permitted for each street frontage.
2. A maximum of two (2) signs shall be permitted per parcel.
3. Each sign shall erected on a vacant parcel shall have a maximum area of three hundred twenty (320) square feet and a maximum height of ten (10) feet.
4. Each building sign shall have a maximum area of twelve (12) square feet and a maximum height of six (6) feet.
5. A maximum of fifteen (15) flags are allowed.
6. The area of each flag shall not exceed six (6) square feet.

7. The maximum height of any flag shall be twenty-five (25) feet.
8. There shall be a minimum distance of twenty (20) feet between flags.
9. Lettering and logos are allowed on the flags.

b. Promotional Displays

The following standards apply to promotional display signs:

1. These displays may be used to advertise grand openings, a change of business ownership, special sales, new products or services, and other promotions.
2. This includes pennants, banners, balloons, streamers, flags, inflatable structures, search lights, character or product likenesses, attention attracting media and devices, and other non-merchandise displays.
3. Such displays shall be allowed for a maximum of ten (10) consecutive days, no more than three (3) times per year. One (1) grand opening promotional display is allowed per year for a period not to exceed thirty (30) days. The grand opening display requires a new business or change in business name.
4. There shall be a minimum of thirty (30) days between each display.

c. Special Events, Seasonal Sales

The following standards apply to special event and seasonal sales signs:

1. Three (3) non-illuminated sign is allowed for the duration of the event.
2. Such signs shall have a maximum area of thirty-two (32) square feet and a maximum height of eight (8) feet.

d. Non-Commercial Signs

The following standards apply to non-commercial signs:

1. General

These signs may be placed for a period not to exceed one hundred eighty (180) days. After the one hundred eighty (180) day period, the sign must be removed and may not be replaced within or on the same parcel or lot for a period of ninety (90) days. Such signs shall have a maximum area of thirty-two (32) square feet and a maximum height of eight (8) feet.

2. Political Signs

- a. One (1) sign for each candidate or measure shall be permitted for each street frontage with no more than two (2) signs on any lot or parcel of land.
- b. Within Bella Villagio the maximum sign area shall be thirty-two (32) square feet, and the maximum height shall be eight (8) feet.



- c. The person, party, or organization responsible for the erection or distribution of such signs shall remove them within ten (10) days after the specific election to which they refer.
  - d. Such signs shall be placed only with the property owner's permission.
- e. Construction and Development Signs  
The following standards apply to construction and development signs:
  - 1. Three (3) non-illuminated sign is allowed on the construction site with a maximum area of thirty-two (32) square feet and a maximum height of eight (8) feet.
  - 2. If building permits have not been issued within six (6) months after issuance of the sign permit, the sign shall be removed and any new construction and development sign for substantially the same project at the same location will be approved only after a building permit for the project has been issued by the City.
  - 3. Such sign shall be removed prior to the issuance of a Certificate of Occupancy for the site.
  - 4. The sign may identify the name of the project, the names of the developer, contractor, architect, subcontractor, and financier for the project, and the projected completion date.
- f. Open House Directional Signs  
The following standards apply to open house directional signs:
  - 1. There shall be a maximum of four (4) such signs for each home for sale, including any such sign at the property for sale.
  - 2. Each sign shall have a maximum area of three (3) square feet and a maximum height of three (3) feet.
  - 3. Such signs may be posted only when a salesperson is on duty at the home and shall not be allowed for more than nine (9) hours per day.
  - 4. Such signs shall not be placed in the public rights-of-way.
- g. Window Signs  
The following standards apply to window signs:
  - 1. These signs may be used for business identification and advertising of any service, product, person, business, place, or activity on the premises.
  - 2. Such signs may include, but are not limited to, the business name, street address, phone number, business hours, meeting times, individual or specific products, services, or merchandise and related price information, slogans, and sale announcements.
  - 3. There are no limitations on sign area or window coverage.
- h. Menu Signs  
The following standards apply to menu signs:
  - 1. A menu sign may be used to display the published menu and corresponding prices of a restaurant. The sign may indicate hours

of operation and information regarding entertainment the restaurant provides.

2. Only one (1) menu sign per restaurant is allowed.
3. The area of a menu sign cannot exceed four (4) square feet.
4. The sign shall be enclosed in a casing attached to the building and extending from the wall not more than five (5) inches.

i. Promotional Banners

The following standards apply to promotional banners:

1. Banners may be used to identify special events within Bella Villagio. They shall not be used to identify or advertise individual businesses, sales, products, or services.
2. The special event shall be represented on the banner by decorative graphics.
3. There shall be one banner permitted for each business. The banner shall be mounted on the building or within a display window.
4. The banner may be displayed from a pole or other means located perpendicular to the building. The minimum clearance between the bottom of the pole and the nearest grade or sidewalk shall be seven (7) feet, six (6) inches.
5. The banners shall be made of cloth, nylon, or similar material.
6. The banner shall not exceed thirty two (32) square feet in size.
7. The banners shall be allowed for a maximum of forty-five (45) consecutive days.

**6. Sign permits**

This section sets forth requirements for sign permits, types of signs that do not require permits, and signs that are not permitted, at Bella Villagio.

A. Sign Permit General Requirements

Requirement for Permit

Unless otherwise provided in this Section, all signs shall require a sign permit from the Development Services Center before being erected, displayed, relocated or altered. Written approval from the Development Services Center personnel is required before any change, modification, alteration or other deviation from the terms and conditions of the sign permit and before any such change in the use of the sign as originally permitted can be made. The Development Services Center shall maintain a record of all such requests and approvals.

1. Building and sign permits shall be obtained prior to erecting, placing, constructing, altering, or changing the copy on any sign within the PAD area.
2. It shall be unlawful for any person to erect, place, construct, alter, or maintain any sign, except those exempt signs listed herein, when all required permits have not been issued for that sign. Each day such a

sign is allowed to exist without having obtained the required permits, shall constitute a new offense.

3. The permit fees shall be in the amount established by City Council resolution or pursuant to Glendale City Code Section 2-3.
4. An application for a sign permit must be made in writing on forms provided by the Development Services Center. The following information will be required on all sign permit applications:
  - a. Address of the property.
  - b. Business name.
  - c. Business owner's name, address and telephone number.
  - d. Sign contractor's name, address, and telephone number.
  - e. Glendale sales tax number and contractor's license number.
  - f. Valuation of the sign(s).
  - g. Inventory of all existing signs on the property showing the type, dimensions, and location of each sign.
  - h. Fully dimensioned plans and elevations showing the dimensions, design copy, and location of each proposed sign.
  - i. Plans indicating the scope and structural detail of the work to be done; including details of all connections, supports, footings, and materials to be used.
  - j. Required information for an electrical permit for all electric signs.
  - k. Color, material, and letter samples when the sign is subject to design review.Applications which do not include the required information shall not be accepted.
5. Permits for copy changes only, shall be processed within one (1) business day of submittal of application.

B. Signs that do not require a Sign Permit

The following signs shall not require a permit. However, they shall conform to the requirements of the standards as set forth in Table 9, Sign Matrix of this PAD and any applicable sections of the Building Code.

1. Signs which are not visible from public streets or which are not visible from adjacent property. Notwithstanding the foregoing, a sign that is visible from a public street shall not require a sign permit if the sole purpose of the sign is to provide on-site directional or location information.
2. The flag, pennant, or insignia of any nation, state, county, city or other political entity. However, the display of more than one flag of this or any other nation, state, county, city or other political entity shall not be permitted. This section shall not prohibit the display of individual flags of multiple nations, states, counties, cities or other political entities.
3. Statuary or remembrances of persons or events that are noncommercial in nature and tablets such as memorials or cornerstones, or the name, date of erection and use of building.

4. Works of fine art when not displayed in conjunction with a commercial enterprise and through which an enterprise may not receive direct commercial gain.
5. Temporary decorations or displays celebrating the occasion of traditionally accepted ceremonies, patriotic or religious holidays.
6. Nameplates, street address signs, wall-mounted nameplates, wall-mounted combination nameplate and combination nameplate and street address signs containing no advertising copy, not exceeding two square feet in area and limited to one per street front per use for residential uses.
7. Address directories as required and enforced by the Fire Marshal or his authorized representative in accordance with the Glendale Fire Code.
8. Changing copy on a legal sign, bulletin board, display encasement, or marquee; or maintenance where no structural changes are made; or the changing of the interchangeable letters on signs designed for them. However, repainting of painted wall signs when more than fifty percent of the copy has been removed shall require that written notice of the proposed repainting be received by the Development Services Center at least three days prior to repainting. Change on any sign when an increase in square footage occurs, shall require a permit. The nonconforming status of a sign shall not be affected by the repainting.
9. Temporary, non-illuminated, real estate signs, not more than three hundred twenty square feet in area, advertising the sale or rental of premises on which the sign is located.
10. Temporary, non-illuminated signs erected in connection with new construction work when displayed only during the actual construction work. Such signs shall be on the construction site and may identify the architects, engineers, contractors, and other firms involved in the construction and may advertise any product or the character or proposed use of the building.
11. Temporary Signs including:
  - a. Open house direction signs;
  - b. Non-commercial signs;
  - c. Sale, lease, or rent signs;
  - d. Window signs;
  - e. Menu signs; and
  - f. Political signs
11. Residence and commercial identification signs.
12. Change of copy on reader panel signs.







# BELLA VILLAGGIO

SPAZI DI VITA

## Planned Area Development Conceptual Sign Graphics

Exhibit 32a  
Freeway Landmark  
Monuments

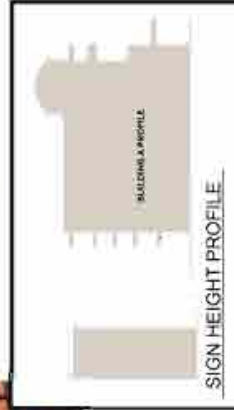


Exhibit 32b  
Street Monument  
Displays



\*Due to the variety of hardware and software potentially available to view and print this image, the colors may not match the actual colors of the finished display. Please refer to the detail drawing color notations for the approved color specifications.



Figure #  
32

Scale: Not to Scale



Produced For: Space 1111  
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Date: 2/28/08 Project Number: 0745

Pg. 135

Exhibit 33a  
Gateway  
Features



Exhibit 33b  
Vehicular  
Way Finding



# BELLA VILLAGGIO

SPAZI DI VITA

## Planned Area Development Conceptual Sign Graphics

\*Due to the variety of hardware and software potentially available to view and print this image, the colors may not match the actual colors of the finished display. Please refer to the detail drawing color notations for the approved color specifications.



Scale: Not to Scale

Figure # 33

Produced Not For Scale  
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Date: 2-28-08 Project Number: 0745



Exhibit 34a  
Garage  
Graphic Murals

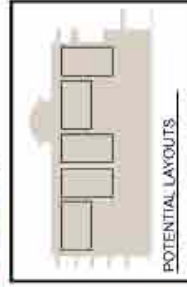


Exhibit 34b  
Hotel  
Identification



# BELLA VILLAGGIO

SPAZI DI VITA

## Planned Area Development Conceptual Sign Graphics

\*Due to the variety of hardware and software potentially available to view and print this image, the colors may not match the actual colors of the finished display. Please refer to the detail drawing color notations for the approved color specifications.



Figure #  
34

Scale: Not to Scale



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Date: 2/28/08 Project Number: 0745

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Exhibit 35a  
Full Color EMC  
Event Displays



Exhibit 35b  
Full Color EMC  
Building Displays



# BELLA VILLAGGIO

SPAZI DI VITA

## Planned Area Development Conceptual Sign Graphics

\*Due to the variety of hardware and software potentially available to view and print this image, the colors may not match the actual colors of the finished display. Please refer to the detail drawing color notations for the approved color specifications.



Figure # 35

Scale: Not to Scale

Produced for the Corporation  
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Date: 5.19.10 Project Number: 3018

Pg. 138





# BELLA VILLAGGIO

SPAZI DI VITA

## Planned Area Development Conceptual Sign Graphics

Exhibit 36a  
Dinning Village  
Identification



Exhibit 36b  
Forum Shops  
Identification

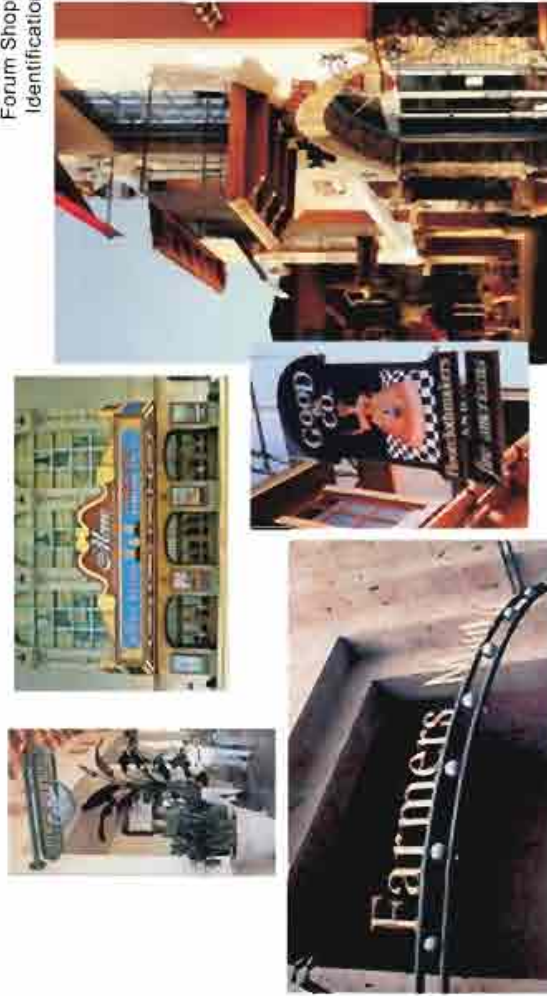


Figure # 36

Scale: Not to Scale

Date: 2-28-08 Project Number: 0745

Pg. 139





# BELLA VILLAGGIO

SPAZI DI VITA

## Planned Area Development Conceptual Sign Graphics

Exhibit 37a  
Pedestrian  
Directories



Exhibit 37b  
Pedestrian  
Shop Entry  
Signage

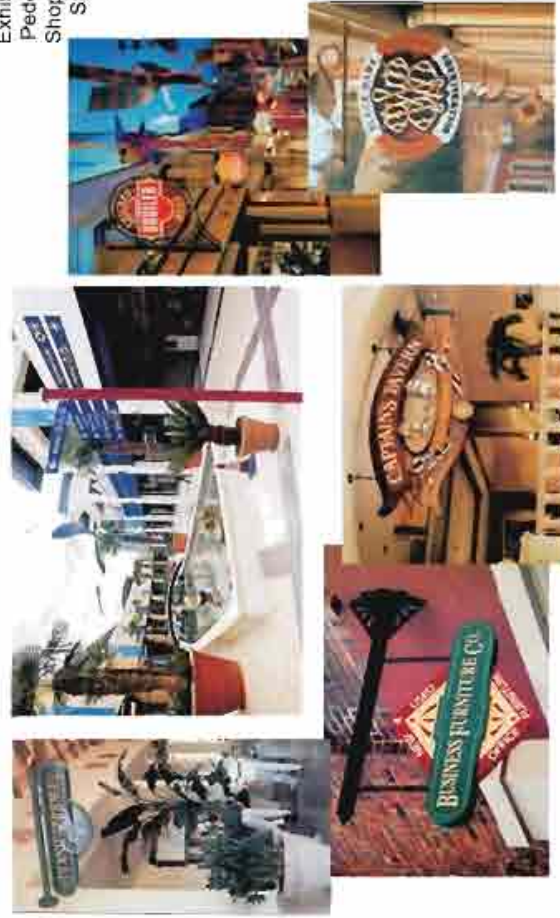


Figure # 37

Scale: Not to Scale

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Date: 2/28/08 Project Number: 0745

Pg. 140

Exhibit 38a  
Residence-Condo  
Identification



Exhibit 38b  
Office  
Identification



\*Due to the variety of hardware and software potentially available to view and print this image, the colors may not match the actual colors of the finished display. Please refer to the detail drawing color notations for the approved color specifications.

Scale: Not to Scale

Figure #  
38



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Date: 2/28/08 Project Number: 0745

Pg. 141





# BELLA VILLAGGIO

SPAZI DI VITA

## Planned Area Development Conceptual Sign Graphics

Exhibit 39a  
Dynamic Event  
Signage



Exhibit 39b  
Freestanding  
Kiosk Graphics



Figure #  
39

Scale: Not to Scale

Produced for the Corporation  
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Date: 2/28/08 Project Number: 0745

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## Planned Area Development Conceptual Sign Graphics

Exhibit 40  
Parking Garage  
Identification

Scale-Not to Scale

1

40

Preparation: Not for Certification.  
 Comments: VMA Urban Justice Institute, LLC

Date: 7-28-08 Project Number: 0745

Pg. 143

**f. Performance Standards**

Performance standards are hereby established to protect the community from hazards, nuisances and other negative factors; to ensure that land uses are not operated in such a manner as to cause a detrimental impacts on adjacent property and established land uses or the ambient community environment; and to preserve and enhance the lifestyle of Bella Villagio residents through the protection of the public health, safety and general welfare. The following standards and restrictions shall apply to all properties within Bella Villagio:

1) Live Entertainment

Purpose: The purpose of these standards is to allow live entertainment as a permitted use subject to standards for live entertainment within Bella Villagio. Live entertainment can be defined as music, comedy, readings, dancing, acting or other entertainment performed by one or more persons, whether or not such person or persons are compensated for such performances. This use includes dancing by patrons to live or recorded music. No adult entertainment shall be permitted.

Standards:

- Hours of Operation shall not extend to the hours between 1:00 a.m. and 7:00 a.m.

2) Special Events

Purpose: To maintain order affiliated with public assembly and gatherings within the Bella Villagio common open space areas for sponsored events such as art fairs, culinary fairs, wine tasting, musical concerts, art showings, craft fairs and all similar functions will be subject to the following standards:

Standards:

Parking management will be required based on the number of participants attending the Event.

0 – 50 participants: No standards apply

50 – 500 participants: Valet parking

500 – 1,000 participants: 1) Valet parking  
2) On site parking manager  
3) One City of Glendale police officer assigned to traffic management, maintaining general public order.

1,000 or more participants: 1) Valet parking  
2) On site parking manager



- 3) Two City of Glendale police officers assigned to traffic management, and maintaining general public order.
- Hours of Operation shall not extend to the hours between 1:00 a.m. and 7:00 a.m.

