



A request for a Planned Area Development on 110 acres

ZON07-20

**North of the NWC of 99th Avenue & Glendale
7302 North 99th Avenue
Glendale, Arizona**

Submitted: October 1, 2008

PROJECT TEAM

Developer:

Helmholdt Real Estate
Shana Helmholdt / Donald Helmholdt
7404 N. Las Brisas Lane
Paradise Valley, Arizona 85253
(480) 922-2660

Engineer:

DEI Professional Services LLC
Peter Vesecky / Joe Cirone
6225 North 24th Street
Suite 200
Phoenix, AZ 85016
(602) 954-0038

Architect:

DAVIS
Michael Edwards / Ben Patton
60 East Rio Salado Parkway
Tempe, AZ 85281
(480) 638-1149

Sign Consultant

Jim Bolek
JRC Design
4634 North 44th Street
Phoenix, Arizona 85018
(602) 224-5100

Landscape Architect:

G.K. Flanagan Associates
Greg Flanagan / David Firchow
4626 North 44th Street
Phoenix, Arizona 85018
(602) 912-9691

Broker:

Grubb & Ellis/BRE Commercial, LLC
Iain Vasey / Donald Mudd
2375 East Camelback Road, Suite
300
Phoenix, Arizona 85016
(602) 682-8283

Traffic Engineer:

Kimley-Horn and Associates, Inc.
Tove White / Peter Reinhofer
7878 North 16th Street, Suite 300
Phoenix, Arizona 85020
(602) 393-4800

Legal Representative:

Withey Morris P.L.C
Michael Withey / Vanessa Hickman
2525 E. Arizona Biltmore Cir.
Ste A-212
Phoenix, Arizona 85016
(602) 230-0600

TABLE OF CONTENTS

I.	Introduction	1
I.	Site Description	1
III.	General Plan/Western Area Update	2
IV.	Planned Area Development Plan.....	6
1.	Purpose	6
2.	Master Development Plan.....	8
A.	Objectives	8
B.	Mixed-Use / Commercial	9
1.	Permitted Uses	9
2.	Permitted Uses Subject to Conditions.....	10
3.	Uses Subject to a Conditional Use Permit	10
C.	Office/Employment.....	10
1.	Permitted Uses	11
2.	Uses Subject to Conditions.....	11
3.	Uses Subject to a Conditional Use Permit	11
D.	Business Park	12
1.	Permitted Uses	12
2.	Permitted Uses Subject to Conditions.....	12
3.	Uses Subject to a Conditional Use Permit	13
E.	Retail.....	13
F.	Development Standards.....	13
G.	Performance Standards	15
H.	Landscape Design	16
1.	Goals	16
2.	Theme	16
3.	Palette	19
4.	Character.....	19
5.	Open Space/Buffers	21
6.	Pedestrian Circulation.....	21
7.	Screen Walls	22
V.	Signage.....	22
VI.	Architectural Design	22
1.	Overview.....	22
2.	Context and Character.....	22
3.	Desert River Environment.....	23
4.	Site Design	24
5.	Building Design.....	26
6.	Building Materials & Color Palette.....	29
VII.	Circulation/Traffic	31
VIII.	Grading and Drainage	34
IX.	Infrastructure/Utilities.....	35
1.	Water System	35
2.	Wastewater System.....	36
3.	Dry Utilities	37
X.	Phasing	38
XI.	Amendments	38

I. INTRODUCTION

Helmholdt Real Estate ("Helmholdt") plans to develop a 110 gross acre property located north of the northwest corner of 99th and Glendale Avenues (the "Property" / "Desert River"). See Vicinity Map and Aerial Map attached as **Exhibits A and B**. This application requests approval of a Planned Area Development ("PAD") District to allow a variety of land uses including office, retail and other complementary uses.

Designed to support the emerging Sports and Entertainment District/101 Corridor environment in Glendale, Desert River is a Planned Area Development (PAD) located proximate to the Loop 101 Freeway and adjacent to 99th Avenue. The Desert River concept proposes an exciting, mixed-use core that will include a retail base supporting a powerful Commerce Park/Employment sector.

Located near Glendale's Sports and Entertainment District to the east, Desert River will front 99th Avenue with visibility from the Loop 101 Freeway at the northwest corner of Myrtle Avenue and extends west to the New River Channel. Desert River's significant freeway visibility is an ideal opportunity to present an urban event that compliments the Westgate, Main Street, Zanjero, spring training and CBD/101 projects to the east and south.

Focusing on a pedestrian environment, the internal circulation network for Desert River will tie together the mix of employment and retail uses, as well as the site's necessary parking facilities. Desert River will also provide necessary vehicular access points that are announced through a series of gateway entries from 99th Avenue. While the overall site encompasses over 100 acres and will include both Business Park and Mixed-Use / Commercial land environments, it is the intent of this project to link these uses and sub-districts together through landscaping, signage, way finding features, and pedestrian linkages throughout Desert River. Overall the Desert River PAD will support both the planned and current growth of Western Glendale and promote expansion of the retail and employment base for the City.

II. SITE DESCRIPTION

The Property has been used as a wholesale plant nursery for several years. Site improvements include greenhouses, buildings and dirt roadways. The Property is zoned Agricultural District (A-1). This district provides for agricultural uses, single-residences, public uses and multi-purpose arenas until transition to suburban or urban land uses in accordance with the General Plan.

The PAD is to be comprised of the following parcels:

Parcel	Area
A	4.68 Ac.
B	11.85 Ac.
C	9.84 Ac.
D	10.05 Ac.
E	10.61 Ac.
F	8.89 Ac.
G	9.79 Ac.
H	13.10 Ac.
I	8.67 Ac.
J	14.93
Total	102.41

The area directly north of the Property is a driving range, operating on the Flood Control District Property. Northeast of the Property is an approved mixed use (retail/office/residential) PAD in the City of Peoria. Directly to the west of the Property is New River. West of New River are several industrial properties zoned Light Industrial (M-1). South of the Property is Mountain States Nursery, vacant land and the approved "Gateway Center" zoned PAD. The City of Glendale owned land east of the Property is zoned R-43 and is planned for a park and ride facility and overflow parking.

III. GENERAL PLAN/WESTERN PLAN UPDATE

The City of Glendale General Plan designates the Property as Business Park (BP). See **Exhibit C**. This proposal is consistent with the Property's General Plan designation. The General Plan sets forth policies to target business and institutional growth as primary contributors to future municipal stability. The Plan focuses on employment-driven, rather than housing-driven, growth so as to provide increased job choice for citizens. The Plan also sets forth goals to encourage business growth and attract diverse, high-paying industries.

On June 4, 2002, the City of Glendale City Council formally adopted the Western Area General Plan Update ("Western Area Update"), which includes the Property. The Western Area Update amends the Land Use, Circulation, Urban Design, and Character Area elements of the General Plan in the study area. The Property is designated as Business Park in the Western Area Update.

The General Plan specifically states that in order to meet the City's economic development goals, flexible land use development criteria should be established for defined Growth Areas' accommodation of retail and employment users so as not to require major General Plan Amendments. Desert River provides a mix of office, retail and employment uses within the Business Park category to help meet the goals set forth below. The Business Park category designation is intended to encourage large scale campus style development which includes increased amenities with attractive streetscapes, enhanced landscaping, functional pedestrian connectivity, and usable

gathering places. Desert River will provide increased amenities including an active circulation system with walking paths, bicycling lanes, outdoor gathering spaces and multi-use trails to link the business park and supportive retail uses thereby creating a unique and dynamic working and shopping environment which will attract high-paying and diverse employers to the Property.

This PAD is consistent with, and is in conformance with, the goals and objectives of the General Plan and Western Area Update.

Land Use

Goal #1: Employment

“Build a strong employment base that provides a variety of high paying jobs for Glendale residents.”

The Property offers an employment and commercial mixed-use development with jobs and retail amenities. Locating a significant employment and commercial development close to freeways and major arterials is a sound growth management decision. The location will help serve residential communities as they develop in the surrounding areas.

Desert River potentially provides up to 2 million square feet of employment and retail uses. This translates into approximately 5,500—7,000 new jobs (3.5 employees per 1,000 square feet of employment uses and 1.84 employees per 1,000 square feet of retail uses).

Goal #2: Retail Services

“Expand major retail opportunities to serve residents in Glendale and the surrounding area.”

Desert River proposes to allow retail space based upon market demand. The planned retail uses result in a significant revenue gain for the City of Glendale and reduced vehicle trips for residents living in the western part of the City. The planned retail area allows for a combination of sit down restaurants, retail stores, entertainment and other ancillary services to provide amenities for employment. The retail based for Desert River is intended to be focused on a mixed-use environment.

Goal #3: Public Amenities

“Provide public open space and recreation amenities that enhance the quality of life for Glendale residents.”

Open space may include, but is not limited to, lawns, decorative plantings, walkways, active and passive recreation areas, playgrounds, fountains, wooded areas and watercourses. The Desert River PAD incorporates a number of these open space elements, beginning with a multi-purpose pathway adjacent to Desert River Boulevard, the major circulation route through Desert River. The multi-purpose pathway is proposed to be ten feet in width, allowing combined use for pedestrians and bicyclists. The pathway will be landscaped with a variety of trees, shrubs, groundcovers and annuals. Pedestrian rest areas are proposed at various locations along the multi-purpose pathway. These areas will provide trellis-covered bench seating surrounded by lush landscaping and artistic elements.

Entry features at 99th Avenue and Desert River Boulevard will serve to depict the natural beauty of the desert and will be landscaped with a variety of plant life common to Arizona. Similar entry features are proposed at the Maize Avenue and Myrtle Avenue entrances. Although similar in stature, these entry features will not incorporate a water element, but rather be planters landscaped with a variety of trees, shrubs, groundcovers and annuals common to Arizona.

Additionally, employment and retail uses within the Desert River PAD will provide open courtyard areas for employees and other pedestrians.

Goal #4: High Quality Development

“Encourage high quality development that supports new employment opportunities and enhances the character of the area.”

A primary purpose of the PAD is to establish a foundation to encourage, assure and maintain high-quality development for a mixture of land uses at Desert River. Desert River will restrict certain uses, encourage construction of attractive employment and retail improvements at appropriate locations and implement rigorous housekeeping and maintenance standards. Desert River will establish itself as an attractive location for employers looking for quality retail amenities in close proximity to the workplace.

Goal #5: Master Planned Developments

“Encourage master planned developments that offer variety, a distinct character, and common amenities.”

Desert River is a master planned development that offers a mixture of employment and commercial uses through a variety of building styles,

distinct in their individuality, but maintaining a common design theme, which serves to integrate all uses within the master plan development. Desert River will incorporate both BP component as well as office and mixed-use / commercial land areas that provides a unique set of design and amenity values to the project. The BP areas are designed to accommodate an auto-based environment that can easily accept large numbers of employees, while the office and mixed-use areas are much more diverse architecturally, and are massed to facilitate pedestrian movement. Desert River's common amenities will include landscaped roadways, a multipurpose pathway for pedestrians and bicyclists, landscaped pedestrian rest areas, and open space corridors as needed to provide links to common amenities.

Economic Development

Goal #1: "Accelerate economic growth at a higher rate than population."

- a. **Objective:** Improve the City's jobs-to-housing balance thereby lessening the "bedroom community" image.
- b. **Objective:** Providing employment and shopping opportunities near housing sites allows the City to maintain lower residential densities on the periphery of the City and adjacent to existing single-family neighborhoods; except where moderate density may be appropriate for infill purposes.

Desert River will offer a variety of employment and commercial opportunities to the West Valley while attracting residents from other parts of the metropolitan area. The development of the Property will help meet the goal of focusing on employment-driven growth so as to provide increased job choice for citizens. Increased commercial variety will create a well-rounded community while expanding municipal revenue.

The major goal of Desert River is to create high quality office buildings that will attract regional and national corporations seeking a West Valley location. In addition, Desert River will provide a balance of land uses and amenities to create upscale and attractive retail and commercial elements.

Goal #2: "Encourage business growth for in-City job opportunities."

- a. **Objective:** Provide jobs for multiple wage-earner households to utilize Glendale's workforce as fully as possible near their homes in the community in which they reside.

- b. Objective:** Support expansion of existing businesses through municipal system improvements, neighborhood revitalization, site selection and planning assistance.

Desert River will provide significant new employment opportunities for Glendale and allow the expansion of existing businesses within the City. The design of Desert River will maximize the potential for major office tenants to locate in Glendale and make Desert River the corporate office anchor of the West Valley.

Growth Areas

Goal #1: Secure employment expansion in well-paying jobs in high quality business and commerce park developments.

- a. Objective:** Promote office park, high tech and industrial development that will attract national and regional corporate facilities as well as expansion opportunities for local business.
- c. Objective:** Improve the City's jobs-to-housing balance to reduce commuting times and distances and to support economic development policies.

Desert River lies within the Western Area Plan Growth Area. The City expects that development in this sector will accommodate 2/3 of added population and jobs, and nearly half of the City's commercial development, to the Year 2025. Growth areas contribute to the General Plan's "principles of balance" by offering opportunities for commerce, industry, and amenities where blending land uses responds to land use and transportation goals. By offering a blend of office, industrial and commercial uses, Desert River will attract national and regional corporate facilities and help to reduce commute times by providing employment opportunities for the 2/3 of added population projected to locate in this area by 2025.

IV. PLANNED AREA DEVELOPMENT PLAN

1. Purpose

The site plan has been designed to provide desirable view corridors and exposure of the lots to the adjacent arterials and Loop 101 freeway. This design will help maximize the corporate image to tenants looking for office space. The proposed internal roadways provide convenient access to individual lots and flexibility for users/tenants to design their buildings. The perimeter development

improvements provide continuity and center identification, setting the tone for development. The Property will be an integrated mixed-use development with common architectural themes.

Desert River will integrate the elements of office and retail uses to create a dynamic working and shopping environment within the Property. The Land Use Master Plan for the Property is attached as **Exhibit D**. As reflected through this exhibit, the land use distribution for Desert River reflects a three-tiered approach which delineates the site into areas broadly reserved for **Business Park**, which will focus activity toward an employment-based set of land uses, **Office / Employment** which will provide financial and professional services with supportive retail and **Mixed-Use / Commercial**, which will provide opportunities for both employment and retail uses while also offering a strong architectural theme to Desert River in a higher density environment. The land use breakdown for Desert River is represented through **Table 1: Land Use Allocation**.

Table 1: Land Use Allocation

Land Use	Parcel	Area	% of Net Area
Office / Employment	A	4.68 Ac.	4.6
Mixed-Use/Commercial	B	11.85 Ac.	11.7
Mixed-Use/Commercial	C	9.84 Ac.	9.7
Mixed-Use/Commercial	D	10.05 Ac.	9.9
Office / Employment	E	10.61 Ac.	10.5
Office / Employment	F	8.89 Ac.	8.8
Office / Employment	G	9.79 Ac.	9.6
Office / Employment	H	13.10 Ac.	12.9
Business Park	I	8.67 Ac.	8.5
Business Park	J	14.93 Ac.	14.7
Total		102.41	100%

The Mixed-Use/Commercial and Office / Employment areas are designed to respond to proximity to the Loop 101 Freeway by focusing intensity and design features internally. The Land Use Master Plan reflects this theme by identifying both a "Height/Density Zone", which would occupy approximately 32 acres of the Mixed-Use/Commercial and Office / Employment Districts, While this themed area is delineated on the Exhibit, it is meant to provide a focal area of heightened activity where the greatest intensities are likely to occur, while also identifying the design center of the entire site. It is within this area that the co-mingling of intensity and design variation is most likely to occur.