## **5. Definitions**

### **a. Purpose & Intent**

The Bella Villagio Planned Area Development is the synthesis of numerous goals, concepts, procedures, and regulations affecting all aspects of development of Bella Villagio. As such, it is this document, which will legally guide, control and regulate development of this very important project within the City of Glendale. Bella Villagio represents an opportunity to create a truly unique urban environment formed by a mix of land uses, compact development form the sustainable planning and development principles. Bella Villagio will strive to set a standard of development sensitivity and quality that will serve as a model for the surrounding community for many years to come. To support the vision and development purpose and intent of the Bella Villagio Planned Area Development, it is essential to define terms which are uses to expressed design and development intent of this urban development plan.

### **b. Definitions**

#### **Rules of Construction**

For the purposes of carrying out the intent of this Planned Area Development, certain terms or words used herein shall be interpreted or defined as follows:

1. Words used in the present tense include future, words used in the singular include plural and words used in the plural include the singular.
2. The word "shall" is mandatory.
3. The word "dwelling" includes the word residence; the word lot includes the words plot or parcel.
4. The word "person" includes an individual firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver, syndicate, or any other group or combination acting as a singular entity, including the federal and state government, another City, county, or school district, except as exempted by law.

5. The term "City" shall mean the collective Departments mandated to act in favor of protecting the public health, safety and welfare of residents within the City of Glendale; the term "Council" shall mean the City Council of the City of Glendale; the term "Commission" shall mean the Planning & Zoning Commission acting on legislative matters on behalf of the City of Glendale; and the term "Board" shall mean the Board of Adjustment acting on judicial matters on behalf of the City of Glendale.
6. Terms not herein defined shall have the meanings customarily assigned thereto.

### **Definitions**

**Abandonment by Plat** means the procedure whereby the owner of land may abandon an easement or temporary easement(s) and landscape easements by including the easement(s) on a subdivision plat. Such easements are abandoned, removing interest therein, upon approval by the City Council and recording of the plat in the Office of the County Recorder.

**Abutting** means the condition of two adjoining properties having a common property line or boundary, including cases where two or more lots adjoin only a corner or corners, but not including cases where adjoining lots are separated by a street or alley.

**Access or Access way** means the place, means or way by which pedestrians and vehicles shall have adequate and usable ingress and egress to a property or use as required by this Planned Area Development.

**Accessory Building** means a detached building whose use is customarily incidental to that of a principal use of the main building or premises.

**Accessory Use** means a subordinate use of a building or land customarily incidental to and conducted on the same lot with the principal use which does not alter the character of the principal use or adversely affects other properties within the PAD.

**Acreage, Gross** means the acreage defined by any recorded parcel of land within the PAD legally defined area, plus one-half (1/2) the right-of-way of all adjoining streets, freeways and alleys and any proportional share of a common tract or tracts.

**Adjoining, Adjacent** means the condition of being near to or close to but not necessarily having a common dividing line, i.e., two properties, which

are separated only by a street or alley shall be considered as adjoining one another.

**Agriculture** means the science, art, or occupation concerned with cultivating land, raising crops, and feeding, breeding, and raising livestock or poultry.

**Alcoholic Beverage Sales** means the sale of beer, wine, and/or other alcoholic beverages for on or off premises consumption regardless of whether it is subordinate to another use.

**Alley** means a private tract or dedicated public way affording a secondary means of vehicular access to abutting property and not intended for general traffic circulation.

**Alteration** means any architectural, mechanical, or structural change to a building, which requires a permit under the Building Code of the Town.

**Amphitheater** means an outdoor structure where the presentation of concerts, plays, films, or other dramatic performances occur with seating around an arena or central open space.

**Analogous** means similar or alike.

**Antique, Crafts and Collectibles Sales** means a retail business specializing in the sale of merchandise made in, or typical of, a previous era. Typical merchandise includes, but is not limited to, furniture, silverware, glassware, and other collectibles. Items shall not be donated for resale, but may be displayed on consignment.

**Apparel Sales** means store selling new or used merchandise.

**Applicant** means a development entity seeking the approval of zoning, site plans, subdivision plats, zoning adjustment or construction documents as necessary to authorize the development of the Bella Villagio Planned Area Development.

**Application** means the submittal of conceptual development plans or construction documents as necessary to obtain the approval of zoning, site plans, subdivision plats, zoning adjustment or construction documents in accordance with the provisions of the Bella Villagio Planned Area Development.

**Arcade Establishment** means any place of business containing five (5) or more arcade devices or a combination of arcade devices and billiard tables.

**Art Gallery** means a room or group of rooms used to display and sell works of art.

**Art/Craft Studio** means a room or group of rooms used by artists and craftspeople in the creation of their work, including: painting, photography, sculpture, ceramics and other related arts and crafts.

**Assisted Living Center** means a multi-family congregate housing for the elderly and/or handicapped living in separate dwelling units in which all units, other than those used for the specific purpose of managing and operating the project, are occupied by a household in which all persons, or at least one spouse of a married couple, is 60 years old or older, or the household is headed by a person which a physical impairment which is expected to be of a long duration and which substantially impedes the person's ability to live independently. The assisted living center must have a common eating area and provide food service to residents.

**Attached Building** means a building which has any part of its exterior or bearing wall in common with another building or which is structurally integrated with the main building and is responsive to fire code provisions.

**Auditorium** means an indoor or outdoor hall which contains a permanent stage and which is primarily used for public meetings or performances.

**Automobile Detailing** means performing an extremely thorough cleaning, polishing, and waxing of an automobile both inside and out.

**Automobile Repair** means a repair of automobiles and the sale, installation, and servicing of automobile equipment and parts. Typical uses include muffler shops, tire shops, automobile repair garages, automobile detailing, tune-up shops, stereo installation and automobile glass shops.

**Bar/Nightclub** means an establishment providing entertainment such as live music, dancing, and on-site alcohol consumption, but not adult entertainment.

**Block** means a piece or parcel of land or group of lots entirely surrounded by public streets or other transportation corridors.

**Board** means the City of Glendale Board of Adjustment acting on behalf of the City on judicial matters.

**Building** means any structure having a roof and used or built for the shelter or enclosure of persons, animals, chattels or property of any kind, including, but not limited to, tents, awnings, carports, ramadas, or vehicles situated on private property and used for purposes of a building.

**Building, Principal** means a building, or where the context so indicates, a group of buildings, within which is conducted the principal use of the lot on which the building is situated.

**Building, Accessory** means a subordinate building on the same lot with a principal building or use, the use of which is customarily accessory and incidental to the main use of the principal building or use. When attached to the principal building, such accessory building shall be considered as part of the principal building for purposes of setback and yard regulations.

**Building Codes** means the various codes of the City which regulate construction and require building permits, electrical permits, mechanical permits, plumbing permits, and other permits to do work and pertaining to National building regulations.

**Building Coverage** means that portion of a lot or building site, which is occupied by any building or structure, regardless of whether such building or structure is intended for human occupancy.

**Building Height** means the vertical distance measured from the higher of natural grade level or finished grade level as established by the City Engineer, to the highest point of the building.

**Building Permit** means an authorization to construct a structure as issued by the Building Safety Department and authorized by the Planning Director and as authorized by the Design Review Committee (DRC). The Bella Villagio DRC shall render an approval of each proposed development (plat or site plan) prior to an action by the City.

**Certificate of Correction or Change** means the procedure for amending recorded plats that are administrative and do not change any real property description.

**Church, Synagogue or Temple** means a permanently affixed building, where one of the principal uses is for religious worship.

**City** means the City of Glendale.

**Civic** means a use operated by a public agency or non-profit organization for the primary purpose of providing a service to the general public. Such uses are dedicated to, by way of example but without limitation, arts, culture, education, recreation, government, transit and municipal/public parking.



**Commercial Parking Lots or Garages** means a lot or garage upon which cars are parked subject to remuneration.

**Commission** means the City of Glendale Planning & Zoning Commission acting on behalf of legislative matters for the City.

**Committee** means the Bella Villagio Design Review Committee acting on behalf of quasi-judicial matters for the Bella Villagio Master Developer and all BVPOA members.

**Conceptual Development** means building footprints, land use, signage, lighting, open space, landscaping, streets, etc. as depicted on the plan relates to concepts or the formation of concepts.

**Conditional Approval** means an affirmative action by the City indicating that approval will be forthcoming upon satisfaction of certain specified conditions or stipulations.

**Conditional Use** means a use permitted in zoning district regulations, subject to a finding that all criteria imposed pursuant to this Planned Area Development will be met.

**Condominium** means a building or group of buildings in which the air space of units are owned individually as defined by a horizontal regime, and the structure, common areas and facilities are proportionally owned by all the owners on an undivided basis. Condominiums may be residential, commercial or industrial in nature.

**Congregate Care Facility** means a long term residential facility for elderly persons within which are provided living and sleeping rooms, a common dining, laundry services, and room cleaning. Such facilitates may also provide other services such as transportation for routine social and medical appointments.

**Construction Yard** means an area on or immediately adjacent to a major construction site used as a temporary basis for parking and storage of equipment used in the project, and the storage and preparation of materials and other items used in the project, including construction offices and shops.

**Convenience Store** means a small scale retail establishment the primary purpose of which is the sale of fresh and packaged food, dry goods, and nonprescription medicine primarily to customers from the immediate area.

**Council** means the City Council of the City of Glendale.

**Cut** means the land surface that is shaped through the removal of soil, rock or other materials.

**Daycare** means daycare centers as defined by the Health and Safety Code, and the daycare and supervision of more than five (5) or more children not related to the proprietor.

**Density, Gross** means the gross acreage divided into the number of dwelling units, lots, or spaces.

**Density, Net** means the net acreage, excluding streets, alleys, and other rights-of-way divided into the number of dwelling units, lots, or spaces.

**Design Review Committee** means a development advisory and code enforcement committee established and empowered by the Bella Villagio Covenants, Conditions and Restrictions to oversee the incremental development of the Bella Villagio PAD through the review of development site plans, subdivision plats and constructions documents as necessary to implement the "committee mission".

**Drive, Private** means vehicular circulation drives defined by the Bella Villagio Master Plan as necessary to maintain vehicular access, emergency response, utility routes, bicycle and pedestrian movements to each building and as managed and maintained by the BVPOA.

**Dwelling Unit (DU)** means a building, or portion thereof, designed as a unit for occupancy by one family for cooking, living and sleeping purposes.

**Dwelling, single-family, attached** means a building containing dwelling units attached by common walls and contained on individual platted lots or as divided by horizontal regime. The term *attached single-family dwelling* is intended primarily to apply to such dwelling types as townhouses or condominium developments with non-vertically stacked units, and other buildings which contain dwelling units with primary ground floor access.

**Dwelling, multi-family** means a building or buildings attached to each other and containing three or more dwelling units on one lot or a condominium development with vertically stacked units. The term *multi-family dwelling* is intended primarily to apply to such dwelling types as condominiums, apartments, and buildings where any dwellings have their primary access to a common internal hallway or external corridor and/or common stair.

**Easement** means a grant of rights by the owner of property to the public, a corporation, an association or persons for a specified use or uses as so designated for a defined area.

**Electronic Message Center (EMC)** means full color illuminated display utilizing LED (Light Emitting Diode) technology.

**Electronic Message Display (EMD)** means a sign capable of displaying words, symbols, figures or images that can be electronically changed by remote or automatic means.

**Emergency Care Clinic** means a medical facility for the diagnosis and treatment of human patients which may include emergency service, but not overnight housing of patients.

**Effective Date** means the date upon which this Planned Area Development or any amendment hereto becomes effective.

**Erected** means built, constructed, altered, reconstructed, moved upon; any physical operations on a premises which are required construction, excavation, fill, drainage and the like, shall be considered part of an erection.

**Essential Service** means the erection, construction, alteration or maintenance of basic public safety services including water, wastewater, fire and police services under the jurisdiction of a political subdivision of this State (the City of Glendale) organized as a special taxing district.

**Excavation** means any breaking of ground, except agricultural soil tilling and grounds care.

**Exclusive Parking** means a parking space within a parking structure or at grade which is designated to a specific use or user.

**Fade** means a mode of message transition on an EMD accomplished by varying the light intensity, where the first message gradually reduced intensity to the point of not being legible and the subsequent message gradually increased intensity to the point of legibility.

**Farmers Market** means consisting of retail markets for sale of food such as produce, nuts, honey, eggs, and processed food such as baked goods or juices. Such markets are typically run by an organization of food producers who market directly to the public and who are required to meet all requirements of the Maricopa County Environmental Health.

**Fill** means the deposit of soil, rock or other materials placed by humankind.

**Finished Grade** means the final grade or elevation of the ground surface after grading is complete.

**Flood Plain** means the 100-year flood plain established by the Federal Emergency Management Agency (FEMA) or other town floodplain management approved area adjoining a channel or a water course, or areas where drainage is, or may be, restricted by natural or human made structures, which may have been or may be covered partially or wholly by floodwater from a base flood.

**Floor Area, Gross** means the total of all floors of a building measured from the centerline of all exterior walls, but not including interior parking spaces, loading space for motor vehicles, or any space where the floor-to-ceiling height is less than six (6) feet.

**Floor Area, Net** means the total of all floors of a building, excluding stairwells and elevator shafts, equipment rooms, interior vehicular parking or loading; and all floors below the first or ground floor, except when used or intended to be used for human habitation or service to the public.

**Floor Area Ratio** means the ratio of gross floor area to the total gross area of the parcel expressed as a percent or decimal. Any area included within a basement where the floor level is at least five (5) feet below the adjoining finished grade or area devoted to the parking of automobiles shall be subtracted prior to calculation of the floor area ratio. Where rounding of numbers is necessary to determine floor area ratio, the nearest one hundredth (.00) shall be used.

**Four Sided Architecture** means incorporating design elements into each of the four sides of the building while pairing economic feasibility with sustainable design.

**Frame** means a complete static display screen on an Electronic Message Display.

**Frame Effect** means a visual effect on an EMD applied to a single frame to attract the attention of viewers such as a scroll, travel, or similar effect, where the message moves across the display.

**Galleries and Studios** means an establishment related to art venues. Arts and entertainment activities may also be part of restaurants and other mixed use spaces.

**General Plan, City of Glendale** means a general plan, or parts thereof, providing for the future growth and improvement of the City of Glendale and for the general location and coordination of streets and highways, schools and recreation areas, public building sites, specific neighborhood elements; and other physical development, which shall have been duly adopted by the City Council.

**Glazing** means a variety of tints, coatings, films, number of panes, and other features that control how much light is allowed into a building and how much heat, cold, and noise it blocks out.

**Grade** means the average level of the finished ground surfaces surrounding a building or structure, within a distance of twenty (20) feet.

**Grading** means any excavating, or filling or combination thereof, including the conditions resulting from any excavation or fill.

**Grocery** means a small scale retail establishment the primary purpose of which is the sale of fresh and packaged food, dry goods, prescription medicine primarily to customers from the immediate area.

**Gross Area** means the area of a lot or parcel including all dedicated streets, alleys, private accessways, roadway and or alley easements, and canal rights-of-way. Gross areas shall extend to the center of the existing abutting street or alley right-of-way.

**Hardscape, Active** means developed areas within Bella Villagio that are improved for pedestrian circulation, public gathering, and special events. These areas are typically improved with colored concrete, special finished concrete, brick pavers, stone pavers or other decorative methods to define the area as defined pedestrian space.

**Hardscape, Passive** means areas improved within Bella Villagio that are not commonly used by pedestrians.

**Health / Fitness** means establishments offering predominately participant sports within an enclosed building. Typical uses include bowling alleys, billiard parlors, indoor ice or roller skating, indoor racquetball courts, indoor batting cages and health or fitness clubs.

**Heliport** means any helistop, which also includes all necessary passenger and cargo facilities; helicopter maintenance and overhaul, fueling service, storage, tie-down areas, hangars, and other necessary buildings and open spaces. Heliports include any of the uses of helistops.

**Home Occupation** means any occupation or profession conducted from a principal residence in a residential zoned district, as an accessory use.

**Hospital** means a medical facility for the diagnosis and treatment of human patients including overnight housing for patients.

**Hotel / Motel** means a building, which provides six (6) or more guest rooms for the lodging of travelers and other temporary residents, and may



include customarily incidental uses such as meeting rooms, restaurants, and cocktail lounges.

**Laboratory** means a place devoted to experimental study such as testing and analyzing, but not including manufacturing of products.

**Live Entertainment** means facilities, which include music by more than one (1) musician, or dancing. Such facilities can be approved through administrative review, if the entrances to and exit from the building are located more than three hundred (300) feet from any single family residential use. The dance floor may not exceed one-eighth (1/8) of the total floor area. No adult entertainment shall be permitted. The closing time of the dance floor shall be simultaneous with the closing of the bar.

**Live-Work Units** means dwelling units with at least two stories that are used both as a primary residence and for either a professional office or retail business owned and operated by one of the residential occupants. The professional offices or retail shop must be located on the first floor with windows and direct access to the adjacent street/sidewalk. These units shall not be subject to the provisions of Section 7.304 of the Zoning Ordinance (Home Occupations).

**Living Area** means the occupied portion of a residence, including interior areas, exterior porches and partially enclosed areas, not including garage.

**Lock-Off Unit** means a Hotel Room or Residential Hotel Unit that can be divided into two or more smaller units.

**Lodges and Fraternal Associations** means an association of persons, whether incorporated or not, for social purposes, but not including groups which are organized primarily to render a service carried on as a business for profit.

**Loft Unit** means a space typically located above a ground floor use, such as retail, used for residential, retail, or office space.

**Lot** means a lot or parcel of land separated from every other piece or parcel by description, in a subdivision or on a recorded survey map, or by metes and bounds, for purpose of sale or separate use.

**Lot Area, Gross** means the total area of a lot within the lot lines as measured on a horizontal plane to all lot corners and half the adjacent right-of-way.

**Lot Area, Net** means the total area of a lot within the lot lines as measured on a horizontal plane to all lot corners and exclusive of any adjacent rights-of-way.

**Lot Coverage** means the part or percentage of a lot occupied by a principal and any accessory buildings determined by dividing the total gross floor area by the net lot area.

**Lot Line** means a line bounding a lot; synonymous with street right-of-way line when a lot line coincides with a right-of-way line of an abutting street.

**Map of Dedication** means a form of subdivision plat that dedicates rights-of-way, and/or easements.

**Massing** means to reduce the bulk of the buildings by breaking down the mass into human scale; to offer a variety and consistency along the street face.

**Medical/Dental Clinic** means an establishment providing medical, psychiatric, surgical, dental or other health-related services. This includes medical, dental, psychiatric or other therapeutic services offered in individual offices or suites, which may include laboratories incidental to the practitioner's consulting or therapeutic work but excluding licensed health facilities.

**Multifamily** means the use of a site for two or more dwellings within one or more buildings.

**Net area** means the area of a lot or parcel excluding all dedicated streets or alleys and roadway or alley easements.

**Nursing Home** means an extended health care facility providing lodging, meals, treatment, and skilled nursing care on a long-term basis to individuals who, because of advanced age, chronic illness, or infirmity, are unable to care for themselves.

**Non-Exclusive Parking** means a parking space within a parking structure or at-grade which is available to any visitor, employee, or resident of the project area.

**Off-street** means land, which is not within any dedicated rights-of-way.

**Office** means a use that provides professional, administrative, or business related services. Production, storage, distribution, or sale of goods or commodities are not included.

**Open Space** means an area that is intended to provide light and air and is designed for either environmental, scenic, stormwater management and/or recreational purposes. Open space may include, but is not limited to turf areas, desert planting areas, walkways, active and passive recreation areas, playgrounds, fountains, swimming pools, roof gardens,

and /or water courses. Open space areas are further defined into the categories of “hardscape – active” and “softscape active” as contributing to the Bella Villagio Open Space area.

**Outdoor Dining** means a use incidental to the primary use, such as a restaurant, that allows patrons to dine in a designated outdoor area.

**Outdoor Sales** means the display of products or services are intended for retail or wholesale purchase not within a completely enclosed building.

**Parking Lot** means an area other used for the off-street parking of more than two motor vehicles, including parking spaces, as well as access and maneuvering aisles.

**Parking Space, Off-street** means a space designated for the temporary parking of a motor vehicle not on the right-of-way or alley but accessible from a street or alley.

**Parks and Recreation, Indoor** means establishments providing indoor amusement or recreation. Typical uses include: martial arts studios, billiard and pool halls, electronic and coin-operated game rooms, bowling alleys, skating rinks, and health and fitness establishments.

**Parks and Recreation, Outdoor** means long term facilities providing outdoor amusement and entertainment. Typical uses include miniature golf, skateboard parks, amusement parks, go cart race tracks, and batting cages.

**Paved Parking Space or Surface** means an area covered by an impervious dust free surface of asphalt or concrete designed to Town or MAG specifications.

**Pedestrian Scale** means buildings scaled to human physical capabilities as in steps, doorways, railing, work surfaces, seating, shelves, fixtures, walking distances, and other features that fit well to the average person.

**Personal Services** means establishments primarily engaged in the provision of services for the enhancement of person appearance, cleaning, alteration or reconditioning of garments and accessories, and similar non-business related or non-professional services. Typical uses include salons, barber shops, tailors, shoe repair, laundries and dry cleaning, but exclude uses classified under the Office and Trade School.

**Planning Director** means the person designated by the City Manager as having the primary responsibility for administering and enforcing the requirements and conditions of the PAD with respects to the public health, safety and welfare.

**Plat** means a map for the subdivision of land.

**Plat, Final** means a map of all or part of a subdivision providing substantial conformance to an approved preliminary plat, prepared by a registered Arizona land surveyor or civil engineer in accordance with the provisions of the Bella Villagio PAD.

**Plat, Preliminary** means a preliminary map, including supporting data, indicating a proposed subdivision development, prepared in accordance with the provisions of the Bella Villagio PAD.

**Plat, Recorded** means a final plat bearing all of the certificates of approval as required by the Bella Villagio PAD and common law and duly recorded in the Maricopa County Recorder's office.

**Principal Use** means the main or primary use on any lot or parcel which establishes the basic land use characteristics of the property, as opposed to an accessory use. In some instances, a property may have more than one (1) principal use.

**Private Access Way** means any private street or private way of access to one or more lots, which is owned and maintained by an individual or group of individuals and has been improved in accordance with approved standards for private access ways and plans approved by the City of Glendale. A private access way is intended to apply where its use is logically consistent with a desire for neighborhood identification and control of access, and where special design concepts may be involved, such as within PADs and hillside areas.

**Public Utility** means any person, firm, corporation, city or special taxing district authorized under State Statute or city charter or code to provide to the public electricity, natural gas, steam, water, drainage, flood control, irrigation, or wastewater collection and treatment. The provision of telecommunications services by any provider of a public utility or by any person, firm, corporation or special taxing district is not a "Public Utility."

**Project** means one (1) or more uses, buildings, or tenant spaces designed to function as an integral unit through shared parking and driveways, even though there may be separate ownership's and parcels.

**Property Owners Association** means an organization which is authorized by the Bella Villagio Codes, Covenants and Restrictions to accept and manage the responsibility of all maintenance and management responsibilities for all common areas defined within the PAD.

**Residential Hotel Unit** means for sale units within the hotel building, or within the Bella Villagio Property, where it is customary for units to be leased back to the hotel for overflow during peak seasons. Units may also accommodate the exchange of rooms back to the hotel by providing Lock-Off units.

**Resort Hotel** means a building or group of buildings containing guest rooms providing a variety of outdoor recreation activities such as golf, tennis, or swimming for guest. A resort may provide services customarily furnished by a hotel including restaurants, gift shops, bar, and convention facilities. A resort may contain dwelling units in conjunction with guests' rooms.

**Restaurant** means any food service establishment such as but not limited to; coffee shops, cafeterias, short-order cafes, luncheonettes, sandwich stands, drugstores, and soda fountains serving food, and all other eating or drinking establishments provided that at least forty percent (40%) of the total sales are derived from the sale of food.

**Retail stores, general merchandise** means stores selling new or used merchandise including but not limited to: antiques, apparel, bicycles, books, cameras, drugstores, electronics, floor/window coverings, food market, florist, furniture, glassware, gifts, hobbies, jewelry, lighting, music, pets, portraits, shoes, sporting goods, telephone, tobacco, and toys.

**Retail Vendor Cart** means any non-motorized vending unit such as a kiosk, cart, stand or display intended to provide outdoor sales of food, beverages, merchandise, and shoe shining services.

**Retaining Wall** means an engineered structure constructed and/or erected between land of differing elevation to protect structures and/or prevent erosion.

**Rights-of-Way** means a public way established or dedicated exclusively for public purposes by a duly recorded plat, deed, grant, governmental authority or by operation of the law.

**Satellite Earth Station** means a device consisting of an antenna and reflector, having any dimension of more than one and one-half (1-1/2) meters, and is a solid or open mesh configured structure used for reception or transmission of radio energy to or from an earth orbit satellite or celestial body.

**Satellite Dish** means a circular antenna, typically not exceeding 31 inches in diameter, for receiving TV signals from a satellite.



**Schools (Professional/Technical/Higher Education)** means a place of general instruction including colleges, but not including business colleges, child care centers, dancing schools, or specialized trade or vocational schools.

**Screen Wall** means a masonry wall so constructed as to completely block at least eighty-five percent (85%) of the view of enclosed activities or uses from adjacent real property that is approximately the same elevation as the activity or use.

**Setback** means the required distance between the property line and the closest point of any building or structure.

**Site Plan** means a development plan depicting the plan view of the intended development for a defined development site and providing the necessary information as defined by the Bella Villagio PAD to determine development compliance with the development standards provided by the PAD.

**Small Animal Grooming Facility** means an establishment, at which dogs, cats, or other small animals are commercially groomed, bathed or trimmed. There shall be no boarding or overnight keeping of any animals, and all animals shall be inside an enclosed sound proofed building at all times.

**Softscape, Active** means improved landscape area intended for active recreation and / or for specialty landscape plantings. These areas typically include turf treatments, may include water features and may include accent plantings within immediate proximity with active hardscape areas.

**Softscape Passive** means landscaped areas not intended for pedestrian use. These areas include parking and retention areas.

**Special Events** means public assembly / gatherings within the Bella Villagio common open space areas for sponsored events such as art fairs, culinary fairs, musical concerts, art showings, craft fairs and all similar functions of which comply with the performance standards defined by this PAD.

**Story** means a space in a building between the surface of any floor and the surface of the next floor above, or if there is no floor above; then the space between such floor and the ceiling or roof above; provided, however, that where the floor level of the first story is at least five (5) feet below the adjoining finished grade, the space shall be considered a basement and not counted as a story.

**Street** means a right-of-way, other than an alley, dedicated or otherwise legally established for public use, usually affording the principal means of access to abutting property.

**Street, local** means a street designed to provide vehicular access to abutting properties and to discourage through traffic.

**Street, public** means any street, which has been dedicated or is otherwise publicly managed by the City. Any local street, not in compliance with the criteria to establish a public local street, shall be deemed a private street for management by an Association.

**Street Line** means a right-of-way line of a street, which abuts a lot line.

**Streetscape** means the urban element that establishes the major part of the public realm. The streetscape is composed of thoroughfares (travel lanes for vehicles and bicycles, parking lanes for cars, and sidewalks or paths for pedestrians as well as use frontage (building facades, porches, yards, fences, awnings, etc.) and street amenities (street trees, plantings, benches, streetlights, fountains, etc.).

**Street Furniture** means objects and equipment installed in public areas for various purposes, including benches, bollards, post boxes, phone boxes, streetlamps, street lighting, bus stops, public lavatories, fountains, memorials, and waste receptacles.

**Structure** means that which is built or constructed, an edifice or building of any kind or any piece of work artificially built up or composed of parts joined together in some definite manner and attached to the ground.

**Subdivision** means improved or unimproved land or lands divided for the purpose of sale or lease, whether immediate or future, into four or more lots, tracts or parcels of land, or if a new street is involved, any such property which is divided into two or more lots, tracts or parcels of land, or, any such property, the boundaries of which have been fixed by a recorded plat, which is divided into more than two parts.

**Temporary Office or Construction Trailer** means a temporary portable unit for office use, which is designed to be transported, after fabrication, on its own wheels, or on a flatbed, other trailer, or have detachable wheels.

**Timeshare** means a facility in which a person receives the right in perpetuity, for life or for a specific period of time, to the recurrent, exclusive use or occupancy of a lot, unit or portion of real property, for a period of time that has been or will be allocated from the use of occupancy period into which the facility has been divided. A timeshare use may be coupled with an estate in the real property or it may entail a

license, contract, membership, or other right of occupancy not coupled with an estate in real property.

**Traffic Management Authority (TMA)** – A commercial and employment property association formed to promote the use of multiple transportation modes and to provide incentives to reduce the reliance on single occupant vehicles. A TMA Program might include ride share programs, public transit rider subsidies, bicycle parking facilities at commercial and employment facilities, management of park and ride facilities, and the funding and operations of jitney services.

**Usable Floor Area** means the aggregate area of a building measured to the centerline of exterior walls on the first story, and including the floor area, similarly measured, of each additional story which is connected to the floor area or all accessory buildings, measured similarly, but excluding that part of any floor area which is occupied by heating, ventilating or other permanently installed equipment required for the operation of the building and by unenclosed porches, light shafts, public corridors and public restrooms.

**Use** means the purpose for which a building is arranged, designed or intended, or for which land or a building is or may be occupied.

**Use, Principal** means the main use to which the premises are devoted and the main purpose for which the premises exist.

**Use, Accessory** means a subordinate use to the principal use on a lot and used for purposes clearly incidental to those of the principal use.

**Utilities** means the installation of facilities, underground or overhead, furnishing for the use of the public electricity, gas, steam, communications, water, drainage, sewage disposal, or flood control, owned and operated by any person, firm, corporation, municipal department, or board, duly authorized by state or municipal regulations. Utility or utilities as used herein; may also refer to such persons, firms, corporations, departments, or boards, as applicable herein.

**Variance** means a modification of the literal provisions of the development regulations contained within the Bella Villagio PAD as granted by the Board upon a finding that strict enforcement of the regulation would cause undue hardship owing to circumstances unique to the individual property for which the variance is granted.

**Veterinary Clinic (completely enclosed)** means an office maintained by a licensed doctor of veterinary medicine for the treatment and care of small animals, namely the usual household pets and other animals of a similar size and nature but not livestock.

**Wireless Communication Facility** means a facility for the provision of personal wireless services as defined by the Telecommunications Act of 1996, and any amendments thereto. Wireless communication facilities are composed of two or more of the following components: antenna, mount, equipment shelter, wall or security barrier.

**Yard** means an open space located between any portion of a building and the nearest lot line, or the nearest adjacent building or group of buildings, as the context indicates, unoccupied and unobstructed from the ground upward, except as otherwise provided for in this chapter.

**Yard, Front** means a yard extending across the full width of the lot and having a depth equal to the horizontal distance between the nearest point of the principal building and the front lot line, measured at right angles to the front lot line.

**Yard, Rear** means a yard extending across the full width of a lot, and having a depth equal to the horizontal distance between the nearest point of the principal building and the rear lot line, measured at right angles to the rear lot line.

**Yard, Required** means a yard having the minimum dimensions required herein.

**Yard, Side** means a yard extending from the front yard to the rear yard between a side lot line and the principal building, and having a width equal to the horizontal distance between the nearest point of the principal building and the side lot line, measured at right angles to the side lot line.

**Zoning Inspector** means the municipal official appointed by the City Manager and assigned the duties and responsibilities of the Office of Zoning Inspector as hereinafter provided.

## **6. Implementation**

The Bella Villagio Planned Area Development will be implemented in multiple phases over an extended period of time. This PAD, with its supportive master plans, provides a depiction of the envisioned land use, development intensity, development functionality and general quality. This PAD will be implemented through the commencement and completion of the following processes:

### **a. Site Plan Review**

Each phase of development will comply with the provisions of Section 3.600 (Design Review) of the City of Glendale Zoning Ordinance.

### **b. Subdivision Review**

If land divisions are proposed, each phase of development which may include the subdivision process will comply with the provisions of the City of Glendale Zoning Ordinance, Subdivision Ordinance and subdivision design guidelines. Furthermore, the design of the development shall be consistent with, but not limited to Section 3.908 (Design Guidelines) of the City of Glendale Ordinance, as amended.

### **c. Dedications**

#### Public Right-of-Way

The Bella Villagio PAD property has been established with the following right-of-way formally dedicated or purchased for the use by the public:

- Bethany Home Road – City of Glendale – a 192.64 foot full street to the north of the Bella Villagio property (inclusive of SRP Grand Canal right-of-way and ADOT interchange right-of-way).
- 99<sup>th</sup> Avenue – City of Glendale - a 90 foot east half street to the west of the Bella Villagio property.
- Loop 101 – Arizona Department of Transportation freeway right of way to the east of the Bella Villagio property.

The approval of this PAD specifically recognizes that all right-of-way dedications have formally been made with respect to the Bella Villagio Planned Area Development property in accordance with the adopted and ratified General Plan for the City of Glendale and all applicable transportation plans. Additional right of way dedications are not warranted. However, the owner(s) of the Bella Villagio property may seek a partial right-of-way abandonment of 99<sup>th</sup> Avenue. The abandonment would include a consistent five (5) foot width in response to roadway plans for the development of 99<sup>th</sup> Avenue in accordance with a 2003 Design & Construction Report (DCR) prepared by the Maricopa County Department of Transportation and accepted by the City of Glendale. Note: such an



abandonment request would be consistent with a recent approval of right-of-way abandonment for property immediately to the south of Bella Villagio.

Utilities

The Bella Villagio Planned Area Development anticipates the dedication of easements to the City of Glendale for the provision of public water and sanitary sewer facilities. These easements will occur in locations and in a configuration applicable to the provision and maintenance of such services.

Cross Access

This PAD anticipates the establishment of an agreement with the property owner to the immediate south as necessary to establish easements for cross access and cross utility purposes. Improvements anticipated for cross access and joint maintenance include paved access at the Missouri Avenue alignment at 99<sup>th</sup> Avenue. This agreement is not yet complete.

**d. Codes, Covenants & Restrictions**

The Bella Villagio property will be governed by a comprehensive set of Codes, Covenants and Restrictions. Once recorded, all use, development and property management activity on the Bella Villagio property will be in strict conformance with the recorded standards. It is these standards which will authorize the formation of the Bella Villagio Property Owners Association (BVPOA), empower the Design Review Committee (DRC) and establish all roles and responsibilities of the BVPOA and the DRC.

**e. Design Review Committee**

The Design Review Committee (DRC) is the master review entity established by the Codes, Covenants and Restrictions. The Master Developer and the Bella Villagio Property Owners Association Board of Directors will review all development within Bella Villagio for adherence to the Bella Villagio Design Guidelines and CC&Rs. The Design Guidelines and CC&Rs, once written and formally established, are the regulatory controls of the Master Developer. They are not imposed, administered or enforced by the City of Glendale. The CC&Rs will establish the DRC and require DRC approval of every phase and all building activity.

To achieve the intent of this PAD and ensure the cohesive development of Bella Villagio, a design review committee (DRC) is to be created. The design guidelines and CC & R's will be created to provide the specific framework and standards and procedures that will guide Bella Villagio development in an orderly and comprehensive manner. As a courtesy, the draft design guidelines will be reviewed

by City of Glendale staff for inclusiveness of City-wide standards. However, the imposition, enforcement and administration of the standards will be the sole responsibility of the DRC, not the City of Glendale. Any changes or updates to the Bella Villagio design guidelines will be provided to the City of Glendale for informational purposes. The design guidelines, once written in conformance with the Design Principles (see Section 12 of the Master Plans Section), will be added to the PAD as Appendix C.

The Bella Villagio CCR's will establish the review authority of the DRC. Preferably, DRC approval of each development proposal will occur prior to the review and issuance of site plan approval by the City of Glendale. In this manner, the City will know before it considers a site plan that it is consistent with the PAD, design guidelines and CC & R's. Because the DRC process is entirely independent of the City of Glendale site plan review process, the City may accept plans for processing and may authorize site plan approval for development proposals that have not been previously approved by the Bella Villagio DRC. Final Design Review Approval will be in accordance with Section 3.600 of the City of Glendale Zoning Ordinance, as amended.

## **7. PAD Appeals and Variance Procedures**

The following provisions are intended to provide procedures for informal (administrative) and formal (judicial) appeals and variances. The appeals processes are intended to provide the Applicant with relief from a decision or action by the City, pursuant with the authority provided to the City related to the implementation of the regulatory development provisions (contained within the Bella Villagio PAD) and the general pursuit of safe guarding the public health, safety and welfare. There are two distinct categories of appeals; Development Review and Technical. The Planning Director shall have the authority to determine the correct appeal procedures upon the acceptance of an appeal request by an Applicant. Decisions or actions by the City related to the review and approval of site plans, subdivision plats or other administrative acts may not be appealed by the public. Concerns expressed by the public related to an action or decision of the City may be considered within the judicial proceedings if in the opinion of the City the concerns expressly pertain to the City's mission to protect the public health, safety and welfare.