2. Master Development Plan

A. Objectives

To provide compatibility with the ongoing development along the Loop 101 in Glendale, Desert River is being designed to provide an employment center/office campus environment, with retail uses as well as additional design amenities. Desert River will offer immediate access as well as tremendous visibility for office and retail users within this exciting corridor. Desert River is the window into Glendale serving as the premier corporate, retail, sports and entertainment and dining destination. Desert River will be designed to compliment the other significant projects in the vicinity including Westgate, Zanjero, Main Street, CBD 101 and Organic 101. The land use plan provides flexibility for future locations of the employment and retail uses based on demand within the marketplace. As the specific employment and retail users and locations are not known at the time of the PAD application, an additional administrative review process will be added to the normal City review process to ensure that the final land use mixture and building arrangements are implemented in a logical pattern that reflects the quality and character intended by this PAD submittal. This additional process will include the following:

- Submittal of a Development Master Plan shall occur when a Design Review or Conditional Use Permit application is filed for a specific user, building or group of buildings within Desert River. The area depicted within the Development Master Plan shall be limited to parcels adjacent to the subject parcel submitted for Design Review or Conditional Use Permit, to the extent those parcels are undeveloped at the time the Design Review or Conditional Use Permit application is filed. The Development Master Plan, however, shall show the entire property and the location of the application. All data (i.e. parking, square footage, etc.) will be updated with a revised Development Master Plan. The applicant, without the filing of either a Design Review or Conditional Use Permit application, may file a Development Master Plan.
- The Development Master Plan shall include the site plan for the Design Review or Conditional Use Permit project, along with proposed land uses, representative building locations, circulation, open spaces, parking and landscaping for the undeveloped parcels adjacent to the subject parcel submitted for the Design Review or Conditional Use Permit application.
- The Development Master Plan shall illustrate how the specific land use that is the subject of the Design Review or Conditional Use Permit application can be successfully integrated with the planned land uses, circulation, open space and landscaping identified for the adjacent, undeveloped parcels.
- The Development Master Plan shall be reviewed and approved administratively by the Planning Department simultaneously with the

Design Review application or prior to the Conditional Use Permit going to public hearing.

- The Development Master Plan requirement may be waived by the Planning Department if the department finds that sufficient portions of the PAD have been developed or have been approved through the Design Review or Conditional Use Permit process, thus establishing land uses and/or building patterns and negating the need for a Development Master Plan.

B. Mixed-Use / Commercial (Parcels B—D)

Due to its proximity to the Loop 101 freeway, as well as to Glendale and 99th Avenue Parcels B—D have been identified as an optimal location for Business Park, Commercial, and Retail uses integrated within Desert River. The development program for these proposed uses will focus on a highly dense, mixed-use environment that favors the pedestrian. Most importantly, this area will focus activity at the ground level surrounded by height/intensity base that may include structures up to 110 feet in height. Other areas of the Mixed-Use/Commercial area may include heights of up to 75 feet.

1) Permitted Uses

- a. Professional, administrative or business offices.
 - b. Data center and call centers.
 - c. Urgent care centers.
 - d. Business support services.
 - e. Personal services businesses, such as beauty shops and barbershops, excluding check cashing centers, thrift stores, tattoo and body piercing establishments.
 - f. Financial institutions, real estate and insurance offices.
 - g. Medical and dental offices and clinics.
 - h. Commercial, trade, business schools, colleges or universities
 - i. Medical, dental and clinical laboratories.
 - j. Laboratories for research and product development.
 - k. Manufacturing or assembly of finished products, as long as the primary use of the property is not basic processing and compounding or raw materials or require outdoor storage.
 - l. Distribution of finished goods.
 - m. Hotels and motels which may include conference centers.
 - n. Health and fitness clubs.
 - o. Health spas.
 - p. Full service restaurants with outdoor dining and catering.
 - q. Fast food restaurants with drive-in or drive-thru facilities.
 - r. Coffee shops.
 - s. Retail stores.
- 1) General merchandising including variety and specialty stores.

- 2) Home Improvement stores less than 75,000 sq. ft.
- 3) Apparel and accessories.
- 4) Home and office furnishings.
- 5) Hardware stores.
- 6) Food.
- t. Child care center.
- u. Laundry, cleaning, and dyeing establishments, limited to:
 - 1) Maximum of one thousand (1,000) square feet of floor area to be occupied by or devoted to machinery to be used for laundry, cleaning, dyeing and finishing work.
- v. Indoor recreation facilities, excluding paintball facilities.
- w. Retail showrooms and design and furnishing centers.
- x. Music or dance schools.
- y. Outdoor activities/displays related to a primary use such as outdoor patios and sales events.

2) Permitted Uses Subject to Conditions

- a. Seasonal sales and special events, subject to Appendix F.
- b. Financial institution drive-thru windows shall be located on the internal side of the financial institution use
- c. Wireless communication facilities, subject to Appendices F and G.
 - 1) Building-mounted antennas and rooftop mounted antennas.
 - 2) Alternative tower structure mounted antennas that utilize an existing light pole or electric utility pole. The related equipment shelter must be located on property developed for non-residential use or in public right-of-way subject to approval of City Engineer.

3) Uses Subject to a Conditional Use Permit

- a. Public and semi-public buildings and facilities.
- b. Cocktail Lounges and Nightclubs.
- c. Three convenience uses are allowed as follows:
 - 1) Drive-thru service windows shall be located on the internal side of convenience uses.
 - 2) Financial Institutions and coffee shops shall be permitted and shall not be counted toward the limitation of three convenience uses.
 - 3) Coffee shops with drive-thru free standing kiosks shall not be permitted.
 - 4) Retail gasoline sales and convenience stores shall not be permitted.
- d. Wireless communication facilities—new monopole or changes to existing tower subject to Appendix G.
- e. Wireless communication facilities—alternative design tower.
- f. Wireless communication facilities—alternative tower structure, otherwise not permitted under Appendix F.

C. Office / Employment (Parcels A, E—H)

Generally located in the central portion of the Desert River master plan, this land use designation is designed to organize the greatest concentration of height and intensity on the site through the partnership of its primary use--Office--with retail, restaurant, and other limited service retail uses. Specifically, this site's relationship to the Mixed-Use / Commercial area to the east lends itself to an effective land use transition from that integrated, mixed-use environment to the pure Employment uses farther west. The Office / Employment region will present future development with the opportunity to design active ground floor environments that compliment the service-generating uses.

1) Permitted Uses

- a. Offices for professional, administrative, clerical, financial, medical business or professional service.
- b. Business support services.
- c. Personal service businesses, such as beauty shops and barber shops.
- d. Financial Institutions, real estate and insurance offices.
- e. Medical and dental offices and clinics.
- f. Health Clubs.
- g. Commercial off-street parking not accessory to a permitted use.
- h. Libraries and museums.
- i. Business trade schools, provided that all facilities are within fully enclosed structures.
- j. Medical and dental laboratories.
- k. Child care center.

2) Uses Subject to Conditions

- a. Retail stores integrated into office building.
- b. Restaurants, integrated into ground level of multi-story office structures, excluding drive-in and drive-thru facilities.
- c. Wireless communication facilities, subject to Appendix F.
- d. Building mounted antennas and rooftop mounted antennas.
- e. Alternative tower structure mounted antennas which utilize existing light pole or electric utility pole. The related equipment shelter must be located on property developed for non-residential use or in public right-of-way subject to approval of City Engineer.

3) Uses Subject to Conditional Use Permit

- a. Wireless communication facilities-new monopole or changes to existing tower subject to development standards in Table 3-A.
- b. Wireless communication facilities-alternative design tower.

- c. Wireless communication facilities-alternative tower structure, otherwise not permitted under Appendix F.
- d. Financial institutions with drive-through service.

D. Business Park (Parcels I—J)

Parcels I and J are situated west of Desert River Boulevard and north of the Myrtle Avenue alignment. These peripheral areas of Desert River are conceived as the pure employment base for the region, with a potential for minimal support retail for the employment base. While structures developed within this area will be allowed up to a maximum height of 75 feet, this environment will likely resemble a commerce park environment to provide a less intense atmosphere that responds to the airport environs as well as potentially similar uses to the west. Although not devoted to the pedestrian connections that the Mixed-Use / Commercial areas are, these environs might still support a higher density employment population, with strong external linkages to the central pedestrian connector.

1) Permitted Uses

- a. Offices for professional, administrative, clerical, financial, medical, business, or professional services.
- b. Laboratories for research and product development.
- c. Manufacturing or assembly of finished products, as long as the primary use of the property is not basic processing and compounding of raw materials.
- d. Medical, dental and clinical laboratories / research facilities.
- e. Motion picture production, radio and television broadcast studios, recording studios, but not including transmitter components and towers.
- f. Health clubs.
- g. Commercial, trade, or business schools.
- h. Full service restaurants and catering.
- i. Financial institutions, real estate and insurance offices.
- j. Business support services.
- k. Data center, call centers and data recovery centers.
- l. Laundry, cleaning, and dyeing establishments, limited to:
 - 1) Maximum of one thousand (1,000) square feet of floor area to be occupied by or devoted to machinery to be used for laundry, cleaning, dyeing and finishing work.
 - 2) Retail service to individual customers only and no wholesaling of any commodity or service shall be permitted.
- m. Child care center.
- n. Public and semi-public buildings and facilities.
- o. Retail showrooms and design and furnishing centers.
- p. Wholesale sales and distribution of finished goods.

2) Permitted Uses Subject to Conditions

- a. Wireless communication facilities, subject to Appendix F.
 - 1) Building-mounted antennas and rooftop mounted antennas.
 - 2) Alternative tower structure mounted antennas that utilize an existing light pole or electric utility pole. The related equipment shelter must be located on property developed for non-residential use or in public right-of-way subject to approval of City Engineer.

3) Uses Subject to a Conditional Use Permit

- a. Self-storage facilities, for storage purposes only.
- b. Incidental commercial retail sales other than those otherwise permitted.
- c. Wireless communication facilities—new monopole or changes to existing tower subject to Appendix G.
- d. Wireless communication facilities—alternative design tower.
- e. Wireless communication facilities—alternative tower structure, otherwise not permitted under Appendix F.

E. Retail

Retail uses shall be limited to a maximum of 25% of the acreage of the Property. Retail vertically integrated with other uses shall not be included in the 25% allocation.

F. Development Standards

As reflected through Table 1, on the following pages, the development standards for Desert River are created to facilitate the Business Park, Office / Employment and Mixed-Use / Commercial environments, with a critical mix of the uses occurring in the central region of the project. Most specifically, the permitted heights and intensity will permit the cumulative developments in Desert River to achieve a critical mass of structures, businesses, and people. Should a conflict exist between any provision in this PAD and the Glendale Zoning Ordinance, the PAD shall apply.

TABLE 1: Development Standards											
Development Attribute		Parcel A	Parcel B	Parcel C	Parcel D	Parcel E	Parcel F	Parcel G	Parcel H	Parcel I	Parcel J
Parcel Use		Office/ Employment	Mixed-Use/Commercial	Mixed-Use/Commercial	Mixed-Use/Commercial	Office/ Employment	Office/ Employment	Office/ Employment	Office/ Employment	Business Park	Business Park
Min. Developable Site Area		2 Acres	2 Acres	2 Acres	2 Acres	2 Acres	2 Acres	5 Acres	5 Acres	5 Acres	5 Acres
Min. Lot Width		N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
Min. Lot Depth		N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
Max. Building Height ¹		110'/75'	110'/75'	110'/75'	110'/75'	110'/75'	110'/75'	75'	110'/75'	75'	75'
Setback/ Build-To Standards	Min. Front Yard Setback	25'	25'	25'	25'	25'	50'	50'	50'	25'	25'
	Min. Side Yard Setback	25'	25'	25'	25'	25'	50'	50'	50'	25'	25'
	Min. Rear Yard Setback	15'	15'	15'	15'	15'	35'	35'	35'	15'	15'
	Min. Setback Adjacent to Private Internal Streets	25'	25'	25'	25'	25'	25'	25'	25'	25'	25'
	Min. Setback Adjacent to Public External Streets	50' adjacent to 99 th Ave	50'adjacent to 99 th Ave; 30' adjacent to Desert River Blvd.	50'adjacent to 99 th Ave; 30' adjacent to Desert River Blvd.	50' adjacent to 99 th Ave; 30' adjacent to Myrtle Ave.	30' adjacent to Desert River Blvd. and Myrtle Ave.	30' adjacent to Desert River Blvd.	N/A	30' adjacent to Desert River Blvd.	30' adjacent to Desert River Blvd.	30' adjacent to Desert River Blvd.
	Min. Landscaped Setback Adjacent to Private Internal Streets ²	25'	25'	25'	25'	25'	25'	25'	25'	25'	25'
	Min. Landscaped Setback Adjacent to Public Streets ³	50'on 99 th Avenue	50'adjacent to 99 th Ave; 30' adjacent to Desert River Blvd.	50'adjacent to 99 th Ave; 30' adjacent to Desert River Blvd.	50'adjacent to 99 th Ave; 30' adjacent to Myrtle Ave.	30'adjacent to Myrtle Ave. and Desert River Blvd.	30' on Desert River Blvd.	N/A	30' on Desert River Blvd.	30' on Desert River Blvd.	30' on Desert River Blvd.
Min. Building Separation		Per Building and Fire Codes	Per Building and Fire Codes	Per Building and Fire Codes	Per Building and Fire Codes	Per Building and Fire Codes	Per Building and Fire Codes	Per Building and Fire Codes	Per Building and Fire Codes	Per Building and Fire Codes	Per Building and Fire Codes
Target Floor Area Ratio ³		.45	.45	.55	.55	.55	.55	.35	.35	.35	.35
Min. Open Space % ⁴		10%	10%	10%	10%	15%	15%	15%	15%	15%	15%
Max. Lot Coverage %		N/A	N/A	N/A	N/A	N/A	N/A	50%	50%	60%	60%
Parking		See Appendix E									
¹ 110' permitted within Mixed-Use/Commercial & Office / Employment, Height/Intensity area, 75' in Mixed-Use/Commercial & Office / Employment areas located outside the Height/Intensity area. ² Sidewalks permitted within landscaped setback ³ FAR allowances are non-regulatory, but serve as a bulk standard goal for the parcel. Actual FAR may exceed or fall short of target. ⁴ Dedicated open space may include paths, and landscaped areas, but does not include parking areas.											

G. Performance Standards

1) Landscaping

- a. All landscaping, buffering, and walls shall comply with Appendix C and the West Glendale Avenue Design Plan, unless otherwise noted in this PAD.
- b. All landscaping shall comply with Appendix H.

2) Accessory Buildings

- a. All accessory buildings and uses shall comply with Appendix D.

3) Signage

- a. All signage, outdoor sales and displays for retail properties shall comply with **Exhibit K Master Sign Plan**.

4) Design Review Compliance

- a. All employment and retail uses are subject to Design Review approval as outlined in Appendix A.
- b. All employment and retail uses will follow the design standards found in the City of Glendale's Commercial or Industrial Design Expectations unless modified within the PAD.

5) Equipment

- a. Site equipment such as telephone booths will be incorporated into structures and screen walls wherever possible. Where it is not possible, they will be screened from off-site views by walls and/or landscaping.

6) Lighting

- a. All lighting on the site must be completely shielded high-pressure sodium fixtures. Parking lot fixtures and wall lights shall not exceed 15-feet in height within 150-feet of any residential properties. Lighting elsewhere on the site may not exceed 25-feet in height. The design of the lighting standards shall be consistent throughout the PAD per approval through Design Review.
- b. All lighting shall comply with Appendix I.

7) Enclosed Uses

- a. All employment activities must be conducted within an enclosed building. Exceptions include patios, courtyards and other appropriate amenities that are incidental to the primary use of the building.
- b. In retail areas all carts shall be stored under a canopy and screened from view.

8) Retention Basins

- a. All retention basins shall utilize a maximum slope of 4:1.

9) Irrigation

- a. Development of parcels along the USA fee-owned irrigation ditch shall be coordinated with Salt River Project to determine requirements for upgrading or tiling the irrigation ditch.

H. Landscape Design

1) Goals

The implemented landscape in Desert River will contain both desert and transitional plant species in its plant palette. See Overall Landscape Plan attached as **Exhibit E**. This will allow the plant material to blend with and compliment its adjacent environment.

The implemented landscape design and palette will provide proper transitioning from the built environment to the open and adjacent spaces. The development is located on the site of a former wholesale nursery, with many specimen trees on-site. These trees will be salvaged and used throughout the development to give the landscape immediate maturity. The development will blend into the perimeter of 99th Avenue and New River Wash by providing a desert landscape. Interior portions of the development will have a more formal design.

2) Theme

The use of landscape themes within the site are to designate areas specific to their locations and to understand their relationship toward creating an overall landscape character sensitive to the development's design intent. Areas of prominent landscaping include: Perimeter, Main Entry, Main Drive, Secondary Entry, Secondary Drive, and Interior Development. See Streetscapes attached as **Exhibit F**. Creating a uniform site will take careful planning and preparation to ensure that the precedents that are established along street frontages or perimeter areas be extended to provide a uniform look and character to the site

as a whole. Continuity and consistency of theme, design, and materials shall be implemented in such a way that the development will easily be recognized as one unified project.

Perimeter:

The perimeter of the project (including the New River Channel and 99th Avenue frontages) shall be harmonious with the character of the natural surrounding desert and area context; planting will be informal and consist of desert species. Perimeter areas are intended to be the first step in the transition of the natural desert into the development. Pedestrian connections along New River Channel are to be landscaped informally and naturally. Street frontages must be consistent and contain similar plant density and palette for each parcel perimeter. The use of low perimeter tide walls may be stipulated for use along the exterior street frontages of parcels, these walls must provide a consistent aesthetic look to match the architectural and landscape standards of the entire project. The perimeter streets may also have median planting of similar palette and character to create an encompassing streetscape. Adjacent uses and character may be taken into account in order to provide adequate screening.

Main Entry:

The main entries, located along 99th Avenue and Myrtle Avenue, will be a focal point for the development. See Main Entry Perspective attached as **Exhibit G**. Specimen trees such as Mesquite, Palo Verde and Ironwood, along with colorful accents will mark the entry into the development and provide a gateway leading into the main drive. Signage, water and architectural features matching those within the development will be accentuated at the entries by providing masses of shrubs, accents, and groundcovers that will allow this featured area to stand out along the natural perimeter planting along 99th Avenue.

Desert River Boulevard:

Planting from the main entry along Desert River Blvd. will utilize street trees on each side of the road, formally spaced. This will create the effect of a "formal" entry when accompanied by a simplistic palette of shrubs, accents and groundcover. These street trees shall be more uniform in character, size and shape. There shall be a landscaped buffer between vehicular traffic and the pedestrian sidewalk. In this buffer, shrub and groundcover planting may be utilized in order to mark the separation between the sidewalk and the main drive. Sidewalks shall also include multi-use trail and pedestrian nodes. The pedestrian nodes shall provide pedestrian amenities such as shade structures, enhanced planting and seating. The center median in the main drive may contain a formal or informal spacing with the use of multi-trunk specimen trees, in order to create a hierarchy in plant material. Use of color and bold accents along the main drive will be located at intersection nodes and driveways.

Maize Avenue:

Planting along the private collector will utilize street trees on each side of the road, formally spaced. This will create the effect of a "formal" entry when

accompanied by a simplistic palette of shrubs, accents and groundcover. These street trees should be more uniform in character, size and shape. There shall be a landscaped buffer between vehicular traffic and the pedestrian sidewalk. In this buffer, shrub and groundcover planting may be utilized in order to mark the separation between the sidewalk and the main drive. Intensely concentrated pedestrian uses along this drive shall contain on-street parallel or angled parking, wide sidewalks at the back of curb and street trees in either tree grates or landscape planters. Pedestrian nodes that include pedestrian amenities such as shade and seating shall be located throughout these areas. Use of color and bold accents along the main drive shall be located at intersection nodes and driveways, where massed planting and possibly a new species of trees will be introduced (not found along the main drive).

Secondary Entry:

The secondary entries located off of 99th Avenue, Desert River Blvd. and Myrtle Avenue will reflect the character and precedent that is established in the main entry. The key difference that the secondary entries will take into consideration is the slightly more informal planting of the secondary drives as opposed to the ordered planting of the main drive marked by the main entry. This smaller version will be respectful of the character of the secondary drive while staying consistent with the main entry by the use of color and accents planted in masses. Each side of the entry shall be consistent with the same density and species of plant material.

Secondary Drive:

The secondary drives like the main drives will maintain a strong street scene and introduce both formal and informal landscape patterning, returning to a more modified natural character. Similar to the main drive, the secondary drives will utilize landscaped buffers between the vehicular traffic and pedestrian sidewalk. The use of a regional palette planted both formally and informally, allows for open areas to transition into the developed internal spaces. Each side of the road will be planted to reflect the same density and plant species to provide consistency along the entire drive.

Interior Development:

The internal development of each parcel offers the widest array of plant material and character areas. As each parcel is developed, great care will be taken to ensure that the surrounding land uses are taken into consideration, and adequate landscape buffers are provided.

3) Palette

See **Exhibit H** for Landscape Palette.

The landscape palette for the project consists of: Desert, Xeriscape, and Exotic/ Non-ADWR Plants. The majority of the planting in the development will consist of Native and Xeriscape planting. The majority of Exotic and Non-ADWR

species are intended primarily for interior courtyards and areas not visible from the main roads.

Desert Palette:

Consists of species that are native to deserts in the region and throughout the world. The use of desert species along the perimeter will be encouraged. Areas of use that should be comprised of primarily desert species, are retention areas and buffer zones along the New River Wash frontage.

Xeriscape Palette:

This palette is intended to be used for entries, streetscapes, interior development, and some perimeter planting. Species are low water use as part of the xeriscape principles and are listed by the Arizona Department of Water Resources (ADWR) as low water use.

Exotic Palette:

Consists of species that are native throughout the globe, but are still listed by the Arizona Department of Water Resources (ADWR) as low water use plants. They provide a more lush character to their environment and are intended to be used for entries, streetscapes, and interior developments. Limited use of this palette is intended as perimeter planting.

Non-ADWR Palette:

Consists of plants that are native to one of the plant palettes listed above, but are not recognized by the Arizona Department of Water Resources as being low water use species. They are to be used sparingly and in areas where their higher water consumption will not disrupt the surrounding environment.

4) Character

The character of the landscape is defined by distinguishing features or attributes of the implemented landscape. This can range from a native informal planting to an ordered rhythm of a streetscape planting. The character of an area is mainly defined by: the plant palette, the nature in which it is planted (natural, semi-natural, or formal), the treatment of the ground plane (natural contours or graded) and the architectural elements that are integrated into the planting (seatwalls, sidewalks, site walls, and signage). The landscape character for the development is divided into the following categories: Natural, Modified Natural, Enhanced, and Turf.

Natural:

Natural landscapes consist of both native and non-native desert species and native topography to simulate the natural condition of undisturbed natural desert. The use of relocated trees from the site is to be utilized heavily in the replication of desert environments. Irrigation will be integrated into those areas where the natural desert is disturbed or where re-vegetation occurs, however long term maintenance in these areas is to be discouraged in order to retain the natural character of the plant material. Boulders relocated from site can be

placed randomly in natural areas to closely emulate their natural locations. Planting is to be informal and scattered as opposed to massed or ordered plantings that suggest human intervention.

Modified Natural:

The modified Natural landscape consists of a more regional plant palette that has a more colorful and visually pleasing character. These landscapes are to be utilized as entries, streetscapes and buffer plantings to connect the natural landscape to the developed areas. Planting methods in these areas contain both natural (informal) as well as massed (ordered) planting to accent entry points and special features. Boulders can be utilized in the ground plane here, but not as predominant as in the natural landscape. The ground plane condition varies from natural contours to the graded site that contains new decomposed granite treatment. The landscape maintenance is more labor intensive than in the natural environment, especially along roadways and pedestrian corridors for safety.

Enhanced:

The enhanced landscape conveys the largest degree of human interaction to the final landscape character. It consists of heavily massed planting for a high level of accent to site architecture. The palette for this area will be mainly xeriscape materials directly adjacent to buildings and pedestrian zones. Its intention is to add color and texture in large massed groupings to soften the architecture and buffer the scale of the building outward toward the natural landscape.

Oasis:

The oasis character consists of areas of rest and leisure that exist within the building envelope or directly adjacent to the architecture. These areas may use container plantings or intensive plantings that would be appropriate within shaded or confined locations. The ground plane is to utilize enhanced hardscape wherever possible and a mixture of exotic plants along with plants from other approved plant palettes.

5) Open Space and Buffers

Open Space:

In a large mixed used development, open space plays a vital role in the visual quality and quality of life. Open space areas will serve to connect the areas of development through the use of trails and/ or sidewalks. Open spaces stabilize the ecological impact of development, and serve as a functional site utility that can buffer land uses or retain drainage.

Buffers:

The use of landscape buffers allow for a zone of natural or heavily planted landscape to separate different land uses. Landscape buffers not only create a visual lineation, but allow for corridors of open space to radiate through the developments. Commonly, pedestrian corridors are located in landscape buffers to create an encompassing trail system. In areas where two non-compatible uses connect, the landscape buffer is extremely important to provide a screen of adequate height and density to minimize the impact. Therefore, plantings may come from the natural, modified natural and enhanced characters.

6) Pedestrian Circulation

Goals:

The goals of the pedestrian circulation system in the development are to allow the opportunity to effectively and safely maneuver through the development on foot. See Pedestrian Circulation Plan attached as **Exhibit I**. The circulation system will include walking paths, bicycling lanes, outdoor gathering spaces, and multi-use trails. Special care will be given to areas where vehicular and pedestrian circulation will meet. Landscape buffer plantings will help to mitigate the impact of vehicular travel to those pedestrians utilizing the pedestrian circulation system. The following goals are to be achieved in the circulation system:

- i. Allow users of all ages and physical conditions accessibly to the system, by providing ADA compatible surfaces, shaded walks, and multiple resting places.
- ii. Provide an array of hardscape elements and plantings to give visual clues for pedestrian navigation.
- iii. Provide gathering spaces at intersecting nodes in the path system, to facilitate pedestrian interaction with one another.

Sidewalks:

The perimeter streets, 99th and Myrtle Avenue will all have sidewalks. This sidewalk may meander but will be detached from the street curb where not required by city guidelines. The sidewalks along the other streets will be detached from the street curb to allow a landscape buffer between the pedestrian and autos. These sidewalks may be constructed within the right of way pue or dedicated easement of the respective perimeter streets.

7) Screen Walls

Screen walls will be used at locations throughout the project. These locations may include perimeter street frontages and entry features and may also be used in streetscapes and the multi-use trail. By focusing on these areas, we

aim to provide an elevated level of aesthetics and continuity for pedestrians, vehicular traffic, and neighboring developments. It is our intention in developing these elements, that we create an overall space that is responsive to the surrounding character and environment. Style, color and texture will all be considered in achieving these goals. See Screen Walls attached as **Exhibit J**.

V. SIGNAGE

A Master Signage Plan is enclosed as **Exhibit K**.

VI. ARCHITECTURAL DESIGN

1. Overview

The Desert River Planned Area Development has been envisioned to create an energetic, mixed-use environment that incorporates a diversity of massing scenarios within a dynamic vertical regime. Each new building design will be reviewed and approved through the City's design review process with respect to the general representation of scale, massing, design color, materials, and overall visual strength, particularly as viewed from the pedestrian and vehicular perspective.

2. Context and Character

The Desert River PAD responds to the philosophy that high-quality architecture and place-making is an outcome of not just skilled and purposeful design efforts but of sensitively responding to the character of the surrounding natural and built settings as well as to a large number of regional, historical, cultural, and environmental resources.

Thus, the dual themes of Sonoran Desert *context* and *character* are expected to recur throughout the Desert River environment, each time reinforcing the notion that every structure contained within the development will be a unique response to its context.

3. Desert River Environment

The Desert River Planned Area Development has been envisioned as an energetic, employment-based environment that incorporates a diversity of massing scenarios within a dynamic design regime. To accommodate this land use objective while responding to the stated goal of designing to the native Sonoran Desert environment, this document incorporates design guidelines that exceed typical rezoning-level standards. This objective will be reinforced through sensitive site planning, native landscape materials application and appropriate architecture.

Representative Desert River architectural character images, attached as **Exhibit L**, reflect both context and character of this environment through color and material displays that highlight a preponderance of native and replicated stone material, desert hues, and native landscaping (thus, the “**Desert**”). In addition, the arid stone and materials palette suggested through **Exhibit L** are complimented in this theme through an expectation that suggestive aquatic imagery can be supported through the frequent use of both transparent and reflective windows (thus, the “**River**”). This dual stone-water imagery will be supported by gateway elements, supportive water features, and of course, comprehensive desert landscaping that is suggestive of an oasis in the desert. These images have been provided for representative design and quality purposes and do not represent the designs for specific structures within Desert River.

General guidelines that address the intended architectural responses to local and regional context, scale, proportion, massing, architectural detail, material and color as suggested above are as follows:

- Building design should foremost consider the unique qualities and character of the Desert River environment and the surrounding area.
- Multiple buildings on the same site or in closely related areas should share a common design theme and a similar material vocabulary to that of nearby buildings. However, precise replication of the same building on the same site or in the same area without modification for the building’s unique setting and orientation are discouraged.
- Architectural expressions that reflect either historic or contemporary architectural styles are generally discouraged.

The intent of the architectural design guidelines that follow is to facilitate the design environment described herein. Specifically, program development and project design that meets a user’s development objectives while being responsive to characteristics of the Desert River environment is encouraged. In summary, while the architectural program will vary depending upon location, use, and appropriate massing, the structures in Desert River will advocate native design themes that create continuity between buildings and land uses, and will be consistent with the context of the project’s overall development theming.

4. Site Design

The site has been planned to organize the spectrum of office and employment-oriented uses around three roadway corridors: 99th Avenue, Desert River Boulevard, and Myrtle Avenue. A walkable, pedestrian oriented design opportunity exists for much of the site’s eastern regions, however the expectation for auto-oriented design for structures in Desert River increases from east to west. The primary organizing element

for height and massing in Desert River will be 99th Avenue, which presents the greatest opportunity to take advantage of the Loop 101 Freeway exposure for properties on the eastern portion of Desert River. With the diminishing visibility to the west the expectation for height and intensity also diminishes as the Loop 101 relationship weakens.

Site planning in Desert River will respond to the natural characteristics of the site including topography/drainage patterns, existing vegetation, and visual resources. The orientation of buildings and outdoor spaces in Desert River will consider the effect of sun angles and other climatic conditions as well as the preservation of views. New office structures should be organized to minimize unprotected east and west facing walls and window openings where solar control is difficult to achieve, and will utilize outdoor space as valuable extensions of interior space.

Site plans in Desert River should demonstrate a coordinated approach with the development of adjacent properties. New construction should consider the following sympathetic relationships in site plan design:

- a. Incorporate pedestrian circulation and open spaces, with benches, outdoor eating areas and courtyards, enhanced through the utilization of a variety of materials, landscaping, signage and lighting.
- b. Enhance regional pedestrian networks and connectivity with adjoining developments and neighborhoods by providing pathways linking on-site facilities to other destinations.
- c. Encourage the grouping of service areas, refuse collection facilities and other similar functions for the purpose of efficiency and better management site impacts. Where such functions are not compatible, provide adequate buffering to minimize the impacts to development.
- d. Offer visual and physical linkages between adjoining uses and sites where the coordinated approach benefits the function, efficiency and visual unity of the larger context of development.
- e. Maintain appropriate distances between structures to minimize the impact of parking. This priority will be adjusted somewhat within the central pedestrian corridor, where closeness of structures, and interaction of pedestrians, will be encouraged.
- f. Parking for each development within Desert River will be provided via onsite surface parking lots or parking structures, with controlled points of access form adjoining thoroughfares. Parking areas shall include landscape treatments to break up the monotony of large paved areas, providing shade and defined access points in parking areas, with aisles oriented to facilitate pedestrian movement to the building(s) served as well as pedestrian paths creating a pedestrian-friendly environment. Parking

canopies or parking structures shall be architecturally linked to the primary structure.