### **a. Development Review Appeal Procedures**

Development review appeals are intended to provide an Applicant with an avenue of relief from a decision or action made by the City related to the pursuit of the City's mission to protect the public health, safety and welfare. Development review appeals most commonly pertain to the implementation of development standards provided herein, which promote staff interpretation of applicability. Many of the development standards provided within the Bella Villagio PAD are designed to "guide" the design of sites and subdivisions and are written in a manner that warrants staff or Planning & Zoning Commission judgment for the appropriate implementation of the standard. In many cases, these anticipated judgments are specifically identified directly within the development standards. The Development Review Appeals procedures are specifically designed to respond to conflicts affiliated with the implementation of these standards. The procedures follow:

#### **1. Administrative Appeal of Development Review Decisions**

- a. An action or decision of the City staff arising from the administration of the administrative and/or policy provisions contained within the PAD may be appealed by the Applicant pursuant to Section 3.400 of the Glendale Zoning Ordinance.

#### **2. Appeal of Administrative Decisions**

All decisions and interpretations by the Planning Director performed in accordance with Section 3.400 may be appealed to the Board of Adjustment in accordance with the procedures prescribed in Section 3.700 of the Glendale Zoning Ordinance.

**b. Technical Appeal Procedures**

Per City of Glendale Zoning Ordinance Section 3.607, appeals are intended to provide an Applicant with an avenue of relief from a decision or action made by the City related to the pursuit of the City's mission to protect the public health, safety and welfare. Technical Appeals most commonly pertain to the implementation of development standards provided herein, which promote a strict standard of clear applicability of a development review exaction, which is not justified as proportional to the impact imposed by the proposed development plan and not supported by the PAD. This appeal procedure is most commonly applied to technical development or engineering standards and requirements that do not relate to the zoning standards but have a basis in an engineering standard. Many of the development standards provided within the Bella Villagio Planned Area Development provide precise technical development or engineering standards that direct a "precise" design solution for the preparation of site plans, subdivisions plats or construction documents. The Technical Appeals procedures are specifically designed to respond to conflicts affiliated with the implementation of these standards or to development requirements that are not proportional to the project's demand on infrastructure systems or the intended provisions defined by the PAD. The procedures follow:

1. If the Planning Director or his designee finds that Bella Villagio has not properly addressed one of the design criteria or there are other technical deficiencies identified by other city reviewers, and adequate resolution of the issue(s) cannot be ensured by the applicant, the Planning Director or his designee shall prepare a letter to the applicant stating reasons for the denial.
2. The applicant may appeal the Planning Director's decision to the Planning Commission if that appeal, including appeal fee, is made in writing to the Planning Director within fifteen (15) days of the decision. The appeal letter shall describe the unresolved issues and describe what design solutions are proposed by the applicant. The applicant shall be notified of the date of the Planning Commission meeting to consider the appeal, a minimum of fifteen days prior to the public hearing.
3. The decision of the Planning Commission shall be final unless an appeal to the City Council is made by the applicant in writing to the Planning Director within fifteen (15) days of the Planning Commission's decision. The appeal letter shall state the reasons for the appeal and be accompanied by the required fee. The applicant shall be notified

of the date of the Planning Commission meeting to consider the appeal, a minimum of fifteen days prior to the public hearing.

**c. Variance Procedures**

As set forth and defined by the City of Glendale Zoning Ordinance, Section 3.700, the Variance procedures are to be utilized by any person(s) whom may experience unreasonable limitations to the preservation and/or enjoyment of his/her property rights through the application of the PAD provisions provided within the **Development Standards Subsection** of the Bella Villagio PAD. The Variance Procedures are intended to provide the general public with an avenue of either administrative review or public judicial review of a decision or action made by the City related to the pursuit of the City's mission to protect the public health, safety and welfare. The Variance Procedures are specifically designed to respond to conflicts associated with the implementation of the regulatory provisions contained within the **Development Standards Subsection**. The procedures follow:

1. Board of Adjustment Review and Action

- a. An Application shall be in writing and shall specifically set forth by allegation or allegations the basis of the application or request for Variance. The Application must specifically define the specific variation or variations from the provisions of the PAD provisions requested to alleviate the error or hardship alleged.
- b. The Planning Director shall have the responsibility to coordinate the position and findings of the City affiliated with the requested Variance within a twenty (20) calendar day period of the requested Variance request. The Planning Director shall also be charged with the responsibility to provide public notice as follows:
- c. The Planning Director give notice thereof to the general public by publishing a notice in a newspaper of general circulation in the City of Glendale providing at least fifteen (15) days notice of such a hearing; and
- d. Posting the property at least fifteen (15) days prior to such hearing, with a sign defining the nature of the request and the time and date of the Board of Adjustment hearing date.
- e. The Board of Adjustment will hear the request on the date and at the time as provided by the public notice.
- f. The Board of Adjustment may:



1. Grant the request upon the development of findings, which support the State Statutes;
  2. Deny the request upon review and determination that sufficient findings do not exist under the provisions of State Statutes to approve the request; or
  3. Continue the request to a later date to hear additional public testimony or review additional supporting documentation.
- g. This decision of the Board of Adjustment shall be final, except as defined by Arizona Law.

## **8. Planned Area Development Amendment Procedures**

The following provisions are intended to provide criteria for the determination of major and minor amendments to the Bella Villagio PAD. In addition, this Section is intended to define the amendment procedures applicable to major and minor amendments.

### **a. Formal Amendments (Planned Area Development)**

Formal amendments to the PAD as represented by the Plan narrative as expressed through the Introduction, Existing Development Conditions, Master Plan and Development Standards defined within this PAD may become necessary from time to time, and for various reasons which are envisioned as follows:

- to respond to changing market or financing conditions,
- to update the PAD as necessary to reflect new development conditions, and/or
- to respond to the requirements of potential users or builders on the property.

Amendments to the approved PAD may be requested by the Master Developer, and / or any land owner within the defined limits of the Bella Villagio project. Only the contents of the specific amendment request may be considered and acted upon by the Planning Director, Glendale Planning Commission and Glendale City Council.

When changes or modifications to the PAD are deemed necessary or appropriate by the Master Developer and / or land owner within the defined limits of the Bella Villagio project, proposed amendments or modifications shall conform to the following procedures:

1. The applicant(s) shall submit a letter which defines the proposed amendment and a rationale for such amendment to the City of Glendale Planning Director outlining the applicant's interpretation of the defined amendment (major, or minor).
2. Upon receipt of the proposed amendment letter, the Planning Director shall determine if the proposed amendment constitutes a *major or minor* amendment.

Major Amendments. If the Planning Director determines the proposed amendment to be a *major* amendment, as described below, the amendment request shall be processed in the manner set forth by the City of Glendale Planned Area Development District Regulations with the amendment being processed under the same provisions as the original approval by the City Council.

Minor Amendments. If the proposed amendment does not meet the requirements outlined below for a major amendment, then it shall be considered a *minor* amendment and shall be acted upon administratively by the Planning Director. Unless otherwise required by law, those changes determined to be *minor* amendments shall not require public notice or public hearings.

Major Amendment Criterion.

An amendment will be deemed to be *Major* if it involves any of the following:

- Any substantial alteration to the list of permitted uses of the Property set forth in the PAD, as deemed to be substantial by the Planning Director.
- An increase in residential units or commercial/mixed-use square footage for the Property or any increase up to the 1.6 FAR defined by Conceptual Development Plan and the PAD. The following limits are set:
  - No more than 1,295 Condominium Dwelling Units
  - No more than 270 Loft Units
  - No more than 180 Residential Hotel Units
  - No more than 300 Hotel Rooms
  - No more than 201,700 square feet of retail space
  - No more than 123,000 square feet of restaurant space
  - No more than 929,000 square feet of office space
- Any proposed alteration to approved Bella Villagio Development Standards as defined by Sub-Sections 3 and 4 of the Development Standards Section of this PAD which modifies the purpose and intent of this PAD as determined by City of Glendale Planning Director.

Minor Amendment Criterion.

An amendment will be deemed to be *Minor* if it involves any of the following:

- Any alteration to the PAD narrative which does not directly impact the health, safety and welfare for any adjacent property owner or of that of the general public as determined by the Planning Director.
- Any proposed use which is deemed to be analogous to the defined permitted uses, conditional uses, uses subject to performance standards or accessory uses by the Planning Director.
- Any minor alteration to the list of permitted uses of the Property set forth in the PAD, as deemed to be minor by the Planning Director.

- Any alteration to the Bella Villagio Land Use Master Plan, the Phasing Plan or any other Master Plan which does not directly impact the health, safety and welfare of any adjacent property owner or the general public as determined by the Planning Director.
3. Upon the approval of any proposed amendment to the Planned Area Development (PAD), the amendment shall be attached to the PAD as an addendum and shall become a part thereof.

**b. Administrative Amendments and Interpretations**

On occasion, it may be necessary to request formal or informal interpretation from the City of Glendale Planning Director related to the implementation and/or interpretation of the PAD. These circumstances may relate to interpretation of project intent, use, development standards as may be applicable to the interpretation of the provisions of the City of Glendale Zoning Ordinance or to interpretation of intent of narrative contained in this application. It is anticipated that interpretation to these provisions may be made in oral or written form upon the request of the Master Developer or any member of the Bella Villagio Property Owners Association in accordance with City of Glendale Zoning Ordinance Section 3.400.

*Appendices*

- Appendix A - Legal Description
- Appendix B – Ordinance – Bella Villagio PAD
- Appendix C – Bella Villagio Privately Administered Design Guidelines (Reserved)
- Appendix D – Citizen Participation Report
- Appendix E – Traffic Impact Analysis (under separate cover)
- Appendix F – Water and Sewer Report (under separate cover)
- Appendix G – Drainage Report (under separate cover)
- Appendix H – City of Glendale Commercial Design Expectations
- Appendix I – Home Occupation Class I Standards



## **Appendix A - Legal Description**

**Wood, Patel & Associates, Inc.**  
(602) 335-8500  
www.woodpatel.com

Revised May 25, 2010  
Revised May 21, 2010  
May 8, 2008  
Page 1 of 2  
WP# 093454  
See Exhibit "A"

**PARCEL DESCRIPTION**  
**Bella Villagio**  
**Proposed Gross Area**

A parcel of land lying within Section 16, Township 2 North, Range 1 East, of the Gila and Salt River Meridian, Maricopa County, Arizona, more particularly described as follows:

Commencing at the west quarter corner of said Section 16, a Maricopa County Highway Department (M.C.H.D.) brass cap in handhole, from which the northwest corner of said Section 16, a M.C.H.D. brass cap flush bears North 00°53'52" East (basis of bearing), a distance of 2637.73 feet, said west quarter corner being the **POINT OF BEGINNING**;

**THENCE** along the west line of said section, North 00°53'52" East, a distance of 2504.29 feet;

**THENCE** leaving said west line, South 89°06'08" East, a distance of 90.00 feet, to the easterly right-of-way line of 99<sup>th</sup> Avenue;

**THENCE** leaving said easterly right-of-way line, North 89°37'16" East, a distance of 315.57 feet;

**THENCE** North 86°37'52" East, a distance of 346.70 feet;

**THENCE** South 04°04'41" East, a distance of 201.67 feet;

**THENCE** South 04°58'44" East, a distance of 301.50 feet;

**THENCE** South 01°48'47" East, a distance of 900.89 feet;

**THENCE** South 01°33'31" East, a distance of 500.40 feet;

**THENCE** South 00°43'54" West, a distance of 596.26 feet, to the east-west mid-section line of said section;

**THENCE** along said east-west mid-section line, South 88°14'17" West, a distance of 866.31 feet, to the **POINT OF BEGINNING**.

Containing 47.5021 acres, or 2,069,191 square feet of land, more or less.

Subject to existing rights-of-way and easements.

This parcel description is based on a Record of Survey recorded in Book 926, page 9, Maricopa County Records (M.C.R.) and other client provided information. This parcel description is located within an area surveyed by Wood, Patel & Associates, Inc. during the month of May, 2007 and any monumentation noted in this parcel description is within acceptable tolerance (as defined in Arizona Boundary Survey Minimum Standards dated 02/14/2002) of said positions based on said survey.

Y:\WP\Parcel Descriptions\2009 Parcel Descriptions\093454 Bella Villagio Proposed Gross Area L01RR 5-25-10.doc



EXPIRES 03-31-11

NORTHWEST CORNER OF  
SECTION 16, T.2N., R.1E.,  
MARICOPA COUNTY  
HIGHWAY DEPARTMENT  
BRASS CAP FLUSH

33'

BETHANY HOME  
ROAD

L1

L2

L3

99TH AVENUE

90' R.O.W.

2637.73'

2504.29'

N00°53'52"E

90' R.O.W.

WEST QUARTER CORNER  
OF SECTION 16, T.2N.,  
R.1E., MARICOPA  
COUNTY HIGHWAY  
DEPARTMENT  
BRASS CAP IN  
HANDHOLE  
POINT OF BEGINNING

A PORTION  
OF THE  
WEST 1/2  
OF THE NW  
1/4  
SECTION 16,  
T.2N., R.1E.

EAST-WEST  
MID-SECTION  
LINE

AQUA FRIA FREEWAY  
(NORTHWEST OUTER LOOP  
JCT. 1-10 - GLENDALE AVE.  
[STATE ROUTE 417])

LINE TABLE		
LINE	BEARING	DISTANCE
L1	S89°06'08"E	90.00'
L2	N89°37'16"E	315.57'
L3	N86°37'52"E	346.70'
L4	S04°04'41"E	201.67'
L5	S04°58'44"E	301.50'
L6	S01°48'47"E	900.89'
L7	S01°33'31"E	500.40'
L8	S00°43'54"W	596.26'
L9	S88°14'17"W	866.31'

# LEGEND

R.O.W. - RIGHT OF WAY

**WOOD/PATEL**

2051 West Northern  
Phoenix, AZ 85021  
Phone: (602) 335-8500  
Fax: (602) 335-8580  
PHOENIX • MESA • TUCSON



EXPIRES 03-31-11



## EXHIBIT "A"

BELLA VILLAGIO  
PROPOSED GROSS AREA  
REVISED 05-25-10

WP# 093454

PAGE 2 OF 2

NOT TO SCALE

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2908L01R-DB\DWG\2908L01RR.DWG

## **Appendix B – Ordinance Bella Villagio PAD**

**Appendix C**  
**Bella Villagio Privately Administered Design Guidelines**  
**(Reserved)**



## **Appendix D – Citizen Participation Report**



**Bella Villagio**  
9801 West Bethany Home Road

**Rezoning**  
Application # GPA 08-02  
ZON 08-11

**Citizen Participation**  
**Final Report**

10/22/08

**Applicant/ Representative:**

Nick Wood  
Snell & Wilmer L.L.P.  
One Arizona Center  
Phoenix, Arizona 85004  
602.382.68638 (office)  
602.382.6070 (facsimile)  
Email: [nwood@swlaw.com](mailto:nwood@swlaw.com)

**Property Owner Contact:**

Stadium Holdings, LLC  
P.O. Box 8811  
Rancho Santa Fe, California 92067

**Land Planner:**

LVA Urban design Studio  
Mr. Alan Beaudoin  
120 S. Ash Avenue  
Tempe, Arizona 85281  
480 994 0994 (office)  
Email: [abeaudoin@lvadesign.com](mailto:abeaudoin@lvadesign.com)

**Prepared by:**  
**Snell & Wilmer LLP**

# Bella Villagio

**Project Location:** Project consists of approximately 47 gross acres located at the southeast corner of 99<sup>th</sup> Avenue and Bethany Home Road; 9801 West Bethany Home Road

This document is a follow-up report that describes the outcome of the citizen participation efforts that were proposed to City of Glendale Planning Staff and approved on 6/12/08 in the Bella Villagio Citizen Participation Plan.

## Project Description

The purpose of the Citizen Participation Plan is to inform citizens, property owners, registered neighborhoods, schools and businesses in the vicinity of the site of an application involving the rezoning of approximately 47 acres of land from A-1 (Agricultural) to PAD (Planned Area Development) zoning. The proposed rezoning will permit a mixed-use development that consists of office, retail and residential land uses.

Bella Villagio is located at the southeast corner of 99<sup>th</sup> Avenue and Bethany Home Road in the City of Glendale, Arizona. Comprised of approximately 47 gross acres, Bella Villagio is bordered by Bethany Home Road to the north, Missouri Avenue alignment to the south, 99<sup>th</sup> Avenue to the west, and Loop 101 to the east. The site is provided with paved vehicular access both from 99<sup>th</sup> Avenue and Bethany Home Road. A sidewalk exists on the south side of Bethany Home Road. Utilities are readily available, and the site is currently undeveloped.

Bella Villagio is located within a high visibility corridor complimented by 1/2 mile of Loop 101 freeway frontage at the Bethany Home diamond interchange. This interchange is one of the main entrances to the Glendale Sports District. Bella Villagio will be oriented internally and offers a unique balance of entertainment, office, housing, dining and retail uses in an intimate environment. Strong pedestrian connections to the University of Phoenix Stadium, Westgate, and CBD-1 01 via crosswalks are offered at the NE and NW corners of the site. Bella Villagio offers a diverse mix of activities such as employment, shopping and dining that are accessible to the pedestrian/bicyclist that reduce the need for vehicular traffic.

Bella Villagio will benefit from recent and planned surrounding development of numerous economic catalysts within its area of influence. University of Phoenix Stadium, Jobing.com Arena, Westgate City Center, and the future spring training facility for the Chicago White Sox and Los Angeles Dodgers are all located a short walking distance from the site. The City of Glendale Municipal Airport (LUX Air) is located approximately one and a half miles west of the site, to serve aviation related needs of Bella Villagio's future residents, tenants and visitors. The purpose of this application is to request a zone change from Agricultural (A1) to Planned Area Development (PAD). Using PAD zoning, Bella Villagio will provide a unique urban, mixed-use environment that will be a "must see" destination in Glendale, Arizona.

## **Project Data \***

\* Totals subject to change as result of discussions with City of Glendale. Data table to be revised accordingly

450 loft dwelling units  
1,295 condominium dwelling units  
167,000 square feet of retail space  
124,800 square feet of restaurant space  
300 hotel rooms  
963,700 square feet of office space

Total build out of Bella Villagio will take place in 5 phases over the course of approximately 25 years. The first stages of development will occur at the north end of the site at Bethany Home Road with each ensuing phase being developed toward the southern end of the site.