- g. Solid waste collection areas and mechanical equipment, including equipment located on a rooftop, but not including solar panels, should be screened from the view of a person standing on the property line on the far side of an adjacent public street.
- h. In the interest of efficiency and to encourage the creation of larger areas of usable open space drainage and retention facilities are encouraged to be master planned.
- i. For properties located adjacent to the central pedestrian connector, auxiliary structures and equipment (including dumpsters, mechanical equipment, electrical equipment, elevator overruns/stairwells, etc.) shall be screened from public view. These screens shall be designed to utilize common structural materials and colors maintaining compatibility with the respective buildings, especially where mechanical equipment is placed on a structure's rooftop.
- j. Encourage continuity of perimeter open space and thematic landscape designs to ensure compatibility with the public streetscape.
- k. Loading docks, truck parking, outdoor storage, trash collection, trash compaction, and other service functions shall be incorporated into the overall design of the building and landscape so that the visual and acoustic impacts of these functions are fully contained and out of view from adjacent properties and public streets. Screening materials for solid waste collection and loading areas shall be the same as, or of equal quality to, the materials used for the principal building.
- l. The landscape perimeter shall be compatible to the urban landscape theme of adjacent thoroughfares to reinforce the landscape design of that street.
- m. Lighting materials and features in Desert River shall be designed in accordance with common light standards for the PAD and will be located to minimize the "bleeding" of light onto any adjacent residential properties, but also be suitable for safety and visibility of directional signage. The height of parking lot lighting shall be consistent with adjacent developments, and will be consistent with City of Glendale standards. Site Lighting for Desert River shall consist of: a) Streetlights (located in street rights-of-way), b) parking lot lights, c) support landscape lighting, d) sidewalk lighting, d) bollards, and e) other building entrance and pedestrian way lighting, depending on structural preferences.
- n. Screening devices, site walls and enclosed service, loading and refuse areas should be designed to be an integral part of the building architecture.

5. Building Design

A building's architecture should reflect sensitivity to the regions environmental and cultural context. Desert River's southwestern Sonoran Desert setting presents tremendous opportunities, and yet imposes numerous constraints to building design. Significant elements include the intensity of solar radiation and sun angles, a long moderate and mild winter followed by an equal period of extreme summer temperatures and limited rainfall. Physically the area presents a strong horizontal landscape and unique native and adapted plant life. The New River landscape includes a rich naturally occurring palette of colors, materials and textures that varies seasonally and affects the perception of color. Not all of these factors will produce a unique design environment but, with surrounding development already underway, together they suggest a unique presence of modern communities in an area characterized by harsh extremes.

In general, structures within Desert River will be planned to be responsive to the Sonoran Desert environment, and be designed in a manner that takes advantage of appropriate cooling requirements and landscaping. This environmental sensitivity will be reflected through a series of design themes that might reflect a mix of both contemporary and historical elements. Additionally, structures within Desert River will be designed to maximize the site's highly visible proximity to the Loop 101, as well as connectivity to active sports and entertainment venues nearby. The design of buildings should share similar design characteristics and design expressions. Precise reproduction is not desirable. The utilization of similar colors, materials and textures as well as repeating patterns, rhythms and proportions found within the architecture of other buildings in the center is encouraged.

Following are some more general considerations pertaining to Structure Massing, Orientation and Theming:

- The design of office buildings should incorporate passive architectural solutions to the most exposed faces of buildings to avoid solar exposure thus resulting in unnecessary heat gain. Design solutions to address this risk may include such features as perforated metal screens, awnings, galleries and arcades, extended eaves, horizontal projections between floors, recessed and/or punched windows, lattice and trellis features, light shelves and/or other such devices to mitigate the exposure of exterior wall and window surfaces.
- Buildings should reduce their perceived bulk by dividing itself into smaller distinct volumes, masses, and shapes. As a general rule, a building should exhibit multiple smaller intersecting masses.
- A building's design should refer to the dominant horizontal landforms of the southwest. Forms of dramatic vertical proportion should accentuate horizontal design articulation.
- The use of shading features is encouraged where pedestrian use will be heaviest (i.e. building entries and port-a coheres, pathways between building/transit facilities, perimeter locations where pedestrian activity justifies). Avoid creating areas of redundant shade such as occurs by placing an awning beneath an extended eave.

- Buildings that gain their image primarily from applied treatments that express corporate characteristics are discouraged.
- Buildings that are designed in an attempt to use the building to identify a particular user are generally discouraged, particularly where the proposed architectural design is the result of a corporate or franchise prototype design.
- As a general rule the scale of buildings on a site edge should match the scale of adjoining development. Where surrounding development is of a low scale, large-scale buildings should be located internal to a site and transition down in scale as the outer edge of the site approached.
- The traditional means of diminishing a building's perceived mass is by dividing it into horizontal segments that relate to the base, middle and top of the structure. Most structures conform to this model though methods of breaking up the mass of a building. Design approaches that attempt to exaggerate the mass of a building or intend a monolithic appearance are discouraged in most cases.
- Buildings should be oriented with the primary building entrance facing the primary public street, unless topographical or other site features make such orientation infeasible.
- Rooflines, relative building heights, orientation of entrances and other major architectural elements of the buildings shall be designed within the context of the overall development. Building design shall complement the surrounding area, with contrast encouraged where appropriate or beneficial to the overall development. Buildings shall include articulated wall planes, projection and recesses to provide shadow and depth, and will combine multi-story forms with stepped, stacked or sloped facades.
- Building frontages and sides that are oriented to the street or other public areas are encouraged to incorporate a combination of pedestrian level display windows, storefronts, and store entrances
- To activate a building frontage, primary entrances should be located at frequent intervals of no greater than 100 feet.
- Long storefronts should incorporate design features which address the impacts to the pedestrian resulting from extensive inactive pedestrian frontage. Solutions may include enhanced pedestrian areas, generous open space and landscaped areas, site walls and raised planters and other features or elements intended to address the pedestrian realm. Long continuous wall planes should be avoided.
- Buildings frontages should exhibit human scale detail, windows and other openings along ground floor pedestrian areas. Primary entrances to buildings should be distinguished with façade variations, porticos, roof variations, recesses or projections, or other integral building forms.
- The application of features including distinct and multiple architectural roof forms, clearly pronounced eaves, and distinct parapet designs and cornice treatments may achieve a well-defined building top.
- Where present, roof pitches should be shallow, not to exceed a pitch of 1:4 rise to run.

- The apparent mass of a building may also be reduced by incorporation of some of the following techniques:
 - a. Distinction in roof form and parapet heights
 - b. Incorporating clearly pronounced recesses and projections
 - c. Presentation of wall plane off-sets (dimension established by building section)
 - d. Application of other reveals and projections and subtle changes in texture and color of wall surfaces
 - e. Use of recessed windows with mullions
 - f. Manipulation of ground level arcades and second floor galleries/balconies
 - g. Use of protected and recessed entries
 - h. Treatment of vertical accents or focal points

- Primary building entrances shall be designed to provide shade for pedestrians. This objective shall be accomplished through the use of a combination of 2 or more of the following features at the primary building entrance:
 - a. A canopy, portico, archway, arcade, or similar overhang that provides architectural interest and pedestrian protection;
 - b. Peaked roof forms;
 - c. Raised corniced parapets over the door;
 - d. Outdoor pedestrian features such as seat walls and landscaping with seasonal color or permanent landscape planters with integrated benches; and/or
 - e. Architectural detailing such as tile work and moldings integrated into the building structure.

6. Building Materials and Color Palette

Structures in Desert River shall be designed to encourage commercial development that incorporates façade features that are unique to the development, yet which are evocative of Glendale's Sonoran Desert context. To encourage the development of a built environment that produces continuity while fostering architectural diversity at the same time the appearance for multi-building or phased commercial developments shall be characterized by the use of compatible materials, colors, and architectural character as they build out over time. To produce this effect buildings within Desert River shall conform to the following guidelines:.

- 1) Encourage building materials within Desert River that are durable and have low maintenance requirements when used in a desert environment.

- 2) The architectural design of buildings within a commercial center, including freestanding pad buildings, shall provide complimentary architectural styles in terms of the character, materials, texture, color, and scale used on the buildings.
- 3) Building designs that reference construction methods, use of materials, and cultural architectural responses of past indigenous civilizations and cultures are acceptable. Representative design types may suggest heavy and massive appearance, aggregate concretes, masonry, rammed earth, and suggestive use of water.
- 4) Building designs should reference the region's naturally occurring material colors and textures within a material and color pallet that has depth and variety. Simulated materials should relate to those that might be found in the immediate vicinity, including Westgate.
- 5) All sides of a building should reflect continuity in architectural detail and character. All site walls and screen walls should be design-integrated with surrounding buildings.
- 6) The use of highly reflective, polished or glossy materials should be limited and may be inappropriate in some areas, particularly those areas with freeway frontage.
- 7) Excessive use of decorative detail applied to the surface of a building is discouraged.
- 8) A rich material base that emphasizes variety is encouraged on the wall planes, roofs and ground plane. If stone or decorative block veneers are incorporated, the material should be used to highlight significant building features and massed elements.
- 9) Changes in paint color, building material and/or texture should occur with a salient horizontal change in wall plane or in concert with a strongly pronounced wall detail change.
- 10) In most cases dramatic changes in paint color, material and/or texture at outside corners of buildings should be avoided. Building mass that is not segmented by a color or material should be resolved by turning the corner and accepting other design treatments.
- 11) The use of bold and highly contrasting geometric paint schemes, banding and other applied graphics unrelated to the building architecture and uncharacteristic of structures in the area are discouraged.
- 12) For purposes of durability, function and appearance over the life of a building, awnings and similar manmade shading elements composed of metal or other rigid material are preferred over cloth and fabric materials.
- 13) Awning designs that are composed of bright, highly contrasting colors and which are translucent or illuminated from within are discouraged.

- 14) Primary exterior materials for new construction within the Desert River PAD may include the following:
 - i. Brick;
 - ii. Stone (natural or simulated);
 - iii. Integrally-colored, split face or ground face concrete masonry units (CMU);
 - iv. Textured tilt-up concrete panels;
 - v. Traditional cement hardcoat stucco;
 - vi. Exterior Insulation and Finish Systems (EIFS);
 - vii. Standing seam metal roofs;
 - viii. Concrete and clay tile roofs;
 - ix. Clear and tinted glass;
 - x. Mosaic tile;
 - xi. Wood (limited to architectural accents); and
 - xii. Architectural metal.
 - xiii. Additional materials are allowed provided they are of a comparable quality, durability, and character.
- 15) Colors and materials should be used to create visual harmony within Desert River as well as accent colors to provide variety and interest. Color encouraged within Desert River are as follows:
- 16) Desert hues and other “earth tones”, including:
 - i. Earthy browns, sepias, and tans;
 - ii. Dark reds and maroons;
 - iii. Dark oranges to pinks;
 - iv. Dark greens;
 - v. Deep sky blues to gray-blues;
 - vi. Deep purples;
 - vii. Ochres, yellow-browns; or
 - viii. Variations of the above colors that result from natural weathering or oxidation processes (rusts, grays, etc.).
- 17) Muted shades of blues, greens and reds found in the natural desert color vocabulary.
- 18) Colors appearing in natural stone utilized in buildings.

- 19) Accent colors such as gold, red, yellow and green are also encouraged within the architectural theme of Desert River.
- 20) The following architectural treatments are generally discouraged in the Desert River PAD:
 - i. Un-textured or unarticulated tilt-up concrete panels;
 - ii. Pre-fabricated steel panels(as sole material);
 - iii. Corrugated metal (Corten or rust finish acceptable as an accent element); and
 - iv. Asphalt shingle roofs.
 - v. "Staging" in paint color applied to one unbroken surface or the use of large graphics.
 - vi. Extended bands of vibrant and/or highly contrasting colors that is unrelated to the architecture.
 - vii. Long uninterrupted expanses of any one material, color, or texture

VII. CIRCULATION / TRAFFIC

Site Location

The site of the proposed Desert River development is well situated from a regional access perspective; it is visible from the Loop 101 (Agua Fria) Freeway, and is easily accessible from the Loop 101/Glendale Avenue and Loop 101/Northern Avenue interchanges, both of which are located within a half mile of the development site. See Regional Roadway Network attached as **Exhibit M**. Additionally, the Desert River site is already directly accessible from 99th Avenue, a regionally significant arterial roadway, and will ultimately be directly accessible (via a southerly Desert River Boulevard extension, by others) from a second regionally significant arterial roadway, Glendale Avenue. Traffic volumes along Loop 101 are expected to reach 175,000 vehicles per day before this and other planned developments in the immediately surrounding area reach full build out. During the same time period, traffic volumes on 99th Avenue are expected to approach 40,000 vehicles per day and traffic volumes along Glendale Avenue are expected to approach 60,000 vehicles per day.

Traffic and Roadway Capacity Impacts

Significant public roadway capacity improvements proposed as part of this development will more than compensate for the impact this project will have on the existing transportation network. These improvements include the widening of 99th Avenue, in front of the subject property, to provide for two additional southbound through lanes, a series of southbound right turn lanes at several site driveways and two new public street intersections, and a series of northbound left turn lanes at two site driveways and two new public street intersections. These improvements also include

the construction of two new public collector roadway segments. See Street Cross-Sections attached as **Exhibit N**.

- Desert River Boulevard (both halves), which will provide two travel lanes, a striped center median, bike lanes, curb and gutter, and sidewalk within a 70-foot right of way, traffic signal control (when warranted) at its intersection with 99th Avenue, and, provisions for a future southerly extension (by others) to Glendale Avenue, to create the north half of the City's planned "couplet" around the intersection of 99th Avenue and Glendale Avenue.
- Myrtle Avenue (north half), which will ultimately provide two travel lanes, a striped center median, bike lanes, curb and gutter, and sidewalk within a 70-foot right of way, traffic signal control (when warranted) at its intersection with 99th Avenue, and a direct public street link between the City's Park and Ride facility located on the east side of 99th Avenue, and the proposed Desert River Boulevard

Desert River Boulevard was originally recommended as a major collector roadway to consist of four travel lanes with a raised center median within a 100-foot right of way and able to accommodate approximately 25,000 vehicles per day. The intention of Desert River Boulevard was to accommodate both Desert River site traffic and background traffic consisting of bypass traffic around the 99th Avenue and Glendale Avenue intersection connecting to the future developments south of Glendale Avenue. In further discussions with City of Glendale staff, it was determined that the main function of this collector roadway would be to provide direct access to the Desert River development and to minimize the cut-through traffic avoiding the 99th Avenue and Glendale Avenue intersection. With less projected traffic demand and the expectation of decreasing cut-through traffic, it is expected that this roadway can provide two travel lanes and accommodate approximately 12,000 to 15,000 vehicles per day. In order to minimize the amount of cut-through traffic, traffic calming treatments may be considered to minimize speed along this corridor.

External Access

Access to Desert River from 99th Avenue will be provided by a combination of four right in/right out only driveways, two right in/right out/left in unsignalized driveways, and two signalized public street intersections. One public street intersection is proposed along the Myrtle Avenue alignment, to be located ¼ mile north of Glendale Avenue. This intersection will also serve as the primary point of entry and exit for the City's Park and Ride facility on the northeast corner of 99th Avenue and Glendale Avenue. The second public street intersection is proposed near the Orangewood Avenue alignment, located approximately ½ mile north of Glendale Avenue. The proposed signalized intersection is shifted 100 feet south of the Orangewood Avenue alignment, as approved by the City of Glendale Transportation Department, to provide adequate access to the Roosevelt Irrigation District parcel east of 99th Avenue. This intersection may also provide a second access point to the proposed park and ride expansion.