## **Overview of Citizen participation Techniques**

### **Notification Letter**

On 6/17/08 invitations to a neighborhood meeting were sent via first class mail to the 73 people identified on page 5 as “stakeholders”. A copy of the Bella Villagio conceptual land use plan was included. Recipients were invited to contact either Moses Eason, Urban Planner at Snell & Wilmer or Shabbeer Shaik, City of Glendale Planner with any questions or concerns. A copy of the letter is included as exhibit A.

### **Stakeholder Contact**

Two phone calls were received by Moses Eason between the time the letter was mailed and the neighborhood meeting occurred. Both phone callers were simply inquisitive about the project and neither party related any concerns or objections.

6/19/08 – Phone call received by Moses Eason from Marcia (last name not given) of Arizona Department of Transportation with inquiry about letter received regarding meeting. M. Eason explained zoning request and neighborhood meeting invitation letter. No other issues were discussed.

6/24/08 – Phone call received by Moses Eason from a unanimous party inquiring whether recipients of notification letter were required to attend neighborhood meeting. M. Eason explained that attendance at the meeting was voluntary. Caller then ended call.

### **Neighborhood Meeting**

A neighborhood meeting was held on 6/25/08 at Desert Mirage Elementary School. The meeting was hosted by Zoning Attorney Nick Wood and LVA’s Alan Beaudoin. Several other members of the Bella Villagio design team including the property owners were also present in case questions relative to their expertise arose. Additionally Councilwoman Joyce Clark and Glendale Planner Shabbeer Shaik were also present at this meeting. Of the 73 people invited, 9 attended the neighborhood meeting. A copy of the meeting sign-in sheets including

names and contact information is included in this report as exhibit “C”. It should be noted that only 7 of the attendees chose to put their information on the sign-in sheet. The meeting lasted approximately 1.5 hours. Below are the topics and concerns are discussed at the meeting, individual names of the attendees are not attached to specific comments in this report, instead they are collectively noted as “neighbor”.

## Meeting Agenda

- Introduction to developer and design team by Nick Wood
- Briefing on history of surrounding and future development by Nick Wood
- Walkthrough of proposed project by N. Wood and Alan Beaudoin via PowerPoint presentation.
- Floor open to questions/ comments from attendees

## Summary of dialogue at neighborhood meeting

**Neighbor:** One of the 9 attending neighbors, specific names not attached to comments

**Clark:** Glendale Councilwoman Joyce Clark

**Wood:** Zoning Attorney Nick Wood, esq. of Snell & Wilmer LLP

**Langbehn:** Brent Langbehn; Stadium Holdings, Property owner/Developer

**Bashkingy:** Norm Bashkingy; Stadium Holdings, Property owner/Developer

**Shaik:** Shabeer Shaik; City of Glendale Planning Department

Neighbor 1: Likes the development in area and what is being proposed. “Build it soon”

Clark: Will the residential portion of the project be apartments or condos?

**RESPONSE** (Wood): While housing type may be market driven, apartments are highly unlikely due to the economics of the project.

Clark: For high density to be successful, plans for goods/services must be in project. How can you insure that services will be available?

**RESPONSE** (Bashkingy): The majority of the units are in the final phase. This project relies on convenience. The development of surrounding projects like Mainstreet, CBD101, etc. should help create synergy for this area and our project.

Langbehn: The inspiration for this project and the design is based off of Country Club Plaza in Kansas City. It was the first mixed-use center in the U.S and was built in the 1920’s. That project blends uses very well and creates an environment that has longevity.

Neighbor 2: How will each part of the project “fill up”? All construction at once?

**RESPONSE** (Bashkingy / Beaudoin): Explains phasing schedule

Neighbor 3: Is there wiggle room in the plan to respond to economic changes? Page 35 of the PAD outlines the phasing process and page 21 mentions flexibility in land use adjustments,

how does this flexibility work? Are these adjustments just accepted or is there an approval process?

**RESPONSE** (Wood): Phasing allows minor changes in the development plan for timing of phases. However, we must get City approval for any significant changes if there are unforeseen circumstances.

Clark: What about the kids living within the project? Where do they play? Project should reach all demographics.

**RESPONSE** (Beaudoin): The project itself is geared more towards young professionals and empty nesters. However, we have designed a few small open areas and a very large green park space in the middle of the project. It is hard to grasp the scale of the park on the plan but it is very large. Reference Landscape plan.

Clark: Will solar power be used?

**RESPONSE** (Beaudoin): We are considering sustainability and alternative energy uses but haven't looked into it very deeply yet.

Neighbor 2: Will effluent recycling be used?

**RESPONSE** (Wood): We recently got word that the City of Glendale will be putting the infrastructure for wastewater treatment in as a C.I.P. We are not aware however of the timing for this.

Neighbor 3: I understand that the uses defined in the PAD cannot change, but can they be relocated throughout the project?

**RESPONSE** (Beaudoin): Building configurations can change with approval from the Zoning Administrator but total numbers can significantly change; for example, maximum # of dwelling units.

Shaik: This is correct, the numbers are capped but there is some flexibility allowed.

Neighbor 4: Will there be underground parking or surface?

**RESPONSE** (Beaudoin): Only 10% of the total will be surface parking

Neighbor 4: Make sure that a few extra large spaces are available for the handicapped

**RESPONSE** (Shaik): The city of Glendale will make them provide a number of ADA parking spaces

### **Assessment of Neighborhood Meeting**

At the end of the meeting the attendees all seemed to be in support of the project with the possible exception of neighbor 3 who stated that the plan may be too "optimistic" in its goals, especially when considering the current state of the economy. Overall the proposed land use, architecture, and project goals were very well received.

In the Citizen Participation Plan, we outlined two possible issues that surrounding neighbors could see as potential issues as outlined below.

## 1. Development of significant height near airport

Developing structures of any significant height within such close proximity to the Glendale Municipal Airport may be raised as a concern. The applicant will address this by explaining that the proposed project location is parallel to the airport runway and all flight paths. Furthermore, the FAA has protocols that must be followed prior to the construction of structures in proximity to an airport or airfield.

## 2. Development of a previously “rural” area

Another issue that may be of concern to certain surrounding residents is that the once low-density agricultural farm feel of this area is being diminished. While this may be a factual statement we also believe that residents have been anticipating such development for some time, especially with the recent addition of the Westgate development and major sporting facilities to the east. This area is quickly becoming a major entertainment hub for the entire metropolitan area and is seeing rapid growth. We will assure the residents that even though our proposed development is rapidly arriving, it is a well thought out plan that will enhance the neighborhood character rather than detract from it.

Both of these issues were discussed during Nick Wood's presentation to the attendees and there were no responding comments or issues raised by the attendees.

## Future Community Outreach

At the time this report is being drafted there are some slight changes to the proposed development that are being considered. While these changes (if implemented) may result in an amendment to the proposed PAD, we do not foresee a need for an additional meeting or community outreach since the changes effectively lessen the impact to the surrounding neighborhood. In the event that significant changes or amendments to the proposed development arise, letters will be mailed to the neighbors describing the changes and inviting further comments.

## Schedule:

- Submittal of Rezoning Application- April 7
- Citizen Participation Plan Implementation date-June 12
- Notification of proposal to adjacent property owners- June 17
- Neighborhood Meeting- June 25
- Submittal of Final Citizen Participation Report- October 22

## Stakeholders

The following list denotes the persons who may be affected or have an interest in the application, including all landowners within 300 feet of the subject property. The following list meets all notification requirements as prescribed by the City of Glendale in the “Citizen Participation Plan-Requirements and Recommendations” document dated 4/10/08. See exhibit “A” for location map.



## Notified Parties

### Property Owners within 300 Feet of Subject Property

GLENDAL CITY OF  
5850 W GLENDALE AVE  
GLENDAL, AZ 85301

JOHN F LONG FAMILY  
REVOCABLE LIVING TRUST  
5035 W CAMELBACK RD  
PHOENIX, AZ 85031

S R P A I & P D  
PO BOX 1980  
PHOENIX, AZ 85001

OPUS WEST CORPORATION  
2555 E CAMELBACK RD  
STE 800  
PHOENIX, AZ 85016

JOHN F LONG FAMILY  
REVOCABLE LIVING TRUST  
5035 W CAMELBACK RD  
PHOENIX, AZ 85031

BETHANY LAND PARTNERS  
LLC  
8701 S HARDY DR  
TEMPE, AZ 85284

ARIZONA STATE DEPT OF  
TRANSPORTATION  
205 S 17TH AVE STE 612E  
PHOENIX, AZ 85007

UNITED STATES OF AMERICA  
3707 N 7TH ST  
PHOENIX, AZ 85014

CARDINAL LAND HOLDINGS  
II LLC  
1879 E LONGVIEW  
SALT LAKE CITY, UT 84124

## Jurisdictions

### City of Glendale

5850 West Glendale Ave  
Glendale, Arizona 85301

## Neighborhood Associations/Organizations

No Neighborhood Associates are within the notification boundary

## Interested Parties

### Yucca District and Citywide

Karen Aborne  
Or current resident  
7318 W Griffin Avenue  
Glendale, AZ 85303

Joyce Clark  
Or current resident  
8628 W Cavalier Drive  
Glendale, AZ 85305

John Edmonson  
Or Current Resident  
4618 W Montebelle Ave  
Glendale, AZ 85301

Rebecca Allen  
Or current resident  
6128 W Beverly Lane  
Glendale, AZ 85306

Harriet Agius  
Or current resident  
7132 W Grovers Ave  
Glendale, AZ 85308

Trish Edwards  
Or Current Resident  
8626 N 53<sup>rd</sup> Ave  
Glendale, AZ 85302

Doug Attig  
Or current resident  
8946 W Stella Ave  
Glendale, AZ 85305

Mike Depinto  
Or Current Resident  
5432 W Seldon Ave  
Glendale, AZ 85302

Deborah Flowers  
Or Current Resident  
Po Box 13322  
Phoenix, AZ 85002

B. Garland  
Or Current Resident  
5012 N 64<sup>th</sup> Drive  
Glendale, AZ 85301

Debra Kist  
Or Current Resident  
5643 W Mountain View Rd  
Glendale, AZ 85302

Kathleen Lewis  
Or Current Resident  
7456 W Aurora Dr  
Glendale, AZ 85308

Bill Norgren  
Or Current Resident  
8608 W Cavalier  
Glendale, AZ 85305

Chris Reaka  
Or Current Resident  
7536 W Carole Ln  
Glendale, AZ 85303

Magi Shreck  
Or Current Resident  
10673 W Rancho Dr  
Glendale, AZ 85307

Tom Traw  
Or Current Resident  
6024 N. 83<sup>rd</sup> Ave  
Glendale, AZ 85303

Daniel Drew, PC  
Or Current Resident  
4502 W. Morten Ave.  
Glendale, AZ 85301

Almon Davis  
Or Current Resident  
6005 W Monte Cristo Ave  
Glendale, AZ 85306

Susan Ferrell  
Or Current Resident  
4646 W Krall st  
Glendale, AZ 85301

Chris Hayes  
Or Current Resident  
5355 W Acapulco  
Glendale, AZ 85306

Michele Tennyson  
Or Current Resident  
22360 N 59<sup>th</sup> Lane  
Glendale, AZ 85310

Mark Garratt  
Or Current Resident  
7605 N 72<sup>nd</sup> Ave  
Glendale, AZ 85303

John Koldziej  
Or Current Resident  
6258 N 88<sup>th</sup> Lane  
Glendale, AZ 85308

Ronald & Kay Longcor  
Or Current Resident  
8022 W Montebello Ave  
Glendale, AZ 85303

Rudy Orta  
Or Current Resident  
7985 W. Citrus Way  
Glendale, AZ 85303

Gary Rolf  
Or Current Resident  
8247 W Orange Ave  
Glendale, AZ 85303

Mary Smith  
Or Current Resident  
8968 W Citrus Way  
Glendale, AZ 89305

Susan Tosh  
Or Current Resident  
7422 N 79<sup>th</sup> Lane  
Glendale, AZ 85303

Bob Bohart  
Or Current Resident  
5603 W Belmont  
Glendale, AZ 85301

Judy Farr  
Or Current Resident  
6527 W Hill Lane  
Glendale, AZ 85310

Dennis Gerhard  
Or Current Resident  
10613 N 48<sup>th</sup> Ave  
Glendale, AZ 85304

John and Sue Jones  
Or Current Resident  
18658 N 78<sup>th</sup> DR  
Glendale, AZ 85308

Arline Yzquierdo  
Or Current Resident  
8525 N 52<sup>nd</sup> Dr  
Glendale, AZ 85302

A.I Babineau  
Or current resident  
4815 W Cochise DR  
Glendale, AZ 85302

Terry Lane  
Or Current Resident  
6103 N 87<sup>th</sup> Lane  
Glendale, AZ 85305

Paul Monaghan  
Or Current Resident  
5292 W Lone Cactus  
Glendale, AZ 85308

Ron Prothero  
Or Current Resident  
6316 W Keim Dr  
Glendale, AZ 85301

Richard Schwartz  
Or Current Resident  
8232 W Montebello Ave.  
Glendale, AZ 85303

Michael Socaciu  
Or Current Resident  
8574 West Berridge Lane  
Glendale, AZ 85305

Rod Beal  
Or current resident  
18869 N 71<sup>st</sup> Lane  
Glendale, AZ 85308

Linda Hall  
Or Current Resident  
5646 W Pala Verde Ave  
Glendale, AZ 85302

Barbara Fennema  
Or Current Resident  
18033 N 83<sup>rd</sup> Dr  
Glendale, AZ 85382

Diane Hand  
Or Current Resident  
5349 W Acapulco  
Glendale, AZ 85306

Mickey Lund  
Or Current Resident  
5708 W Royal Palm Rd.  
Glendale, AZ 85302

Georgia Knox  
Or Current Resident  
17214 N 66<sup>th</sup> Ter  
Glendale, AZ 85308

Cheri McCloskey  
Or Current Resident  
5336 W Beck Ln  
Glendale, AZ 85306

Valley Partnership  
Or Current Resident  
2817 E Camelback Rd  
Phoenix, AZ 85016

William Ray  
Or Current Resident  
7305 W Angela Dr  
Glendale, AZ 85308

Mel Smith  
Or Current Resident  
PO Box 12572  
Glendale, AZ 85318

Dave Trish  
Or Current Resident  
6773 W Via Montoya Dr  
Glendale, AZ 85310

Carrie & Mitch Meek  
Or Current Resident  
6563 W Piute Ave  
Glendale, AZ 85308

Laura Rakoczynski  
Or Current Resident  
9403 N 50<sup>th</sup> Dr  
Glendale, AZ 85302

The Arizona Republic  
17235 N 75<sup>th</sup> Ave  
STE A 100  
Glendale, AZ 85308

Bonnie Steiger  
Or Current Resident  
5325 W Acapulco  
Glendale, AZ 85306

Ronald Vaillancourt  
Or Current Resident  
9482 N 50<sup>th</sup> Dr  
Glendale, AZ 85302

NW Valley News  
Or Current Resident  
10102 Santa Fe Dr  
Sun City, AZ 85351

Arrowhead Ranch  
Independent  
10220 W Bell Rd STE 116  
Sun City, AZ 85351

Diana M Seger  
Or Current Resident  
6132 W Townley Ave  
Glendale, AZ 85302

Don Tate  
Or Current Resident  
6735 W Robin Ln  
Glendale, AZ 85310

Claire Waltman  
Or Current Resident  
4730 W Northern Ave  
STE 2067  
Glendale AZ, 85301

#### **Additional Notification**

Shabbeer Shaik  
Planning Department  
5850 W Glendale Ave  
STE 212  
Glendale, AZ 85301

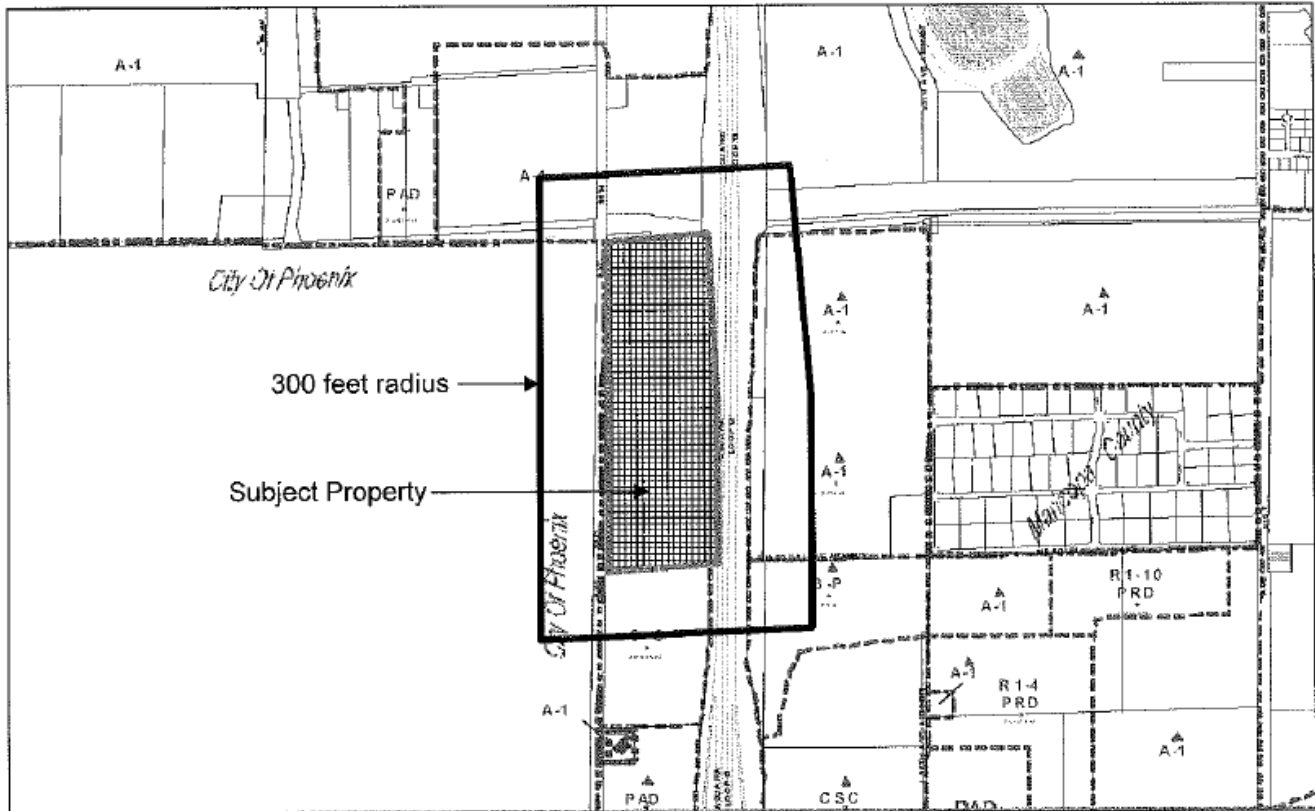
Glendale City Council Office  
Council Member Clark  
5850 W. Glendale Ave.  
Glendale, AZ 85301

Glendale City Council  
Office  
Mayor Scruggs  
5850 W. Glendale Ave.  
Glendale, AZ 85301

Diana Figueroa, Interim  
Management Aide  
Planning Department  
5850 W Glendale Ave  
Glendale, AZ 85301

## Exhibit A

Map showing boundary of property owners with 300 feet. Map provided by City of Glendale.