Internal Circulation

Access to buildings and parking fields located internal to Desert River will be provided by way of the two dedicated public street segments and a number of private local access roads, as generally illustrated in **Exhibit O**, Circulation Master Plan. Desert River Boulevard will be a two lane collector roadway with a center two-way left turn lane that will provide access to the adjacent parcels, and sidewalk and bike lanes along both sides. Myrtle Avenue will ultimately be a minor collector roadway, providing two travel lanes, a raised center median with left turn bays and/or a painted center turn lane, and sidewalk along both sides. On street parking may also be provided, if warranted to support abutting office or retail development. The private local access roads will each provide two travel lanes and, as warranted by traffic volume projections, separate turn lanes at intersections with public streets, and separate turn lanes, roundabouts, or traffic circles, at internal private street intersections.

One of the most critical amenities to the overall development plan for Desert River is a pedestrian circulation pattern that is attendant to and supportive of the roadway network. Because of the very large land area for Desert River, as well as the inescapable auto-oriented nature of the Business Park uses, it is challenging to incorporate design specificity for the pedestrian linkages. However, internal roadways will certainly provide the necessary right-of-way to accommodate appropriate sidewalks, and the circulation program will call for cross-access pathways to facilitate movement between the large employment-generating uses to the west with the retail and entertainment facilities to the east. In addition, while an overall site plan program for Desert River cannot be developed to a meaningful level of accuracy at this early stage, it is anticipated that individual site plans within the Mixed-Use/Commercial parcels will rely heavily on strong pedestrian linkages that funnel foot traffic to the retail-focused land uses. Examples of such linkage features may include striping, designated walkable lanes, pavers, raised medians, landscaping, wayfinding signs, banners, benches, shading, and water features that all combine to create a successful walking experience.

VIII. GRADING AND DRAINAGE

The subject property consists of approximately 110 acres of predominately desert rangeland with a landscape nursery temporarily occupying the project site. On-site storm water currently sheet flows from the northeast to the southwest whereby discharging to the New River via existing concrete outlet pipes located along the east bank of the New River. The project site in the existing condition does not provide for storm water retention.

The proposed development is part of the approved Maryvale Area Drainage Master Study (ADMS). The 100-year 6-hour peak flow at the intersection of 99th and Glendale avenues is roughly 490-cfs, the runoff is subsequently combined with the on-site watershed resulting in a peak discharge to the New River of 620-cfs. Since the south property boundary of the project site is located roughly ¼ mile north of the intersection, it is anticipated that the regional flooding within Glendale Avenue will not adversely impact the Property. The Agua Fria Freeway, Loop 101, collects storm water

generated from the north and east and conveys said flow to the New River via the existing ADOT outfall channel located adjacent and parallel to the north property boundary of the development.

Per the Design Plans for the New River Channelization there are two (2) existing outlets to the river located along the east bank of the channel. The first controlled outlet is a 42-inch reinforced concrete pipe (RCP) located roughly midway up the west property line. The second controlled outlet is a 36-inch RCP located just south of the southeast corner of the project site. A hydrologic HEC-1 analysis was performed on the property in order to determine the quantity of storm water impacting the existing outlet pipes. The on-site sub-basins were adopted from the Design Report for the New River Channelization and analyzed utilizing Green-Ampt Loss Parameters and the Clark Unit Hydrograph procedure, which is consistent with FCDMC methodologies. It was determined that during the existing condition 100-year 6-hour storm event the 42-inch RCP discharges roughly 69-cfs with a headwater elevation of 66.71-ft. The 36-inch RCP outlet discharges 81-cfs with a peak stage of 62.84-ft.

Due to the proximity of the Property to the New River the design intent is to utilize the existing outlet pipes to minimize the amount of detention required. The project site at a minimum will retain the first flush volume prior to discharging to the New River which is consistent with NPDES and ADEQ requirements. The future condition HEC-1 model utilized identical basins to the existing condition model with the exception of the land use. It was determined that although the proposed development increased the runoff to the 42-inch RCP there is sufficient headwater available to push the flow through the pipe prior to breaking out to the south. The peak flow for the future condition at this location is 91-cfs with a peak stage of 68.24-ft. This results in an outflow velocity of roughly 9.4-ft/s; however, the pipe discharges to an existing drop inlet headwall subsequently dissipating the outlet energy.

The 36-inch RCP discharges roughly 81-cfs with a peak stage of 62.84-ft. A proposed retention basin DET-2 is proposed at the southeast corner of the project site in order to attenuate flows to the existing condition flow. As the headwater builds up on the existing 36-inch RCP storm water breaks out to the south at a rate of 119-cfs which is consistent with the existing condition within this area.

As shown in **Exhibit P** Conceptual Grading and Drainage Exhibit, the "First Flush" storm water retention requirement is calculated as 206,415 cubic feet; however, the total storm water detention proposed is 400,000 cubic feet. The additional storm water detention is provided to attenuate flows to existing conditions. The actual required detention volume will be determined via detailed drainage report which documents maintaining existing conditions as approved by the City of Glendale Engineering Department.

It is proposed that storm water detained/retained onsite will be dissipated via metering pipes to the existing outfall pipes to New River.

All buildings will be developed above the 100-year peak-flow water surface elevations.

IX. INFRASTRUCTURE / UTILITIES

1. Water System

The existing City of Glendale (COG) water system adjacent the subject property consists of a 12-inch water main and 6-inch water main within 99th Avenue. The aforementioned water mains are not interconnected. A large portion of the 6-inch water main adjacent to the site is abandoned.

Domestic and fire protection service for the subject property will extend from a proposed 12-inch water line looped system which will connect into the 12-inch water main within 99th Avenue at the Azul Way, Desert River Boulevard, and Myrtle Avenue intersections. Refer to the 'Conceptual Water & Sewer Exhibit' attached as **Exhibit Q** for the proposed water system layout.

Phase I would consist of the construction of the water system infrastructure within Desert River Boulevard and Myrtle Road, subsequently connecting into the 12-inch water main within 99th Avenue. Future phases will consist of the extension of the 12-inch water line within Desert River Boulevard to Azul Way, which would connect into the 12-inch water main within 99th Avenue. Ultimately the 12-inch water line within Desert River Boulevard be extended by others to Glendale Avenue.

Currently, all onsite water demand including fire protection, domestic water and landscape irrigation would be supplied by the City potable water system. The Developer reserves the option to utilize reclaimed water for water features and/or irrigation.

2. Wastewater System

The existing City of Glendale wastewater system adjacent the subject property consists of a 42-inch sewer line within 99th Avenue. The aforementioned sewer main flows from north to south towards Glendale Avenue.

Wastewater collection for the subject property will be accomplished by connecting the proposed on-site sewer infrastructure to the 42-inch sewer main within 99th Avenue. Per the City of Glendale Water and Wastewater Department requirements, only one (1) connection is permitted per ¼ mile distance. As such, the number of connections to the existing 42-inch sewer main is limited to two (2) connection points. Refer to the 'Conceptual Water & Sewer Exhibit' attached as **Exhibit Q** for the proposed sewer layout.

The two (2) proposed wastewater system connections are shown on **Exhibit Q**. Phase I of the development would consist of a proposed 12-inch sewer line within Azul Way, which would connect into a proposed 12-inch sewer line within Desert River

Boulevard, subsequently connecting into the 42-inch sewer main within 99th Avenue. Future phases of the development would consist of the construction of a 12-inch sewer main within Desert River Boulevard and Myrtle Avenue which would subsequently connect into the 42-inch sewer main within 99th Avenue.

The City of Glendale 2002 Engineering Design and Construction Standards Manual currently utilizes Arizona Department of Environmental Quality (ADEQ) evaluation criteria for sewer system design. Anticipated wastewater generation from the subject property is based on ADEQ Title 18 of the Arizona Administrative Code (AAC), Chapter 9 'Water Pollution Control' Table.1 ' Unit Design Flows', which provides wastewater generation rates in gallons per day (gpd) by type of land use and corresponding unit (e.g. 20 gpm/employee for office building). The occupant load is determined utilizing the 2003 International Fire Code (IFC), currently adopted by the City of Glendale, Table 1004.1.2 'Maximum Floor Area Allowances Per Occupant' which designates the maximum floor area in square feet per occupant per type of land use.

At full buildout the planned land use includes approximately 47.11 acres of Office/Employment, 32.48 acres of Mixed Use/Commercial, and 23.66 acres of Business Park districts, a total of 103.25 acres. Based on an average Floor Area Ratio (FAR) of approximately 0.50, or 50%, the corresponding total building area would be approximately 2,250,000 square feet.

The corresponding Office/Employment building area utilizing the aforementioned FAR would be approximately 1,027,000 square feet. Based on 20 gpd/employee per ADEQ AAC Title 18, and an occupancy load of 1 employee/100 sf per the 2003 IFC, an average daily wastewater flow of 205,000 gpm is estimated.

The corresponding Mixed Use/Commercial building area utilizing the FAR of 0.50 would be approximately 710,000 square feet. The 'Mixed-Use' area could include retail and restaurant occupancy; the restaurant occupancy would typically exhibit higher wastewater generation rates relative to the low retail wastewater generation rates. Conservatively, due to the restaurant component, a safety factor of 2.0 is applied to this category. Based on 0.10 gpd/sf per ADEQ AAC Title 18 for a shopping center, the average daily wastewater flow of (75,000 gpd x 2) 150,000 gpm is estimated.

The corresponding Business Park building area utilizing the FAR of 0.50 would be approximately 515,000 square feet. Based on 20 gpd/employee per ADEQ AAC Title 18, and an occupancy load of 1 employee/100 sf per the 2003 IFC, an average daily wastewater flow of 105,000 gpm is estimated.

Therefore, the total average daily wastewater flow at full buildout is estimated at 460,000 gpd.

3. Dry Utilities

There is an anticipated need for electrical, natural gas, telecommunications, and cable services for this project. Will serve letters have been obtained from Southwest

Gas, Salt River Project, Qwest Communications, and Cox Communications for providing these services.

There are existing natural gas facilities on site that are being served by a transmission line in Glendale Avenue. Southwest Gas is upgrading the facilities in Glendale Avenue and the existing facilities on-site will need to be abandoned. The new facilities to serve the property will be installed in the west Right-of-Way of 99th Avenue and run north from Glendale Avenue to this project.

There are existing electrical transmission facilities in the west Right of Way of 99th Avenue that currently serve this project. It is anticipated that these facilities will need to be re-routed and may need to be upgraded to provide this project with electrical service.

There are existing Qwest telephone and Cox cable facilities in the west Right of Way of 99th Avenue that currently serve the Property. It is anticipated that these facilities will be re-routed to provide this project with telecommunication services.

X. PHASING

The project is anticipated to develop in four (4) general phases as shown on **Exhibit R**, the conceptual phasing plan. This phasing is conceptual only. Most notably, roadway improvements to 99th Avenue, Desert River Boulevard, and Myrtle Avenue, and their attendant water and wastewater services, will guide the development scenario for Desert River. Based upon a tactical review of existing infrastructure as well as the most strategically located areas of the project site, ownership anticipates that the initial phasing for the project will be: those areas that abut 99th Avenue and the subsequent progression of phases will generally occur from east to west, depending upon market demand.

Primary entry features into Desert River will be constructed when the development of a particular phase is adjacent to 99th Avenue, Desert River Boulevard, or Myrtle Avenue. Each phase of development and each lot will have sufficient access and will be reviewed by Staff on a case by case basis to ensure orderly development and sufficient connection to the street network. All remaining improvements will occur as market conditions warrant. Ownership will submit plans for each phase to City Staff to ensure proper and orderly development and infrastructure will be built to support each new phase as development progresses.

XI. AMENDMENTS

It is not the applicant's intent to deviate from the Development Plan, but to allow the flexibility to respond to the market. The City and the applicant acknowledge that amendments to the PAD may be necessary from time to time to reflect changes in

market conditions and development financing and/or to meet the new requirements of one or more of the potential users or builders of any part of the Property. When the parties agree that changes or adjustments are necessary or appropriate, they shall, unless otherwise required by applicable law or by state or federal statute, effectuate minor changes or adjustments through administrative amendments. These changes may be approved by the City's Planning Department, which, after execution, shall be attached to the PAD as an addendum and become a part thereof. No such minor amendments shall require prior notice or hearing. All major changes or amendments shall be reviewed by the Planning Commission and by City Council.

Recognizing the unique nature of the project, the City's Planning Department may decide if a change is major or minor. The following changes are deemed minor:

- Any interpretation of the list of permitted, excepted, conditional or accessory uses of the Property set forth in the PAD;
- Changes in the Phasing Plan;
- An increase in the square footage of commercial / mixed-use for the Property by a maximum of 10% except as otherwise allowed by the PAD;
- Modifications in the location of trails and/or pedestrian paths, so long as the modifications meet the general intent of the plan;
- Modifications or adjustments to roadway alignments, so long as there is not a net reduction in open space area for the overall Land Use Area;
- Such other adjustments and / or modifications to the development standards within the PAD that do not impact the general health, safety and welfare of the residents of the City;
- Any other matters the Planning Director deems to be minor.

The following is deemed a major change:

- Any change not considered a minor amendment as set forth above shall require an amendment pursuant to the City's Zoning Ordinance.

The parties shall cooperate in good faith to agree upon and use reasonable best efforts to process any minor or major amendments to the PAD.