## **Exhibit B – Sample Notification Letter**

One Arizona Center  
Phoenix, AZ 85004-2202  
602.382.6000  
602.382.6070 (Fax)  
www.swlaw.com

Moses Eason  
Urban Planner  
602.382.6779  
meason@swlaw.com

DENVER  
LAS VEGAS  
ORANGE COUNTY  
PHOENIX  
SALT LAKE CITY  
TUCSON

June 17, 2008

RE: Rezoning / General Plan Amendment Application  
GPA 08-07 / ZON 08-11 Bella Villagio

Dear Neighbor,

The purpose of this letter is to inform you of our recently submitted application to the City of Glendale to amend the General Plan and rezone approximately 47 acres of land located at the Southwest corner of 99<sup>th</sup> Avenue and Bethany Home Road. The proposal is to rezone this land from A-1 (Agricultural) to PAD (Planned Area Development) zoning and amendment to General Plan designation from BP (Business Park) to EMU (Entertainment Mixed-Use). The proposed rezoning and General Plan amendment will permit a mixed-use development that consists of office, retail and residential land uses. A conceptual site plan has been enclosed with this letter for your reference.

We would like to invite you to attend an informative neighborhood meeting to discuss any questions or concerns you may have regarding this development. The following meeting has been scheduled:

**Desert Mirage Elementary School  
8605 West Maryland Ave, Glendale, AZ  
Room G-5  
Wednesday, June 25 at 6:30 p.m.**

We look forward to discussing this proposal with you and are eager to address any concerns you may have. Please feel free to contact me if you have any questions or concerns about this project. I can be reached at 602.382.6779 or meason@swlaw.com. Additionally, you may contact Shabbeer Shaik, of the City of Glendale Planning Department at 623.930.2597 or sshabbeer@glendaleaz.com.

Sincerely,

Snell & Wilmer



Moses Eason



Loop 101 Freeway

Bethany Home Road

99th Avenue

### Site Data:

Gross Acres: 46.54 ac.  
 Net Acres: 41.49 ac.  
 Total Building Area: 3,232,300 s.f.  
 Total FAR: 1.6

### Development Plan

450 loft dwelling units  
 1,295 condominium dwelling units  
 167,000 square feet of retail space  
 124,800 square feet of restaurant space  
 300 hotel rooms  
 963,700 square feet of office space

### Phasing Plan

2009-2014: Phase 1A (Building A,B)  
 Phase 1B (Building C,D,E,F)  
 2014-2018: Phase 2 (Building G,H, I)  
 2018-2023: Phase 3A (Building J,K,L)  
 Phase 3B (Building M)  
 2023-2027: Phase 4 (Building P)  
 2027-2031: Phase 5 (Building N,O)

**LVA** urban design studio  
 land planning • landscape architecture

120 south 1st avenue • mesa, arizona 85201 • phone: 480.944.0944

**Bella Villagio**

Conceptual Site Plan

Glendale, AZ.

Date: 06/17/06  
 Job No.: 0346  
 Drawn: DVA  
 LVA  
 Revised:



PREPARED FOR CONSULTATION  
 CONSULTANT: LVA

**BELLA VILLAGIO**  
 9801 W. Bethany Home Road  
 Neighborhood Open House  
 Desert Mirage Elementary School  
 8605 West Maryland Avenue  
 Wednesday, June 25, 2008  
 6:30 pm

Name	Address	Phone #	Email Address
MOSES EASON	ONE ARIZONA CENTER PHX, AZ 85004	602.382.6779	MEASON@SWLAW.COM
John Kolodziej	6289 N 89th Ave	623-872-8641	jkolodziej@cox.net
ED GOSNEY	6194 N 89th AV	623 810 6054	EDGOSNEY@'1
Bobbi Garland	5011 North 64th Drive	623-846-8004	

6/25/08

Name	Address	Tel. Number
DAN STREYLE	3131 E. CAMELBACK SUITE 210 PHOENIX, AZ 85016	602-535-5338
ED GOSNEY	6194 N 89th AV GLENDALE 85305	623-810-6054
John Kolodziej	6258 W 88th Lane Glendale AZ	623-910-0670
Bobbie Garland	5012 North 64th Drive	623-846-8009

## **Appendix E – Traffic Impact Analysis**

A Traffic Impact Analysis has been prepared by Civtech and aproved by the City of Glendale Transportation Department. The report, dated July 2008, is provided under separate cover.

## **Appendix F – Water and Sewer Report**

A Water System Analysis has been prepared by Kimley-Horn and Associates Incorporated and approved by the City of Glendale Engineering Department. The report, dated January 2008, is provided under separate cover.

A Sanitary Sewer Systems Analysis has been prepared by Kimley-Horn and Associates Incorporated and approved by the City of Glendale Engineering Department. The Report, dated January 2008, is provided under separate cover.

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## **Appendix G – Drainage Report**

A Preliminary Drainage Report has been prepared by Kimley-Horn and Associates Incorporated and approved by the City of Glendale Engineering Department. The Report, dated March 2008, is provided under separate cover.



## **Appendix H – City of Glendale Commercial Design Expectations**

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**CITY OF GLENDALE  
COMMERCIAL DESIGN EXPECTATIONS  
COMMUNITY DEVELOPMENT GROUP  
ADOPTED MARCH 8, 1988**

**I. PURPOSE**

The City of Glendale has a goal of improving the quality of its commercial projects and has identified a number of characteristics which begin to define what is meant by the term "quality". The list in Section III will be used to advise developers, property owners, and users on the criteria to be used by the City in reviewing commercial development plan applications.

The expectations set forth in this document are purposefully general in nature, and avoid dictating specific design treatments. This has been done with the belief that creativity and design expertise lies more appropriately with the private sector, and that the proper role for the City is to ensure uniform and fair application of the design expectations.

It is not the intent of the City to restrict commercial development within Glendale, nor to cause any undue economic hardship to the development industry. If a developer can prove that one or more of these expectations is inapplicable to his situation, appropriate standards can then be negotiated with the Community Development Group.

**II. INTRODUCTION**

These design expectations have been developed for use in retail and office projects in the C-0, C-1, C-2, C-3, PAD, industrial and other similar zoning districts. Because of the extreme variance in the size and the nature of commercial projects in the City, it is not possible to develop a list which can be used for every site, and it should be noted that not all of these expectations will apply to every development plan application. Some of the expectations describe situations, which will only occur in large projects and will clearly not be applicable to small business on a single parcel. Other expectations will only be used for specific types of commercial uses or at specific locations. However, the overall expectation of quality can still be achieved, regardless of project size, type or location. Questions of applicability of specific expectations shall be subject to negotiation between the applicant and the Community Development Group for the City of Glendale.

For convenience, the expectations are grouped into four general categories: Site planning, architecture, landscape architecture, and materials and colors.

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### **III. DESIGN EXPECTATIONS**

#### **A. Site Planning**

1. Create a pedestrian-oriented environment within projects with usable outdoor areas, safe walkways separated from vehicles, and protection from weather through the use of covered walkways, canopy trees, arcades or other methods, which may serve the same purpose.
  2. Where land use and street patterns allow, integrate shopping areas with adjacent residential land uses to provide easy pedestrian and vehicular access.
  3. Orient and locate drive-through users where they will not conflict with pedestrian routes or overall project circulation.
  4. Provide safe walking routes other than using driveways and parking aisles.
  5. Provide parking areas which reduce the perceived scale of the project and create reasonable walking distances to buildings.
  6. In large centers, vary the direction of parking aisles or angle them to the street.
  7. In centers, create different angles of buildings to the street to avoid monotony in sitting unless other architectural treatment can achieve a similar purpose.
  8. Minimize access points to arterial streets in accordance with the Engineering Design Guidelines.
  9. In centers, access uses (individual structures) from interior drives and not directly to the adjoining streets.
  10. Do not directly serve parking from major entry drives in large projects to reduce conflicts that impede the overall traffic flow.
  11. Where practical, integrate and provide vehicular connections from existing commercial uses to new adjoining projects.
  12. Provide an adequate amount of parking but avoid creating excessive unused parking areas.
  13. Except in the downtown area, maintain a minimum building setback ratio from the street right-of-way of one foot for each one foot of building height.
  14. Locate parking areas and driveways behind the building setback line, except where necessary to access the site, thereby creating a more attractive street appearance by providing a view of landscaping and buildings, and minimizing the view of cars and parking areas.
  15. Create a view of more substantial, permanent structures at intersections rather than of accessory structures, canopies, cars, and parking areas.
  16. Locate and arrange delivery and service drives to have minimal impact on adjoining land uses to reduce noise, traffic, odors, and lights.
  17. Locate trash enclosures in less visible places; provide gated enclosures.
-

18. Where practical, place ground-mounted mechanical equipment, utility boxes, signal boxes, double check valves and other similar items to minimize public visibility.

**B. Architecture**

1. Use high-quality, durable materials.
2. Provide complete use of materials, special features and trim throughout the project. Treat all sides of buildings that are visible to adjoining uses.
3. Where feasible, use architectural features to enhance energy conservation.
4. Design freestanding buildings and accessory structures to conform to or complement the main buildings in color, materials, architecture, and building scale.
5. Projects which develop around an existing use should be designed to be compatible with that existing use. If possible, remodel the existing use to blend with the new project.
6. Create visual interest through articulation of wall planes, variation of roof forms and other similar methods such as angling buildings.
7. Finish building details, including trimming of all windows and doors, painting or anodizing of all exposed metal, and integration and screening of mechanical elements with the building architecture.

**C. Landscape Architecture**

1. Provide a substantial landscaping feature at arterial intersections with special planting and hardscape treatment to improve the street appearance.
  2. Emphasize entry drives with landscaped medians, water features, sculptures, or other similar special treatments. Continue this treatment with special plazas or landscaped areas where the drive meets the buildings.
  3. Provide outdoor seating areas with shade, trash receptacles and other features to encourage pedestrian use. Orient for winter sun and include seasonal color in plantings.
  4. Provide for water conservation in landscape design. Locate any consumption vegetation and water features in pedestrian areas.
  5. Select plant materials that are suited for the proposed use and compatible with proposed architecture in color, texture, scale and environmental requirements.
  6. Provide planters with canopy trees between parking aisles for shade and visual relief of asphalt areas.
  7. Provide substantial landscaping along arterial streets in accordance with the Street Landscape Master Plan.
  8. Provide a comprehensive lighting plan with a combination of higher light structures for drives and lower structures near parking spaces and other pedestrian areas in conformance with the City's Lighting Ordinance.
-

9. Locate security or parking lot lighting in landscaped islands and design to blend with project. Orient and shield lighting to not intrude into adjacent areas.
10. Provide significant plantings adjacent to buildings to accent building features if soils reports will allow.
11. Use special paving materials for pedestrian areas and crossings. Coordinate paving materials with building materials.
12. Design retention areas to meet technical requirements while still providing attractive landscaped areas with a natural appearance.
13. Provide special accent planting around freestanding signs.
14. Provide a landscape design which will maintain site visibility adjacent to driveways and intersections.
15. Screen parking and drives from the street with berms, walls, and landscaping.
16. Construct screen walls along streets, at property boundaries and around trash receptacles of quality materials designed to blend with buildings. Provide relief to long walls through staggering, capping, inlays, columns, and texturing.
17. Provide walls and dense landscaping strips in scale with the project adjacent to residential areas, where needed for screening purposes.
18. Incorporate public art in larger projects.
19. Where appropriate, screen ground-mounted mechanical equipment, utility boxes, signal boxes, double check valves, trash enclosures and other similar items with landscaping while still allowing access for the appropriate utility.

#### **D. Materials and Colors**

1. Provide a palette of proposed materials and colors with development plan application. Select materials which are durable and appropriate for their intended use.
2. Choose colors which relate well to one another, to the proposed building and landscaping materials, and which are appropriate to the architecture and the surroundings.
3. Use quality materials in freestanding signs to match buildings. Use individual letters for wall signs.
4. Avoid highly-reflective materials or glare inducing colors.
5. Detail projects through the use of accent materials such as tile, brick or decorative masonry. Avoid painted accents.
6. Use natural materials appropriate to the southwest desert setting; avoid the use of artificial or simulated materials.

## **Appendix I – Home Occupation Class I Standards**



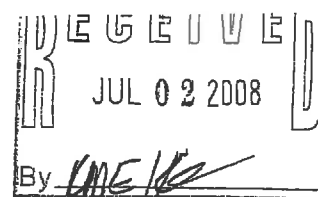
## City of Glendale Zoning Ordinance

### 7.304 Home Occupations.

A. Home Occupations (Class I) are accessory uses in all residential districts. An occupation or profession is considered a home occupation when it:

1. Is conducted entirely from within the principal residence with no activity or storage in the garage or other accessory buildings, or in other outdoor areas;
  2. Is conducted only by a resident or residents of the dwelling unit (no employees other than the family), no outside employees visit the site;
  3. Does not have any customer traffic or more than one (1) commercial delivery vehicle a day coming to the residence related to the home occupation;
  4. Produces no offensive noise, vibration, smoke, dust, odors, heat, or glare beyond the boundaries of the property;
  5. Is clearly incidental and secondary to the use of the dwelling unit for residential purposes with storage for the use limited to a maximum of five (5) percent of the total floor area;
  6. Has no signs or other exterior evidence of its existence;
  7. A valid City sales tax and business license is maintained for business purposes;
  8. Activity shall be limited to the hours between 7:00 a.m. and 10:00 p.m.; and
  9. Any parking incidental to the home occupation shall be provided on site.
-

**Certification of Adequate School Facilities  
for  
Residential Rezoning – Glendale, Arizona  
Revised November 2001**



cc: Rob Yogo, Richard Martinez

*Glendale City Ordinance No. 2104 applies to applications for residential rezoning which will increase the projected number of students for any school district's attendance area. This includes applications for rezoning which change zoning classifications from non-residential to residential and rezonings, which change residential zoning classifications to a higher density classification.*

**To be completed by City Staff**

City Application Number: GPA08-02/ZON08-11

City Staff Contact: Shabbeer Shaik Telephone: 623-930-2598

Property Address: 9801 W. Bethany Home Road

Property Size: 47 acres

Existing Zoning: A-1 (Agricultural) Proposed Zoning: PAD (Planned Area

Development-for retail, office, residential, restaurants, and hotel)

Existing Dwelling Unit Potential: Single Family: 0 Multi-Family: 0

Proposed # of Dwelling Units: Single Family: 0 Multi-Family: 1295 + 450 loft units

Net Increase in Dwelling Units from Existing Zoning:

Single Family: 0 Multi-Family: 1295 + 450 loft units

Affected School District(s): Elementary: Pendergast School District

Middle: N/A

High School: Tolleson Union High School District

Impacted School(s): Elementary: Desert Mirage Elementary

Middle: N/A

High School: Tolleson High School

Applicant/Contact for Rezoning Application: Allan Beaudoin, LVA Design Group.

Address: 120 South Ash Avenue, Tempe, Arizona 85281

Telephone: 480-994-0994 Fax: 480-994-7332

Sent for Certification to: Dr. Kino Flores, Superintendent

Referred Date: June 17, 2008

Response Deadline: July 17, 2008 *If no response is received by this date, it will be assumed that there are adequate school facilities for the proposed rezoning.*

Response Date: 07.02.08

**Certification of Adequate School Facilities  
for  
Residential Rezoning – Glendale, Arizona  
Revised November 2001**

**To Be Completed By School Official (Choose One)**

1. ☒ The school district has adequate facilities to accommodate the projected number of new students within the school district attendance area that will be generated by this rezoning request.
2. ☐ The school district will have adequate school facilities by a planned capital improvement to be constructed within one (1) year and located within the school district's attendance area affected by this residential rezoning request.
3. ☐ The school district has determined an existing or proposed charter school can provide adequate school facilities.
4. ☐ The applicant and the school district have entered into an agreement to provide, or help to provide, adequate school facilities in a timely manner within the school district's attendance area affected by this residential rezoning request. Details of this agreement are not required.
5. ☐ The school does not have adequate school facilities to accommodate projected growth attributable to the rezoning.

If response number five (5) is selected, please provide specific details regarding the factors contributing to the lack of adequate facilities as related to the School Facilities Board Guidelines. Indicate where facilities are not adequate. Attach additional details as necessary.

- |    |   |       |
|----|---|-------|
| A. | School Site                                     | _____ |
| B. | Academic Classroom Space                        | _____ |
| C. | Classroom Fixtures and Equipment                | _____ |
| D. | Libraries and Media Centers                     | _____ |
| E. | Auditoriums and Multipurpose Rooms              | _____ |
| F. | Technology                                      | _____ |
| G. | Transportation                                  | _____ |
| H. | Science Facilities                              | _____ |
| I. | Arts Facilities                                 | _____ |
| J. | Vocational Educational Education Facilities     | _____ |
| K. | Physical Education-Comprehensive Health Program | _____ |
| L. | Other School Facility Areas and Equipment       | _____ |
| a. | Compliance with Building Codes                  | _____ |
| b. | Building Systems                                | _____ |
| c. | Building Soundness                              | _____ |
| d. | Minimum Gross Square Footage                    | _____ |
| e. | Critical Health or Safety Issues                | _____ |

School District TOLLESON UNION HIGH SCHOOL DISTRICT  
 Representative Name (Please Print) DR. RINO V. FLORES  
 Representative Signature [Signature]  
 Title SUPERINTENDENT Date 7-2-08 Application No. 2007.02.11

The completed Certification of Adequate School Facilities should be forwarded to:

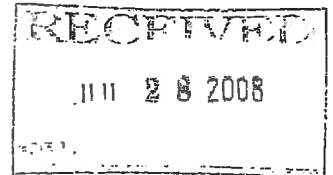
Shabbeer Shaik, Planner  
 City of Glendale Planning Department  
 5850 West Glendale Avenue, Suite 212  
 Glendale, Arizona 85301

**ENDERGAST SCHOOL DISTRICT**

**3802 N. 91<sup>st</sup> Avenue  
Phoenix, Arizona 85037**

Administrative Office (623) 772-2200  
Human Resources (623) 772-2230  
Human Resources Fax (623) 872-2250

Superintendent Fax (623) 877-8188  
District Office Fax (623) 877-3717  
Purchasing Fax (623) 877-4736



July 23, 2008

Shabbeer Shaik, Project Manager  
City of Glendale  
Development Department  
5850 West Glendale Avenue, Suite 212  
Glendale, AZ 85301

**Re: Bella Villagio Development, GPA08-02/ZON08-11**

Dear Mr. Shaik,

I have met with Snell and Wilmer regarding the Bella Villagio Development.

After review of the information, the Bella Villagio Development will have no significant impact to our district.

Sincerely,

A handwritten signature in dark ink, appearing to read "Ron Richards". The signature is fluid and cursive, written over the printed name.

Ron Richards  
Superintendent

nm

cc: Moses Eason, Snell and Wilmer

**"All children are capable of success....NO EXCEPTIONS"**

**Bella Villagio**  
9801 West Bethany Home Road

**Rezoning**  
Application # GPA 08-02  
ZON 08-11

**Citizen Participation**  
**Final Report**

10/22/08

**Applicant/ Representative:**  
Nick Wood  
Snell & Wilmer LLP.  
One Arizona Center  
Phoenix, Arizona 85004  
602.382.68638 (office)  
602.382.6070 (facsimile)  
Email: [nwood@swlaw.com](mailto:nwood@swlaw.com)

**Property Owner Contact:**  
Stadium Holdings, LLC  
P.O. Box 8811  
Rancho Santa Fe, California 92067

**Land Planner:**  
LVA Urban design Studio  
Mr. Alan Beaudoin  
120 S. Ash Avenue  
Tempe, Arizona 85281  
480 994 0994 (office)  
Email: [abeaudoin@lvadesign.com](mailto:abeaudoin@lvadesign.com)

**Prepared by:**  
**Snell & Wilmer LLP**

*Approved*  
CITY OF GLENDALE

PLANNING DEPARTMENT

*Shrik Shalika*

## Bella Villagio

**Project Location:** Project consists of approximately 47 gross acres located at the southeast corner of 99<sup>th</sup> Avenue and Bethany Home Road; 9801 West Bethany Home Road

This document is a follow-up report that describes the outcome of the citizen participation efforts that were proposed to City of Glendale Planning Staff and approved on 6/12/08 in the Bella Villagio Citizen Participation Plan.

### Project Description

The purpose of the Citizen Participation Plan is to inform citizens, property owners, registered neighborhoods, schools and businesses in the vicinity of the site of an application involving the rezoning of approximately 47 acres of land from A-1 (Agricultural) to PAD (Planned Area Development) zoning. The proposed rezoning will permit a mixed-use development that consists of office, retail and residential land uses.

Bella Villagio is located at the southeast corner of 99<sup>th</sup> Avenue and Bethany Home Road in the City of Glendale, Arizona. Comprised of approximately 47 gross acres, Bella Villagio is bordered by Bethany Home Road to the north, Missouri Avenue alignment to the south, 99<sup>th</sup> Avenue to the west, and Loop 101 to the east. The site is provided with paved vehicular access both from 99<sup>th</sup> Avenue and Bethany Home Road. A sidewalk exists on the south side of Bethany Home Road. Utilities are readily available, and the site is currently undeveloped.

Bella Villagio is located within a high visibility corridor complimented by 1/2 mile of Loop 101 freeway frontage at the Bethany Home diamond interchange. This interchange is one of the main entrances to the Glendale Sports District. Bella Villagio will be oriented internally and offers a unique balance of entertainment, office, housing, dining and retail uses in an intimate environment. Strong pedestrian connections to the University of Phoenix Stadium, Westgate, and CBD-101 via crosswalks are offered at the NE and NW corners of the site. Bella Villagio offers a diverse mix of activities such as employment, shopping and dining that are accessible to the pedestrian/bicyclist that reduce the need for vehicular traffic.

Bella Villagio will benefit from recent and planned surrounding development of numerous economic catalysts within its area of influence. University of Phoenix Stadium, Jobing.com Arena, Westgate City Center, and the future spring training facility for the Chicago White Sox and Los Angeles Dodgers are all located a short walking distance from the site. The City of Glendale Municipal Airport (LUX Air) is located approximately one and a half miles west of the site, to serve aviation related needs of Bella Villagio's future residents, tenants and visitors. The purpose of this application is to request a zone change from Agricultural (A1) to Planned Area Development (PAD). Using PAD zoning, Bella Villagio will provide a unique urban, mixed-use environment that will be a "must see" destination in Glendale, Arizona.



## **Project Data \***

450 loft dwelling units  
1,295 condominium dwelling units  
167,000 square feet of retail space  
124,800 square feet of restaurant space  
300 hotel rooms  
963,700 square feet of office space

\* Totals subject to change as result of discussions with City of Glendale. Data table to be revised accordingly

Total build out of Bella Villagio will take place in 5 phases over the course of approximately 25 years. The first stages of development will occur at the north end of the site at Bethany Home Road with each ensuing phase being developed toward the southern end of the site.

## **Overview of Citizen participation Techniques**

### **Notification Letter**

On 6/17/08 invitations to a neighborhood meeting were sent via first class mail to the 73 people identified on page 5 as "stakeholders". A copy of the Bella Villagio conceptual land use plan was included. Recipients were invited to contact either Moses Eason, Urban Planner at Snell & Wilmer or Shabbeer Shaik, City of Glendale Planner with any questions or concerns. A copy of the letter is included as exhibit A.

### **Stakeholder Contact**

Two phone calls were received by Moses Eason between the time the letter was mailed and the neighborhood meeting occurred. Both phone callers were simply inquisitive about the project and neither party related any concerns or objections.

6/19/08 – Phone call received by Moses Eason from Marcia (last name not given) of Arizona Department of Transportation with inquiry about letter received regarding meeting. M. Eason explained zoning request and neighborhood meeting invitation letter. No other issues were discussed.

6/24/08 – Phone call received by Moses Eason from a unanimous party inquiring whether recipients of notification letter were required to attend neighborhood meeting. M. Eason explained that attendance at the meeting was voluntary. Caller then ended call.

### **Neighborhood Meeting**

A neighborhood meeting was held on 6/25/08 at Desert Mirage Elementary School. The meeting was hosted by Zoning Attorney Nick Wood and LVA's Alan Beaudoin. Several other members of the Bella Villagio design team including the property owners were also present in case questions relative to their expertise arose. Additionally Councilwoman Joyce Clark and Glendale Planner Shabbeer Shaik were also present at this meeting. Of the 73 people invited, 9 attended the neighborhood meeting. A copy of the meeting sign-in sheets including

names and contact information is included in this report as exhibit "C". It should be noted that only 7 of the attendees chose to put their information on the sign-in sheet. The meeting lasted approximately 1.5 hours. Below are the topics and concerns are discussed at the meeting, individual names of the attendees are not attached to specific comments in this report, instead they are collectively noted as "neighbor".

### Meeting Agenda

- Introduction to developer and design team by Nick Wood
- Briefing on history of surrounding and future development by Nick Wood
- Walkthrough of proposed project by N. Wood and Alan Beaudoin via PowerPoint presentation.
- Floor open to questions/ comments from attendees

### Summary of dialogue at neighborhood meeting

**Neighbor:** One of the 9 attending neighbors, specific names not attached to comments

**Clark:** Glendale Councilwoman Joyce Clark

**Wood:** Zoning Attorney Nick Wood, esq. of Snell & Wilmer LLP

**Langbehn:** Brent Langbehn; Stadium Holdings, Property owner/Developer

**Bashkingy:** Norm Bashkingy; Stadium Holdings, Property owner/Developer

**Shaik:** Shabeer Shaik; City of Glendale Planning Department

Neighbor 1: Likes the development in area and what is being proposed. "Build it soon"

Clark: Will the residential portion of the project be apartments or condos?

**RESPONSE (Wood):** While housing type may be market driven, apartments are highly unlikely due to the economics of the project.

Clark: For high density to be successful, plans for goods/services must be in project. How can you insure that services will be available?

**RESPONSE (Bashkingy):** The majority of the units are in the final phase. This project relies on convenience. The development of surrounding projects like Mainstreet, CBD101, etc. should help create synergy for this area and our project.

Langbehn: The inspiration for this project and the design is based off of Country Club Plaza in Kansas City. It was the first mixed-use center in the U.S and was built in the 1920's. That project blends uses very well and creates an environment that has longevity.

Neighbor 2: How will each part of the project "fill up"? All construction at once?

**RESPONSE (Bashkingy / Beaudoin):** Explains phasing schedule

Neighbor 3: Is there wiggle room in the plan to respond to economic changes? Page 35 of the PAD outlines the phasing process and page 21 mentions flexibility in land use adjustments,

how does this flexibility work? Are these adjustments just accepted or is there an approval process?

**RESPONSE** (Wood): Phasing allows minor changes in the development plan for timing of phases. However, we must get City approval for any significant changes if there are unforeseen circumstances.

Clark: What about the kids living within the project? Where do they play? Project should reach all demographics.

**RESPONSE** (Beaudoin): The project itself is geared more towards young professionals and empty nesters. However, we have designed a few small open areas and a very large green park space in the middle of the project. It is hard to grasp the scale of the park on the plan but it is very large. Reference Landscape plan.

Clark: Will solar power be used?

**RESPONSE** (Beaudoin): We are considering sustainability and alternative energy uses but haven't looked into it very deeply yet.

Neighbor 2: Will effluent recycling be used?

**RESPONSE** (Wood): We recently got word that the City of Glendale will be putting the infrastructure for wastewater treatment in as a C.I.P. We are not aware however of the timing for this.

Neighbor 3: I understand that the uses defined in the PAD cannot change, but can they be relocated throughout the project?

**RESPONSE** (Beaudoin): Building configurations can change with approval from the Zoning Administrator but total numbers can significantly change; for example, maximum # of dwelling units.

Shaik: This is correct, the numbers are capped but there is some flexibility allowed.

Neighbor 4: Will there be underground parking or surface?

**RESPONSE** (Beaudoin): Only 10% of the total will be surface parking

Neighbor 4: Make sure that a few extra large spaces are available for the handicapped

**RESPONSE** (Shaik): The city of Glendale will make them provide a number of ADA parking spaces

### **Assessment of Neighborhood Meeting**

At the end of the meeting the attendees all seemed to be in support of the project with the possible exception of neighbor 3 who stated that the plan may be too "optimistic" in its goals, especially when considering the current state of the economy. Overall the proposed land use, architecture, and project goals were very well received.

In the Citizen Participation Plan, we outlined two possible issues that surrounding neighbors could see as potential issues as outlined below.

## **1. Development of significant height near airport**

Developing structures of any significant height within such close proximity to the Glendale Municipal Airport may be raised as a concern. The applicant will address this by explaining that the proposed project location is parallel to the airport runway and all flight paths. Furthermore, the FAA has protocols that must be followed prior to the construction of structures in proximity to an airport or airfield.

## **2. Development of a previously "rural" area**

Another issue that may be of concern to certain surrounding residents is that the once low-density agricultural farm feel of this area is being diminished. While this may be a factual statement we also believe that residents have been anticipating such development for some time, especially with the recent addition of the Westgate development and major sporting facilities to the east. This area is quickly becoming a major entertainment hub for the entire metropolitan area and is seeing rapid growth. We will assure the residents that even though our proposed development is rapidly arriving, it is a well thought out plan that will enhance the neighborhood character rather than detract from it.

Both of these issues were discussed during Nick Wood's presentation to the attendees and there were no responding comments or issues raised by the attendees.

## **Future Community Outreach**

At the time this report is being drafted there are some slight changes to the proposed development that are being considered. While these changes (if implemented) may result in an amendment to the proposed PAD, we do not foresee a need for an additional meeting or community outreach since the changes effectively lessen the impact to the surrounding neighborhood. In the event that significant changes or amendments to the proposed development arise, letters will be mailed to the neighbors describing the changes and inviting further comments.

## **Schedule:**

- Submittal of Rezoning Application- April 7
- Citizen Participation Plan Implementation date-June 12
- Notification of proposal to adjacent property owners- June 17
- Neighborhood Meeting- June 25
- Submittal of Final Citizen Participation Report- October 22

## **Stakeholders**

The following list denotes the persons who may be affected or have an interest in the application, including all landowners within 300 feet of the subject property. The following list meets all notification requirements as prescribed by the City of Glendale in the "Citizen Participation Plan-Requirements and Recommendations" document dated 4/10/08. See exhibit "A" for location map.

## **Exhibit B – Sample Notification Letter**

**Snell & Wilmer**  
— LLP —  
LAW OFFICES

One Arizona Center  
Phoenix, AZ 85004-2202  
602.382.6000  
602.382.6070 (Fax)  
www.swlaw.com

Moses Eason  
Urban Planner  
602.382.6779  
meason@swlaw.com

June 17, 2008

RE: Rezoning / General Plan Amendment Application  
GPA 08-07 / ZON 08-11 Bella Villagio

Dear Neighbor,

The purpose of this letter is to inform you of our recently submitted application to the City of Glendale to amend the General Plan and rezone approximately 47 acres of land located at the Southwest corner of 99<sup>th</sup> Avenue and Bethany Home Road. The proposal is to rezone this land from A-1 (Agricultural) to PAD (Planned Area Development) zoning and amendment to General Plan designation from BP (Business Park) to EMU (Entertainment Mixed-Use). The proposed rezoning and General Plan amendment will permit a mixed-use development that consists of office, retail and residential land uses. A conceptual site plan has been enclosed with this letter for your reference.

We would like to invite you to attend an informative neighborhood meeting to discuss any questions or concerns you may have regarding this development. The following meeting has been scheduled:

**Desert Mirage Elementary School  
8605 West Maryland Ave, Glendale, AZ  
Room G-5  
Wednesday, June 25 at 6:30 p.m.**

We look forward to discussing this proposal with you and are eager to address any concerns you may have. Please feel free to contact me if you have any questions or concerns about this project. I can be reached at 602.382.6779 or meason@swlaw.com. Additionally, you may contact Shabbeer Shaik, of the City of Glendale Planning Department at 623.930.2597 or sshabbeer@glendaleaz.com.

Sincerely,

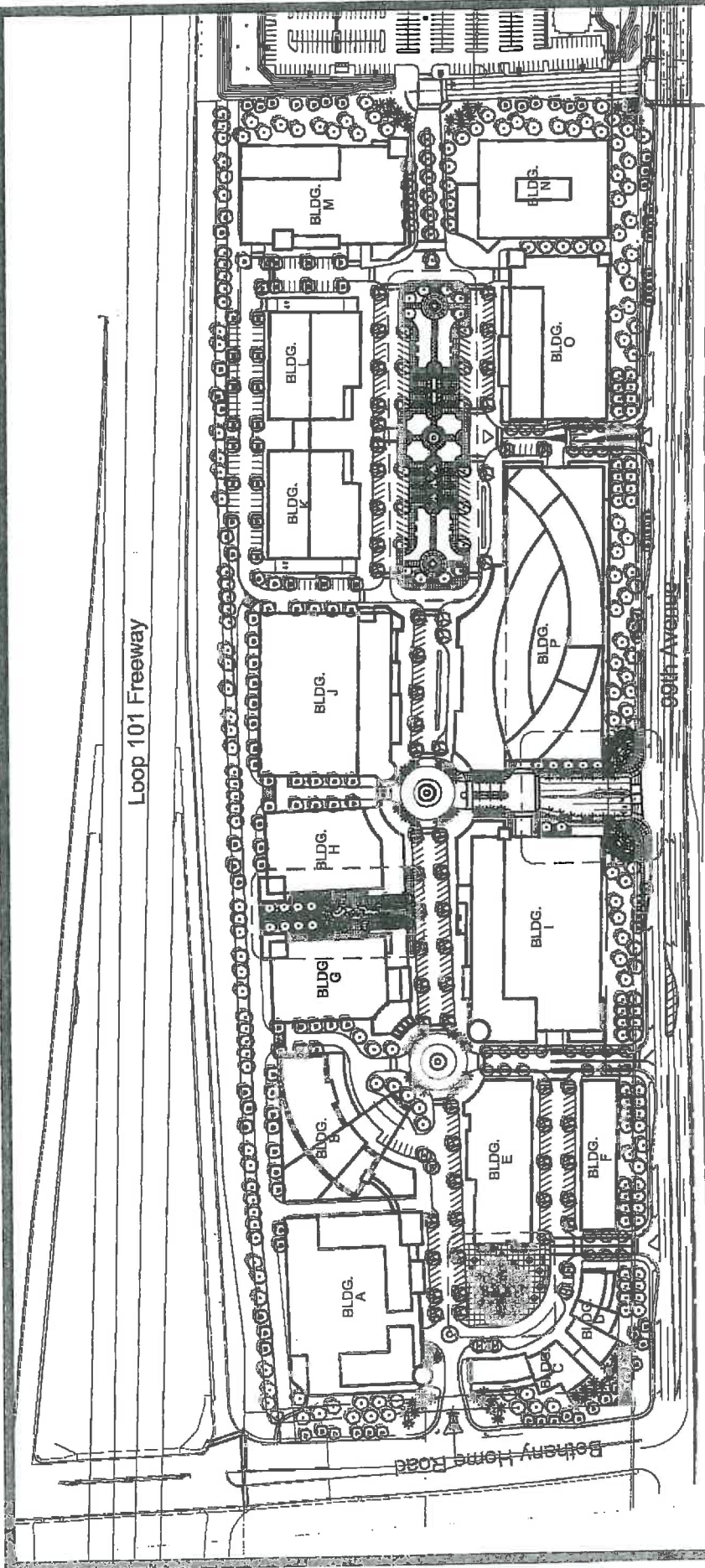
Snell & Wilmer



Moses Eason

DENVER  
LAS VEGAS  
ORANGE COUNTY  
PHOENIX  
SALT LAKE CITY  
TUCSON





**Site Data:**

Gross Acres: 46.54 ac.  
 Net Acres: 41.49 ac.  
 Total Building Area: 3,232,300 s.f.  
 Total FAR: 1.6

**Development Plan**

450 loft dwelling units  
 1,295 condominium dwelling units  
 167,000 square feet of retail space  
 124,800 square feet of restaurant space  
 300 hotel rooms  
 963,700 square feet of office space

**Phasing Plan**

2009-2014: Phase 1A (Building A,B)  
 Phase 1B (Building C,D,E,F)  
 2014-2018: Phase 2 (Building G,H,I)  
 2018-2023: Phase 3A (Building J,K,L)  
 Phase 3B (Building M)  
 2023-2027: Phase 4 (Building P)  
 2027-2031: Phase 5 (Building N,O)



land planning • landscape architecture  
 120 south oak avenue • tempe, arizona 85281 • phone: 480.994.0994

**Bella Villagio**

Conceptual Site Plan

Glendale, AZ.