LIST OF EXHIBITS

- A. Vicinity Map
- B. Aerial Map
- C. General Plan Map
- D. Land Use Master Plan
- E. Overall Landscape Plan
- F. Streetscape
- G. Main Entry Perspective
- H. Landscape Palette
- I. Pedestrian Circulation Plan
- J. Screen Walls
- K. Master Sign Plan
- L. Architectural Character
- M. Regional Roadway Network
- N. Street Cross Sections
- O. Circulation Master Plan
- P. Conceptual Grading & Drainage
- Q. Conceptual Water & Sewer
- R. Phasing Master Plan

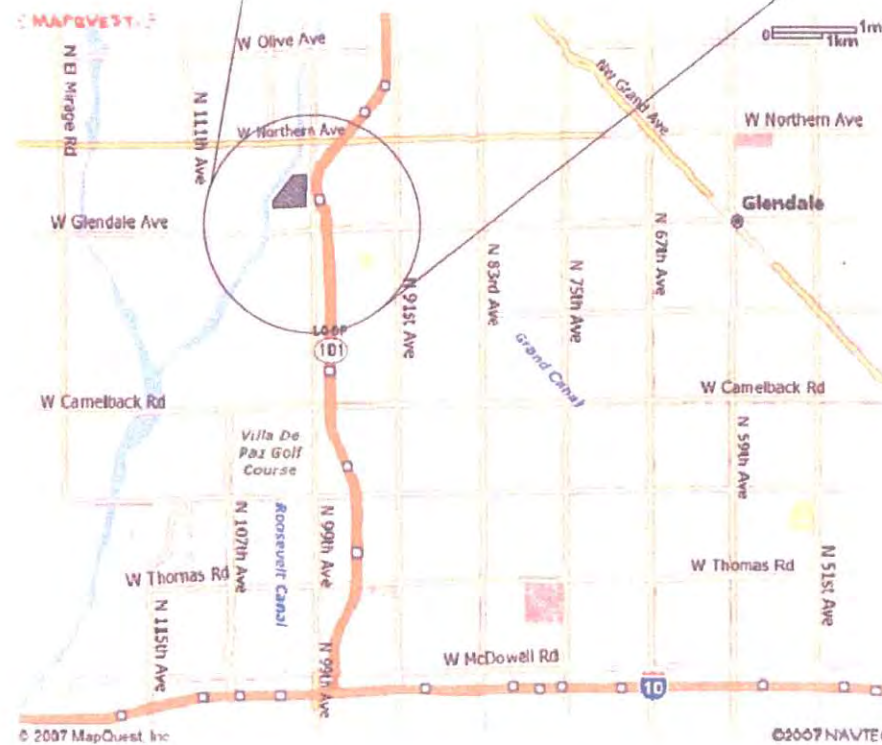


EXHIBIT A VICINITY MAP



7302 N 99th Avenue
ZON07-20

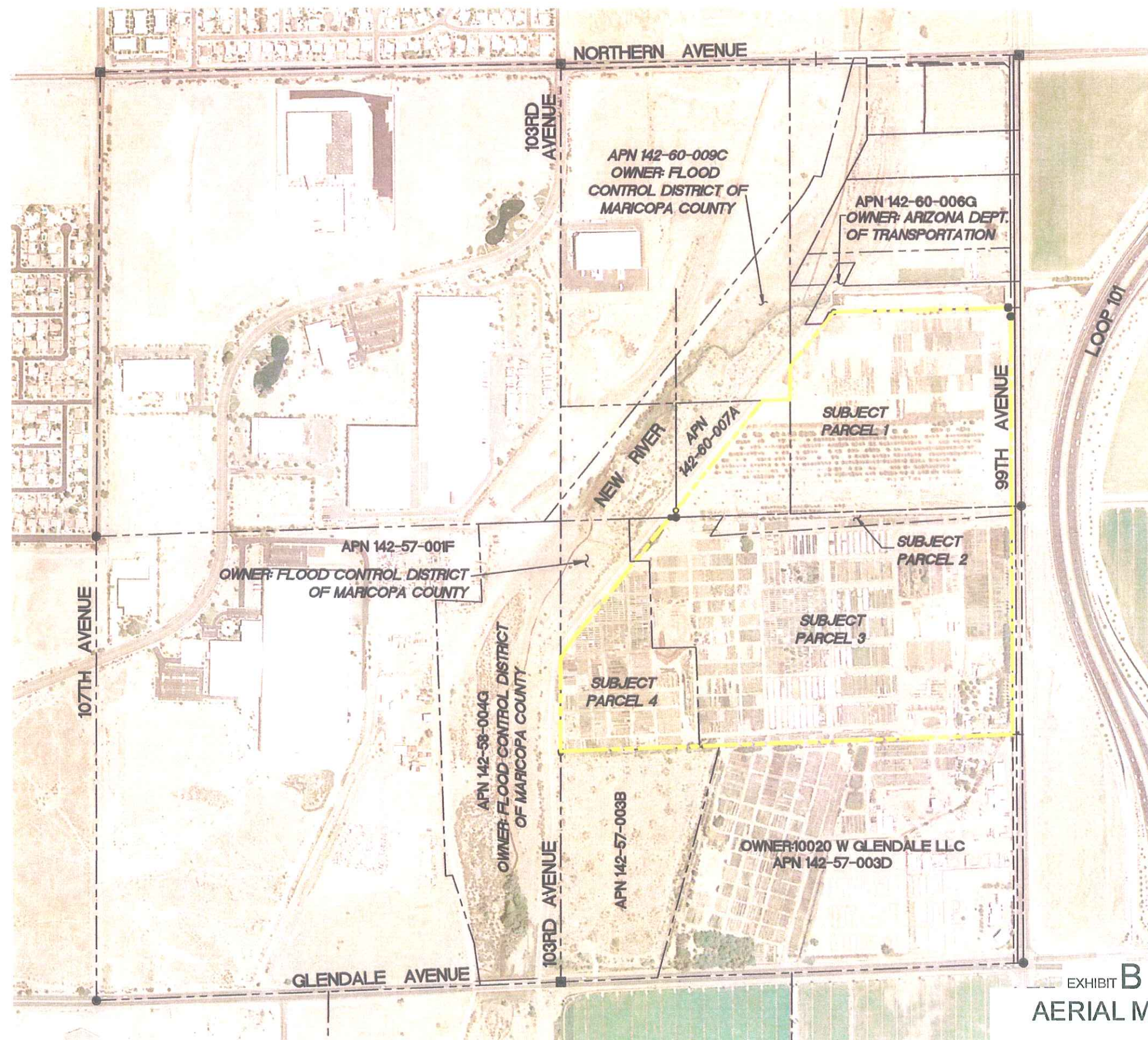


EXHIBIT B
AERIAL MAP



7302 N 99th Avenue
ZON07-20

LAND USE DESIGNATIONS

Low Density Residential	Planned Commercial
Medium Density Residential	General Commercial
Medium-High Density Residential	Entertainment Mixed Use
High Density Residential	Light Industry
Corporate Commerce Center	Heavy Industry
Business Park	Education
Office	Parks and Open Space
Public Facility	Luke Compatible Land Uses
Institutional	

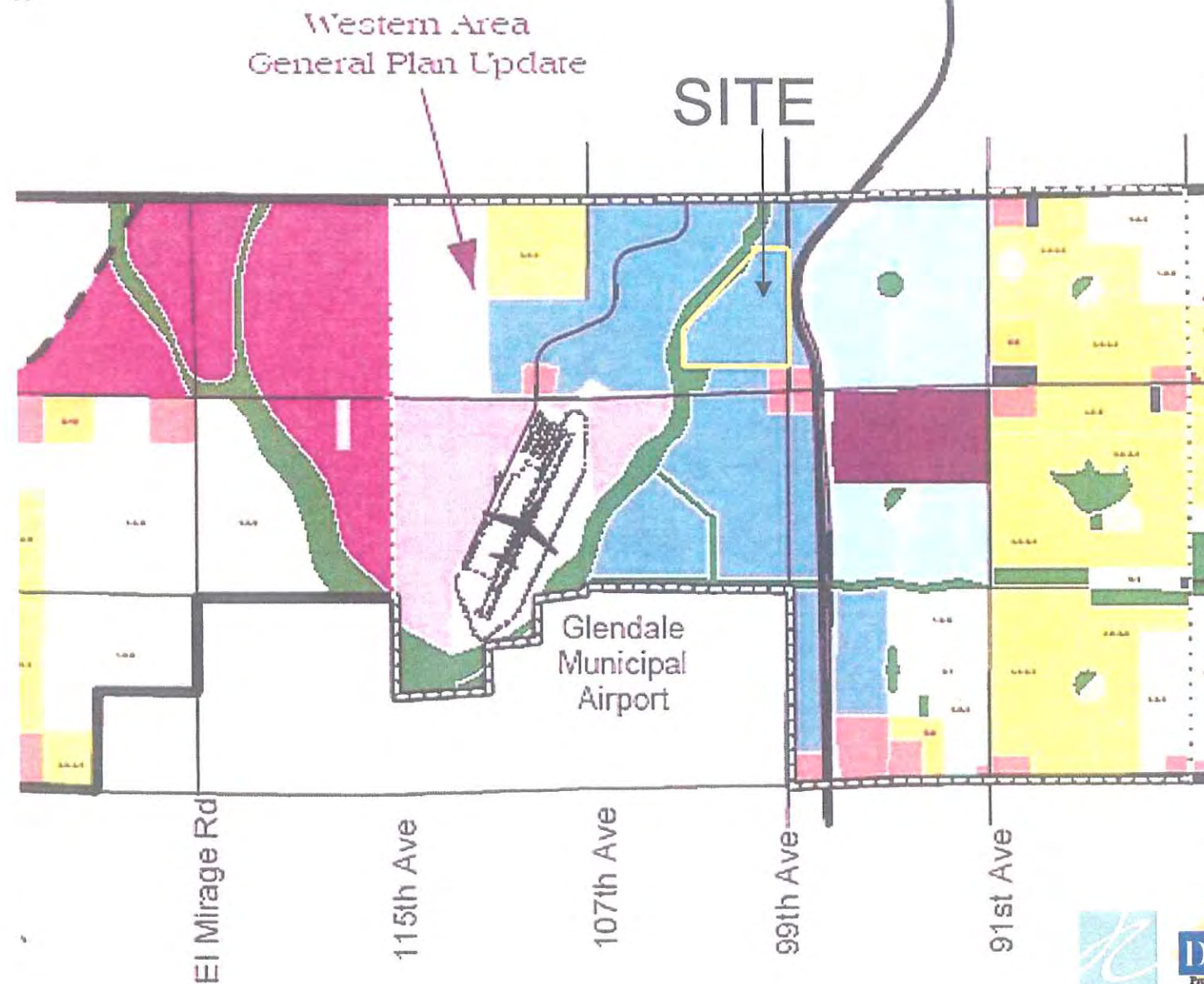


EXHIBIT C GENERAL PLAN LAND USE MAP



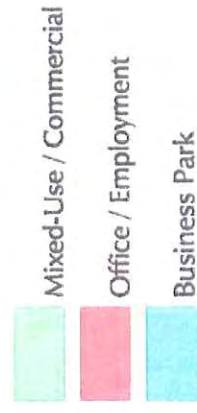
7302 N 99th Avenue
ZON07-20

To Northern Avenue



To Glendale Avenue

To Glendale Avenue

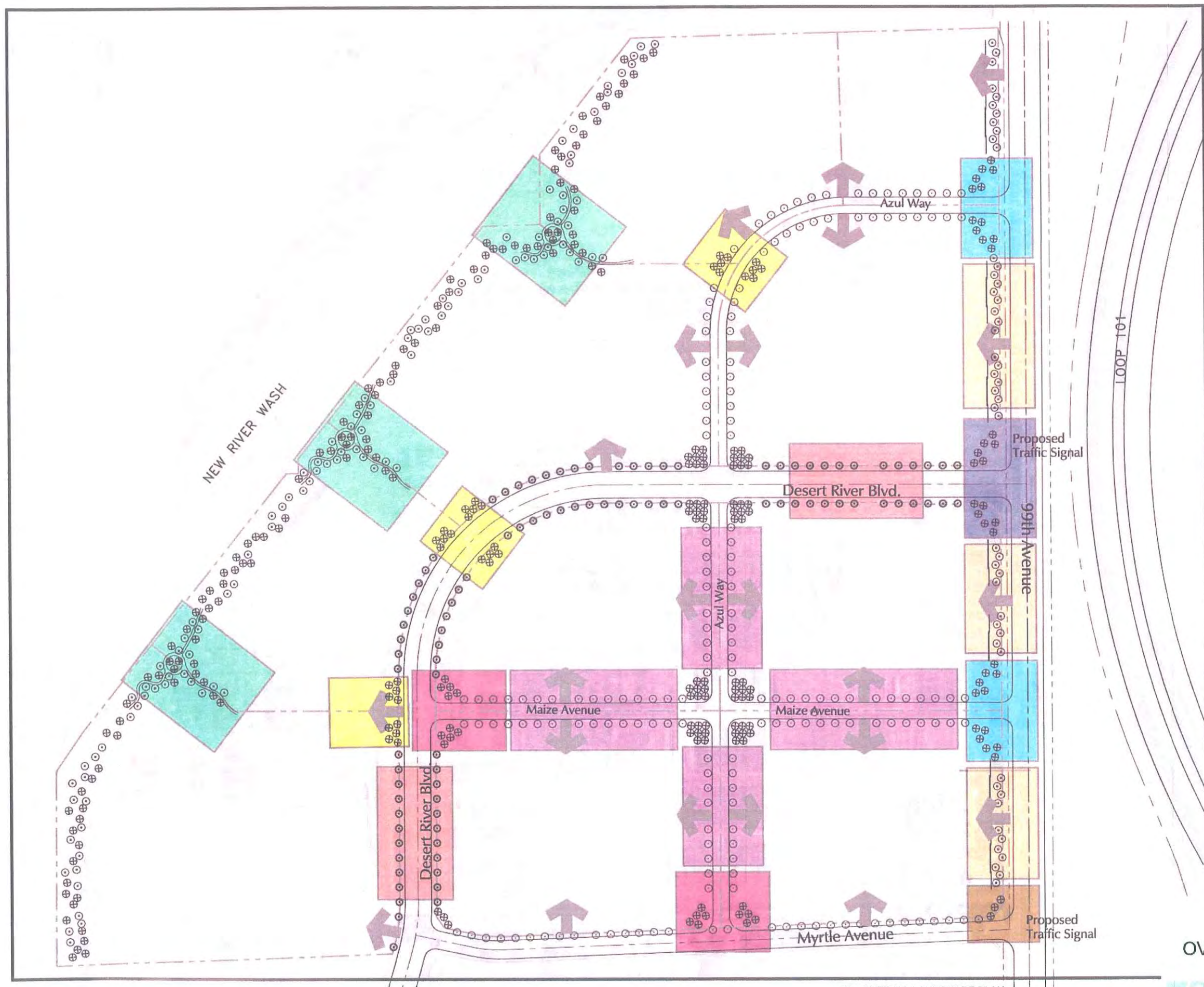


Height / Density Zone

EXHIBIT D LAND USE MASTER PLAN



7302 N 99th Avenue
ZON07-20



LEGEND

- REFER TO MAIN ENTRY - DESERT RIVER BLVD
CONCEPT EXHIBIT
- REFER TO MAIN ENTRY - MYRTLE AVE
CONCEPT EXHIBIT
- REFER TO MAIN ENTRY - PRIVATE DRIVE
CONCEPT EXHIBIT
- REFER TO SECONDARY ENTRY
CONCEPT EXHIBIT
- REFER TO 99TH AVENUE
CONCEPT EXHIBIT
- REFER TO DESERT RIVER BLVD.
CONCEPT EXHIBIT
- REFER TO PRIVATE DRIVE
CONCEPT EXHIBIT
- REFER TO PEDESTRIAN NODE
CONCEPT EXHIBIT
- REFER TO MULTI-USE PATH
CONCEPT EXHIBIT

EXHIBIT E OVERALL LANDSCAPE PLAN

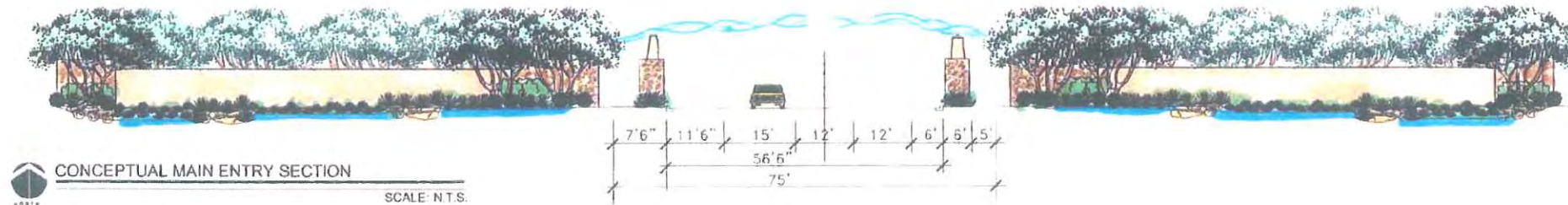
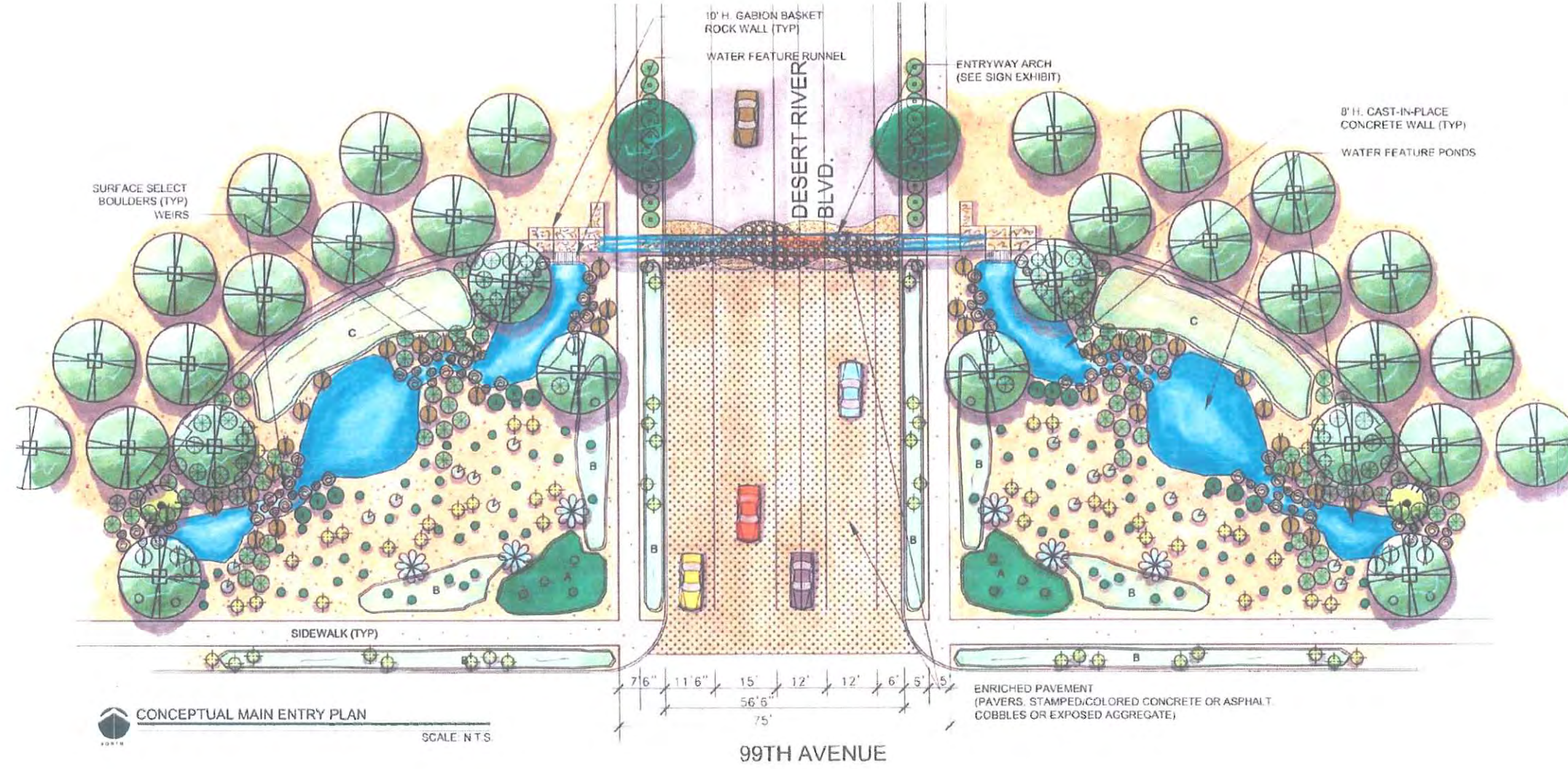


OVERALL LANDSCAPE PLAN

SCALE: N.T.S.



7302 N 99th Avenue
ZON07-20

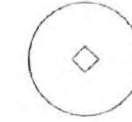


CONCEPTUAL PLANT PALETTE

TREES



SPECIMEN MESQUITE
SALVAGED FROM SITE



STREET TREE
OPTION:
D. MUSEUM PALO VERDE
MESQUITE
PISTACHE
ELM

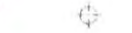


LARGE PERIMETER SHRUB
OPTION:
CASCALOTE
MEXICAN BIRD OF PARADISE

ACCENTS



ACCENT
OPTION:
AGAVE AMERICANA
AGAVE VILMORINIANA
DESERT SPOON



SHRUBS
SHRUB
OPTION:
BRITTLE BUSH
COMPACT JOJOBA
BURSAGE



SHRUB
OPTION:
SALVIA GREGGII
BAJA RUELLIA
CALLIANDRA SPECIES



OPTION:
CALLIANDRA SPECIES
COMPACT JOJOBA



OPTION:
DEER GRASS
MUHLENBERGIA SPECIES



OPTION:
BULL GRASS
MUHLENBERGIA SPECIES



GROUND COVER
GROUND COVER
OPTION:
BURSAGE
TURPENTINE BUSH

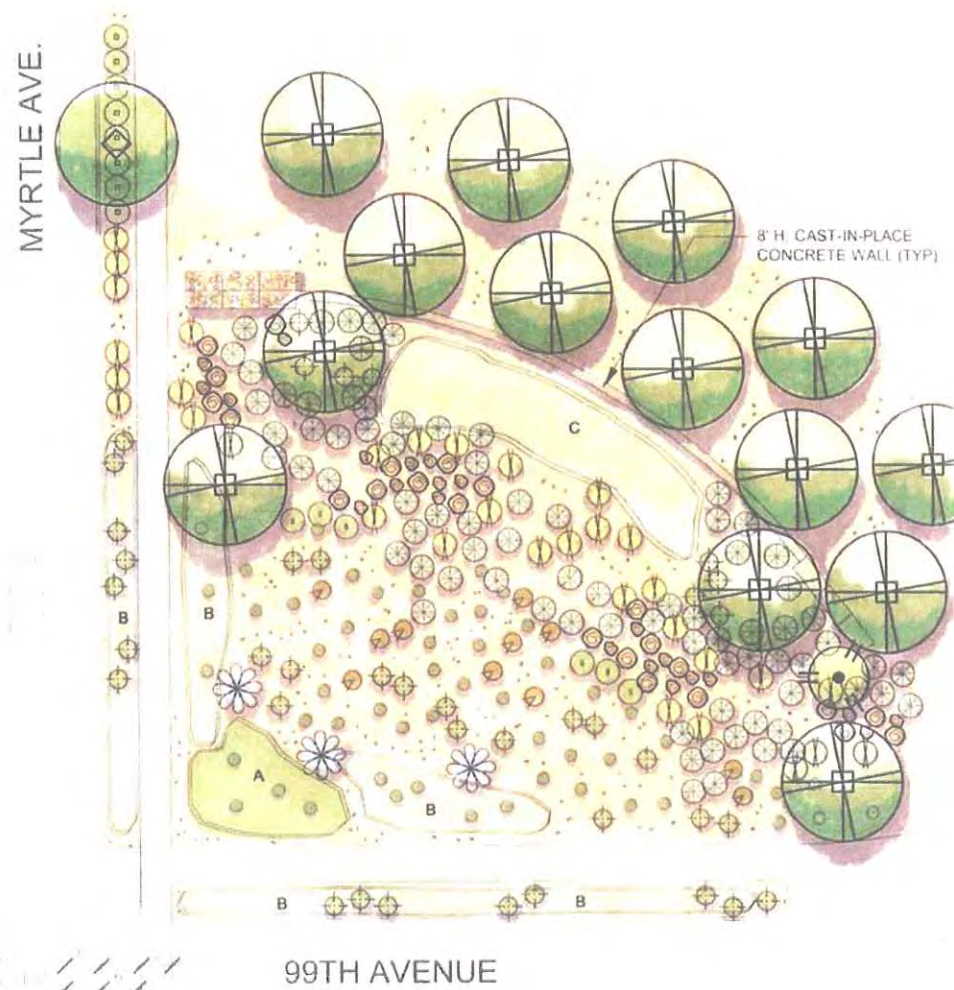


GROUND COVER
OPTION:
A LANTANA SPECIES
B DESERT MARIGOLD
C TRAILING ACACIA

EXHIBIT F MAIN ENTRY CONCEPT DESERT RIVER BLVD.

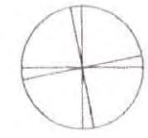


7302 N 99th Avenue
ZON07-20

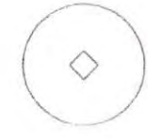


CONCEPTUAL PLANT PALETTE

TREES



SPECIMEN MESQUITE
SALVAGED FROM SITE
OPTION:
IRONWOOD
PALO VERDE



STREET TREE
OPTION:
D. MUSEUM PALO VERDE
MESQUITE
PISTACHE
ELM



LARGE PERIMETER SHRUB
OPTION:
CASCALOTE
MEXICAN BIRD OF PARADISE

ACCENTS



ACCENT
OPTION:
AGAVE AMERICANA
AGAVE VILMORINIANA
DESERT SPOON

SHRUBS

SHRUB
OPTION:

BRITTLE BUSH
COMPACT JOJOBA
BURSAGE

SHRUB
OPTION:

SALVIA GREGGII
BAJA RUELLIA
CALLIANDRA SPECIES

OPTION:

CALLIANDRA SPECIES
COMPACT JOJOBA

OPTION:

DEER GRASS
MUHLENBERGIA SPECIES

OPTION:

BULL GRASS
MUHLENBERGIA SPECIES

GROUND COVER

GROUND COVER
OPTION:

BURSAGE
TURPENTINE BUSH

GROUND COVER
OPTION:

A LANTANA SPECIES
B DESERT MARIGOLD
C TRAILING ACACIA

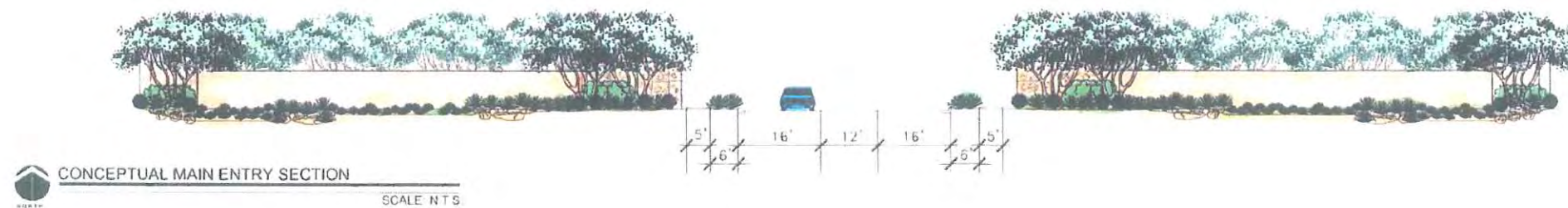
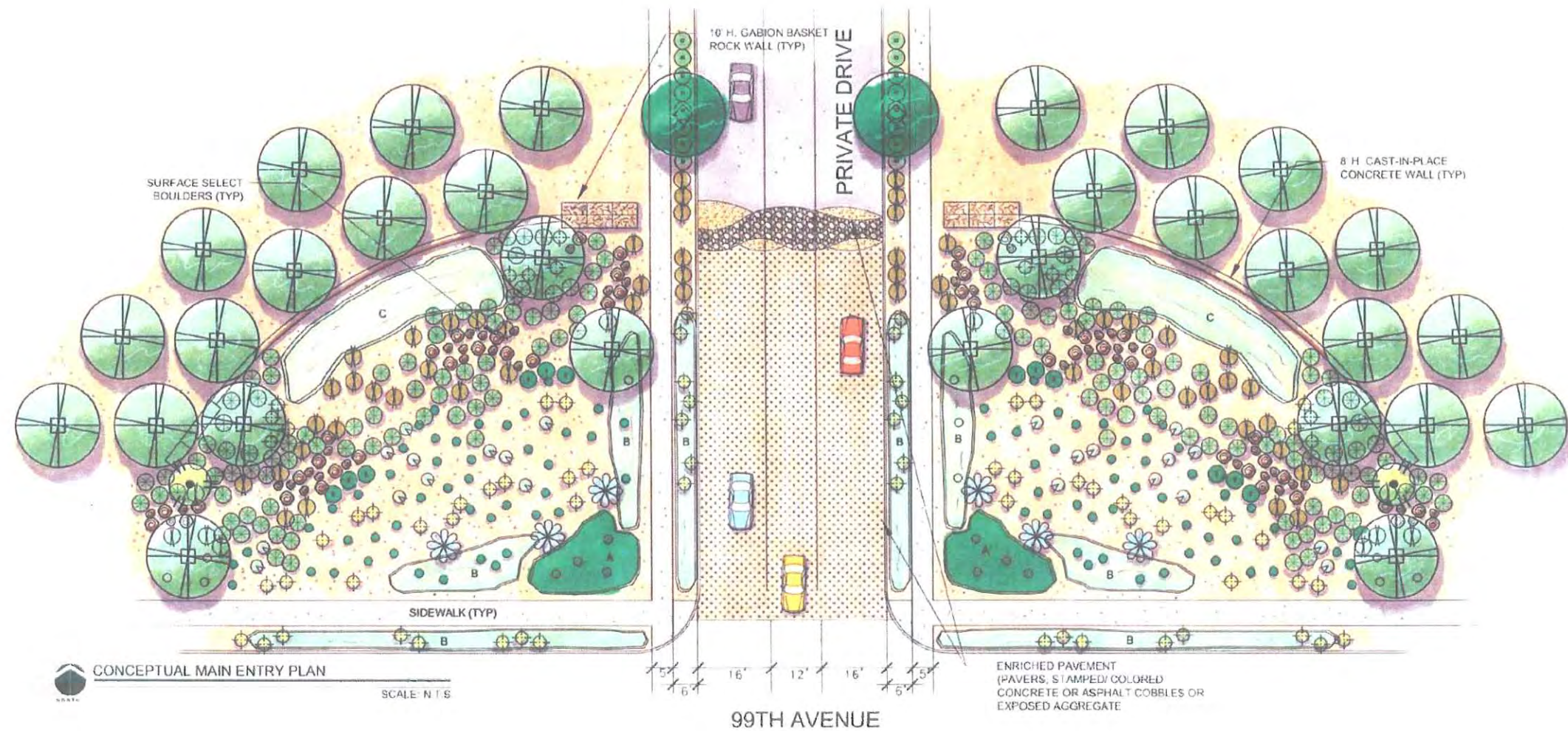
CONCEPTUAL MAIN ENTRY PLAN
SCALE N.T.S.

CONCEPTUAL MAIN ENTRY SECTION
SCALE N.T.S.