Date: 06/17/08  
 Job No.: 0745  
 Drawn: DM  
 LVA  
 Revised:

PREPARED FOR CONSTRUCTION  
 BY LVA URBAN DESIGN STUDIO, L.L.C.

Signed list of neighborhood meeting attendees

BELLA VILLAGIO  
 9801 W. Bethany Home Road  
 Neighborhood Open House  
 Desert Mirage Elementary School  
 8605 West Maryland Avenue  
 Wednesday, June 25, 2008  
 6:30 pm

Name	Address	Phone #	Email Address
MOSES EASON	ONE ARIZONA CENTER PHX, AZ 85004	602.382.6779	MEASON@SOLAW.COM
John Kolodziej	6369 N 80th Ave	623-872-8641	jkolodzie@cox.net
ED GOSNEY	6194 N 89th AV	623-810-6054	EGOSJR@11
Debra Garland	5024 North 64th Drive	623-876-8008	

6/25/68

Name	Address	Tel Number
DAN STREYLE	3131 E. CAMELBACK SUITE 210 PHOENIX, AZ 85016	602-535-5338
ED GOSNEY	6194 N 89th AV. GLENDALE 85305	623 810 6054
John Kolodziej	6758 W 88th Lane Glendale AZ	623-910-8670
Bobbie Garland	5012 North 64th Drive	623-846-8009



421 Aviation Way  
Frederick, Maryland 21701

T. 301-695-2000  
F. 301-695-2375

[www.aopa.org](http://www.aopa.org)

November 25, 2008

Ms. Natalie Stahl, Chairperson  
City of Glendale Planning Commission  
5850 West Glendale Avenue  
Glendale, AZ 85310

Re: General Plan Amendment GPA08-02 and Rezoning Application ZON08-11: Bella Villagio – 9801 West Bethany Home Road

Dear Chairperson Stahl:

The Aircraft Owners and Pilots Association (AOPA) represents the general aviation interests of 415,000 members, more than two-thirds of the nation's pilots – including 12,209 of our members in the state of Arizona. On behalf of our membership, AOPA is committed to ensuring the future viability and development of general aviation airports and their facilities as part of a national transportation system.

AOPA is opposed to the proposed Bella Villagio development general plan amendment from Business Park (BP) to Entertainment Mixed Use designation and to rezone from Agricultural to Planned Area Development based on the associated impacts to the Glendale Municipal Airport (GEU). Of primary concern is the height of the proposed development in addition to the high density of residential dwellings in close proximity to the airport.

Based on an initial safety analysis of the planned development conducted by the Federal Aviation Administration (FAA), it appears that the proposed heights of buildings within this project will penetrate protected airspace necessary for safe and efficient aircraft operations at GEU. While the FAA does not have the authority to stop development, their input on the impact of the proposed development is a critical piece of the decision making process. As such, we would request that the City of Glendale table all zoning requests until the FAA's final airspace and safety determination is released. Further, we would encourage the City to table any requests for building permits until such time as the developer can present the FAA finding of "No Hazard to Navigable Airspace."

The building height proposed in the preliminary analysis is 492 feet above ground level. At that height, the Bella Villagio buildings exceed FAA obstruction standards for the proposed site location, which is 103 feet above ground level. While reductions in the height of the project could result in a reduction of the potential hazards to aerial navigation, any height above 103 feet above ground level will still require a detailed safety analysis by the FAA. AOPA strongly suggests that the City wait for the FAA's safety determination before proceeding with approvals for this project.

Ms. Natalie Stahl  
Page 2  
November 25, 2008

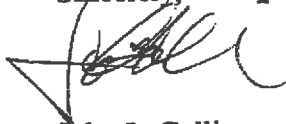
If the project sponsor chooses not to lower the buildings to a height acceptable to the FAA, the FAA is left with no choice but to mitigate the safety concerns related to the obstructions by penalizing the airport with greater restrictions on instrument and visual flight operations. If that is the case, business and recreational use of the airport would be greatly affected and airport revenues would decrease. Companies looking to relocate to Glendale may reconsider such if there isn't an all-weather airport convenient to their desired location. Considering the airport has a strong economic impact on the community and contributes well over 36 million dollars to the local economy, it is imperative that the current safety and utility of the airport is not compromised.

Further, the City of Glendale, having accepted federal monies to operate the airport, has an obligation to adequately protect the airspace necessary for instrument and visual operations. Every consideration should be given to ensuring those obligations are adequately addressed to avoid being in non-compliance and ultimately jeopardizing Federal funding for important future airport development projects.

An additional concern that we have with the proposed project is the addition of 1,750 dwelling units within one and half miles of the airport. We acknowledge that significant residential development exists closer to the airport, but that does not justify the addition of more residential development that will be subject to aircraft overflights. Airport sponsors should strive to put compatible land uses in place near airports and ensure that the normal airport operations are taken into account in the planning process.

It is for the above reasons that AOPA opposes the Bella Villagio development as proposed and requests that the City table all related zoning requests until the FAA studies are completed and a determination is released. If the Association can be of any assistance in this issue we welcome the opportunity to work with the City to ensure that your airport remains a viable and accessible transportation asset. Please contact us at 301-695-2200 if you have further questions.

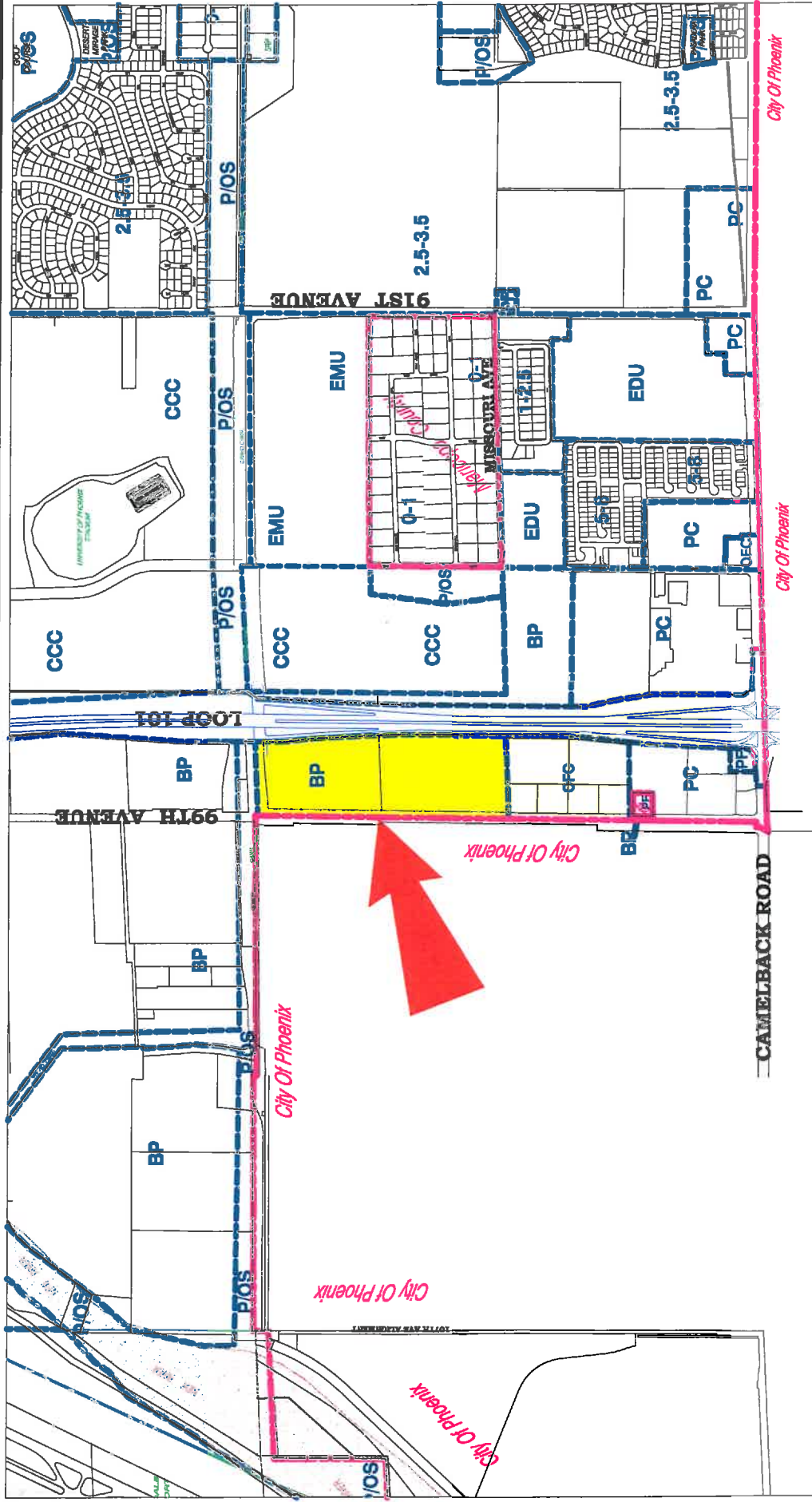
Sincerely,



John L. Collins  
Manager  
Airport Policy

cc:  
Elaine M. Scruggs, Mayor, City of Glendale  
Jon Froke, AICP, Planning Director, City of Glendale  
Judith J. Skeen, Manager, Glendale Municipal Airport



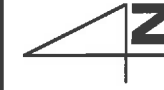


CASE NUMBER

GPA08-02

REQUEST

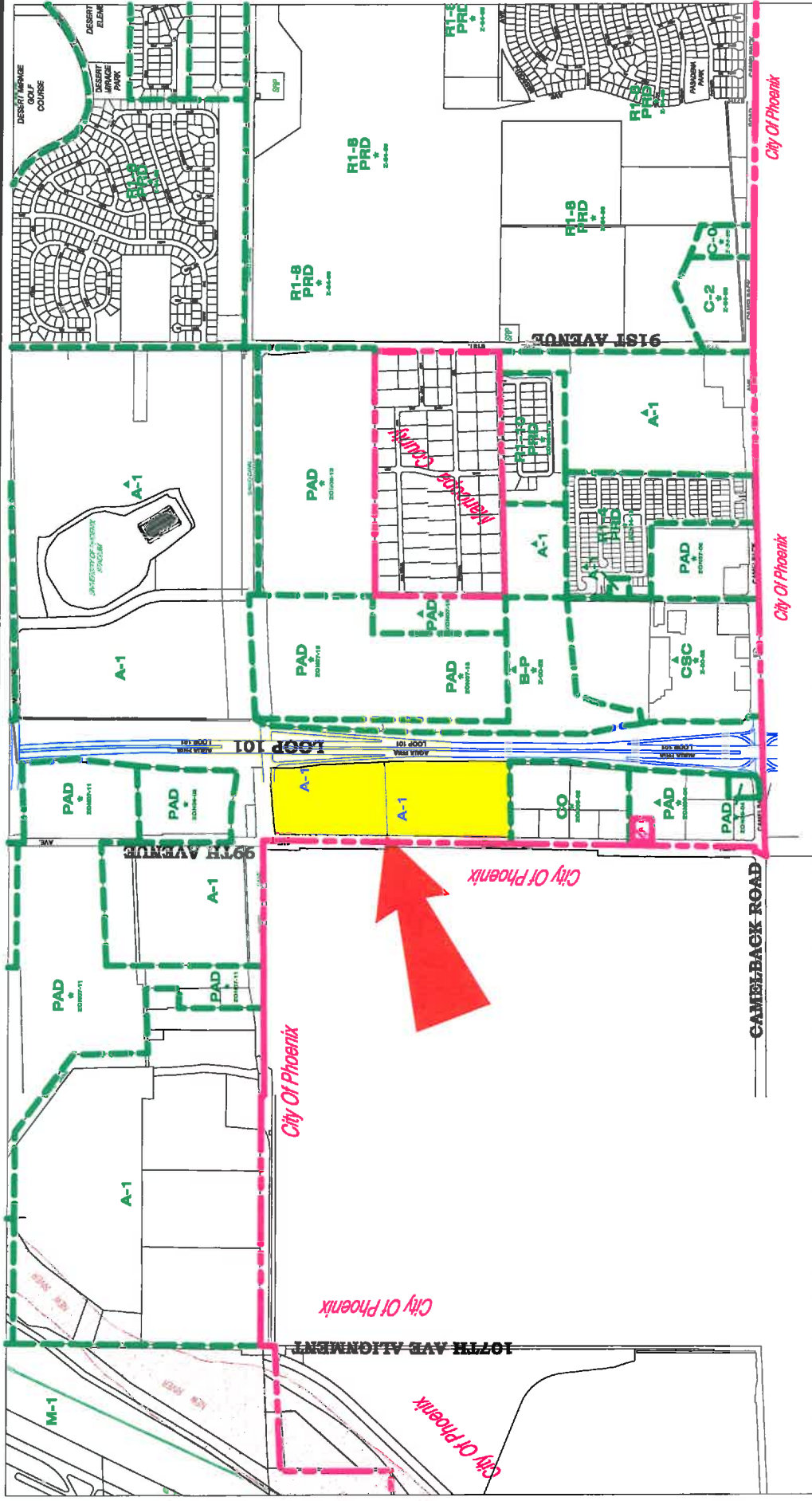
GENERAL PLAN AMENDMENT  
FROM BP (BUSINESS PARK) TO  
EMU (ENTERTAINMENT MIXED  
USE).



LOCATION

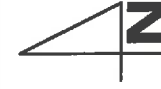
9801 W. BETHANY HOME ROAD





**CASE NUMBER**

**ZON08-11**



**REQUEST**

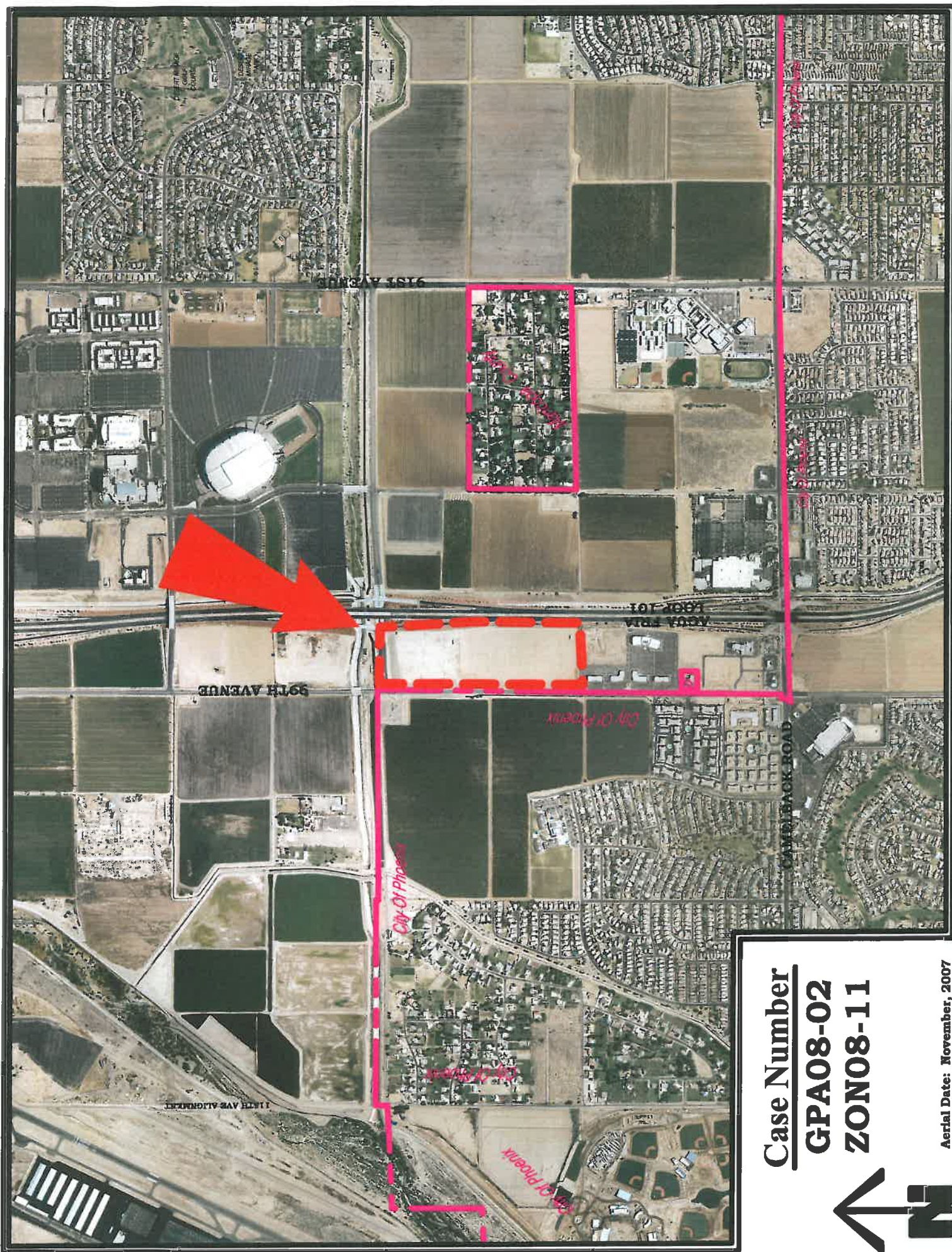
**REZONE FROM A-1  
(AGRICULTURAL) TO PAD  
(PLANNED AREA DEVELOPMENT).**

**LOCATION**

**9801 W. BETHANY HOME ROAD**







**Case Number**  
**GPA08-02**  
**ZON08-11**



Aerial Date: November, 2007