EXHIBIT F MAIN ENTRY CONCEPT MYRTLE AVENUE

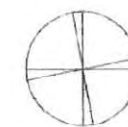


7302 N 99th Avenue
ZON07-20

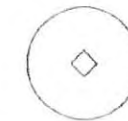


CONCEPTUAL PLANT PALETTE

TREES



SPECIMEN MESQUITE
SALVAGED FROM SITE



STREET TREE
OPTION:
D. MUSEUM PALO VERDE
MESQUITE
PISTACHE
ELM



LARGE PERIMETER SHRUB
OPTION:
CASCALOTE
MEXICAN BIRD OF PARADISE

ACCENTS



ACCENT
OPTION:
AGAVE AMERICANA
AGAVE VILMORINIANA
DESERT SPOON



SHRUBS
SHRUB
OPTION:
BRITTLE BUSH
COMPACT JOJOBA
BURSAGE



SHRUB
OPTION:
SALVIA GREGGII
BAJA RUELLIA
CALLIANDRA SPECIES



OPTION:
CALLIANDRA SPECIES
COMPACT JOJOBA



OPTION:
DEER GRASS
MUHLENBERGIA SPECIES



OPTION:
BULL GRASS
MUHLENBERGIA SPECIES

GROUND COVER

GROUND COVER

OPTION:
BURSAGE
TURPENTINE BUSH



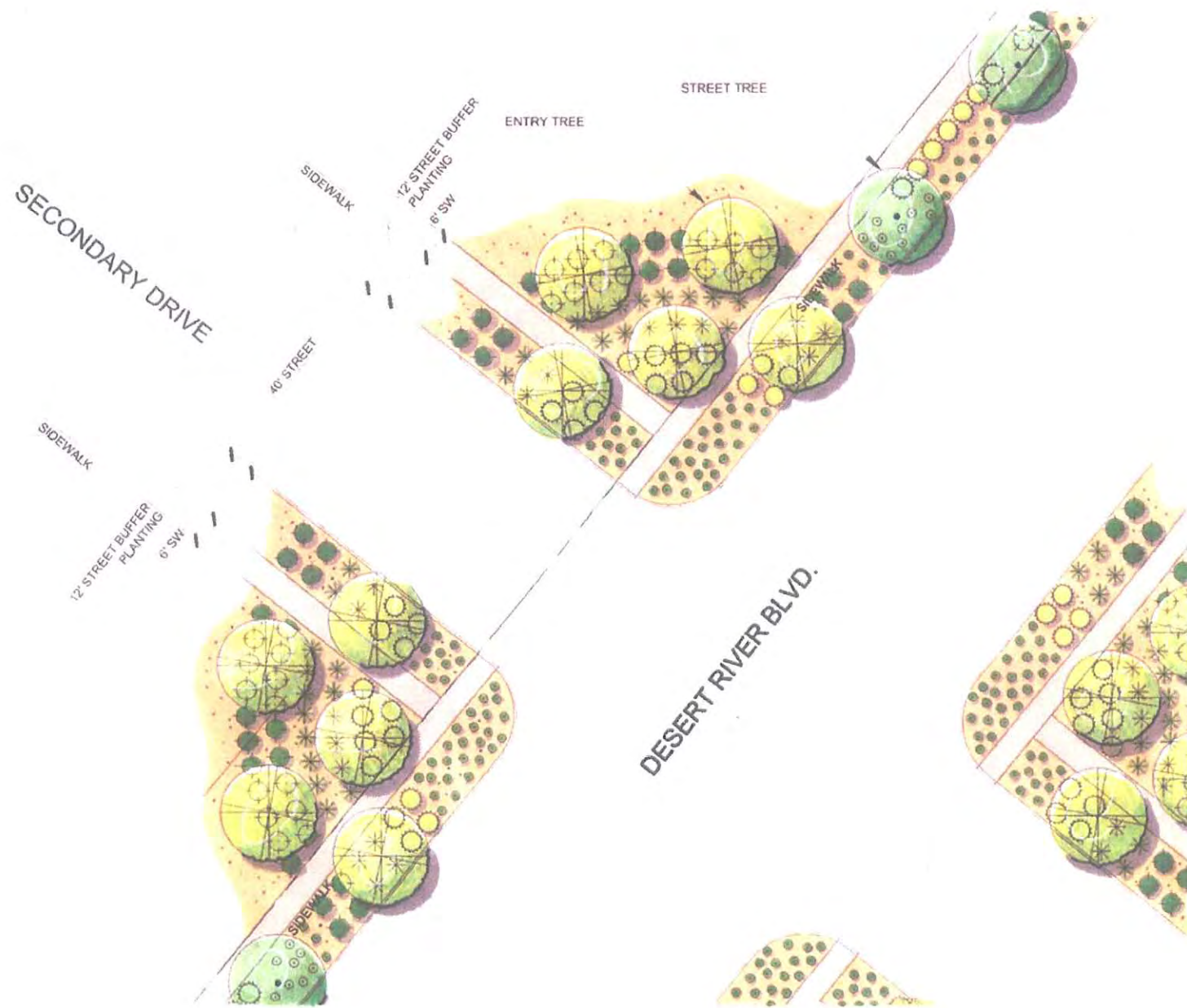
GROUND COVER
OPTION:
A LANTANA SPECIES
B DESERT MARIGOLD
C TRAILING ACACIA

EXHIBIT F

MAIN ENTRY CONCEPT PRIVATE DRIVE



7302 N 99th Avenue
ZON07-20



CONCEPTUAL PLANT PALETTE

TREES

SPECIMEN TREE
SALVAGED FROM SITE

DESERT RIVER BLVD. TREE (36" BOX)

OPTION:

D. MUSEUM PALO VERDE
MESQUITE SPECIES
ASH SPECIES
PISTACHE

ACCENTS

ACCENT SHRUB

OPTION:

DEER GRASS
AGAVE DESMENTIA
RED HESPERALOE

SHRUBS

SHRUB

OPTION:

SAGE SPECIES
BAJA RUELLIA
CALIANDRA SPECIES

SHRUB

OPTION:

SAGE SPECIES
BAJA RUELLIA
CALIANDRA SPECIES

GROUND COVER

GROUND COVER

OPTION:

TURPENTINE BUSH
DAMIANITA

GROUND COVER

OPTION:

LANTANA SPECIES
BUSH MORNING GLORY
ROSEMARY



CONCEPTUAL SECONDARY ENTRY PLAN

SCALE: N T S.



CONCEPTUAL SECONDARY ENTRY SECTION

SCALE: N T S

EXHIBIT F SECONDARY ENTRY CONCEPT



7302 N 99th Avenue
ZON07-20



CONCEPTUAL PLANT PALETTE

TREES

SPECIMEN TREE
SALVAGED FROM SITE

MAJOR ARTERIAL STREET TREE
OPTION:
D. MUSEUM PALO VERDE
MESQUITE

ACCENTS

ACCENT SHRUB
OPTION:

DEER GRASS
AGAVE DESMENTIA
RED HESPERALOE

ACCENT SHRUB
OPTION:

AGAVE AMERICANA
AGAVE VILMORINIANA
DESERT SPOON

SHRUBS

SHRUB
OPTION:

SAGE SPECIES
BAJA RUELLIA
CALIANDRA SPECIES

SHRUB
OPTION:

SAGE SPECIES
BAJA RUELLIA
CALIANDRA SPECIES

LARGE PERIMETER SHRUB
OPTION:

SENNA SPECIES
TEXAS RANGER SPECIES

LARGE PERIMETER SHRUB
OPTION:

JOJOBA
CASALOTE
MEXICAN BIRD OF PARADISE

GROUND COVER

GROUND COVER
OPTION:

BRITTLE BUSH/BURSAGE
TURPENTINE BUSH
DAMIANITA

GROUND COVER
OPTION:

LANTANA SPECIES
BUSH MORNING GLORY
ROSEMARY

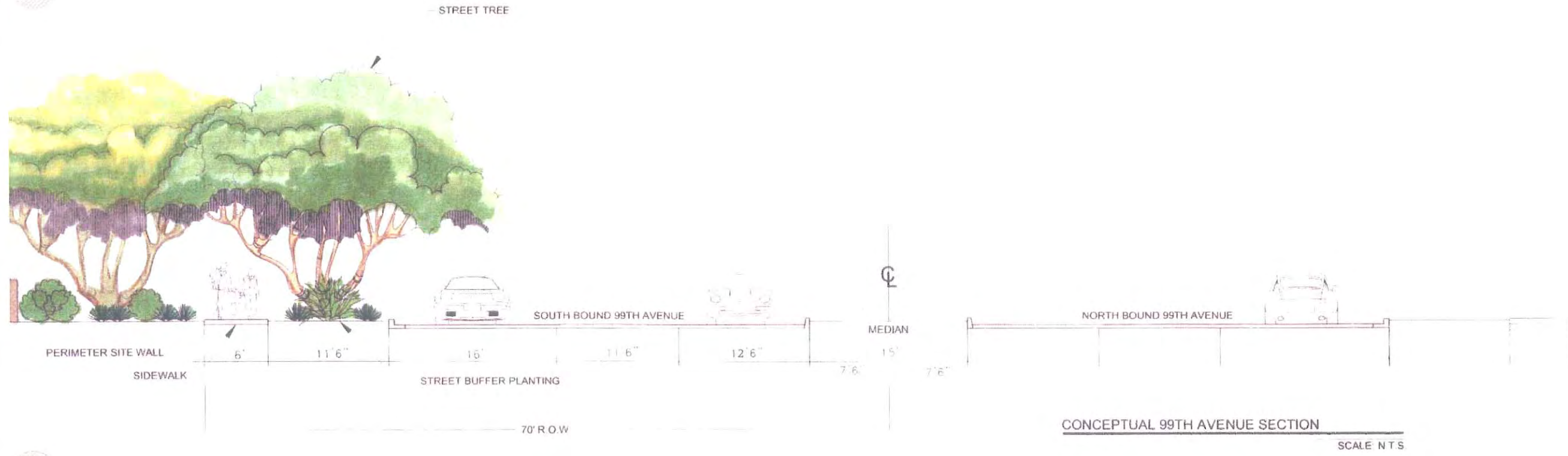
CONCEPTUAL 99TH AVENUE PLAN

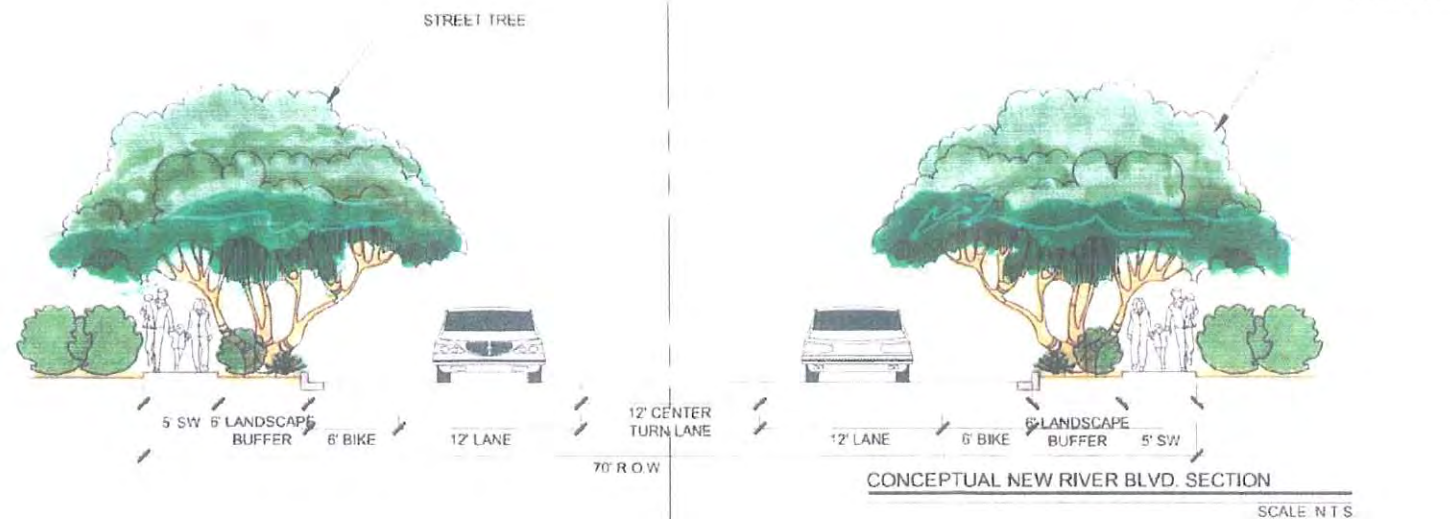
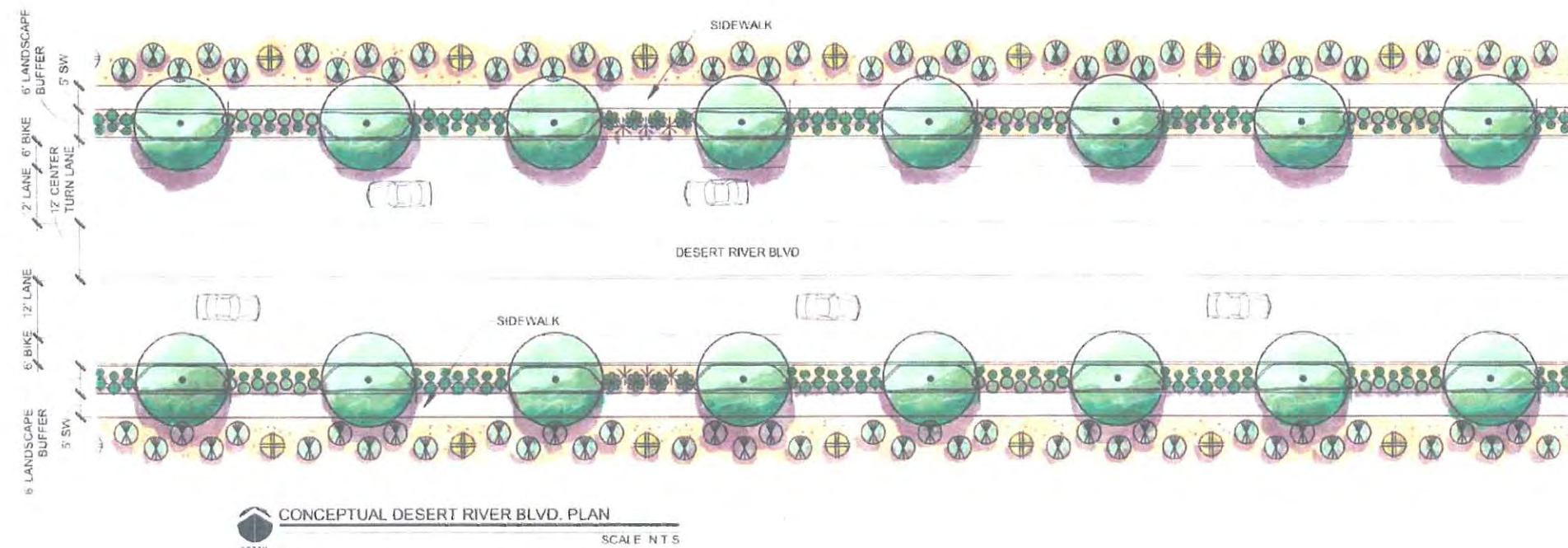
SCALE: N.T.S.

EXHIBIT F 99th AVENUE CONCEPT



7302 N 99th Avenue
ZON07-20





CONCEPTUAL PLANT PALETTE

TREES

DESERT RIVER BLVD. TREE (36" BOX)
OPTION:
D. MUSEUM PALO VERDE
MESQUITE
EVERGREEN ELM

ACCENTS

ACCENT SHRUB
OPTION:
DEER GRASS
AGAVE DESMENTIA
RED HESPERALOE

ACCENT SHRUB
OPTION:
AGAVE SPECIES
DESERT SPOON

SHRUBS

SHRUB
OPTION:
SAGE SPECIES
BAJA RUELLIA
CALIANDRA SPECIES

SHRUB
OPTION:
SAGE SPECIES
BAJA RUELLIA
CALIANDRA SPECIES

LARGE PERIMETER SHRUB
OPTION:
SENNA SPECIES
TEXAS RANGER SPECIES

LARGE PERIMETER SHRUB
OPTION:
JOJOBA
CASCALOTE
MEXICAN BIRD OF PARADISE

GROUND COVER

GROUND COVER
OPTION:
TURPENTINE BUSH
DAMIANITA

GROUND COVER
OPTION:
LANTANA SPECIES
BUSH MORNING GLORY
ROSEMARY

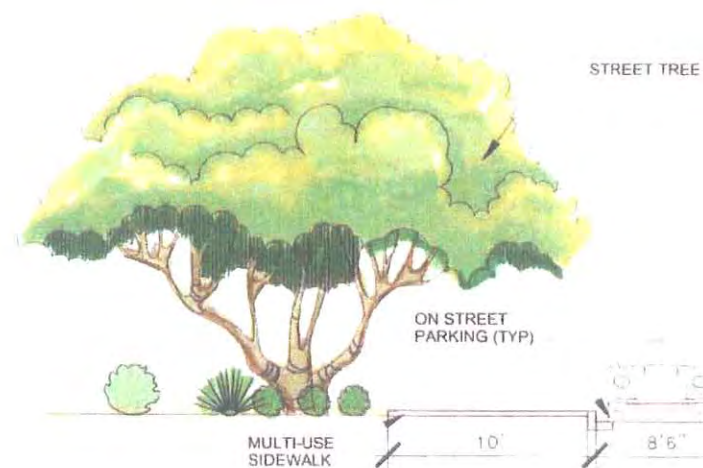
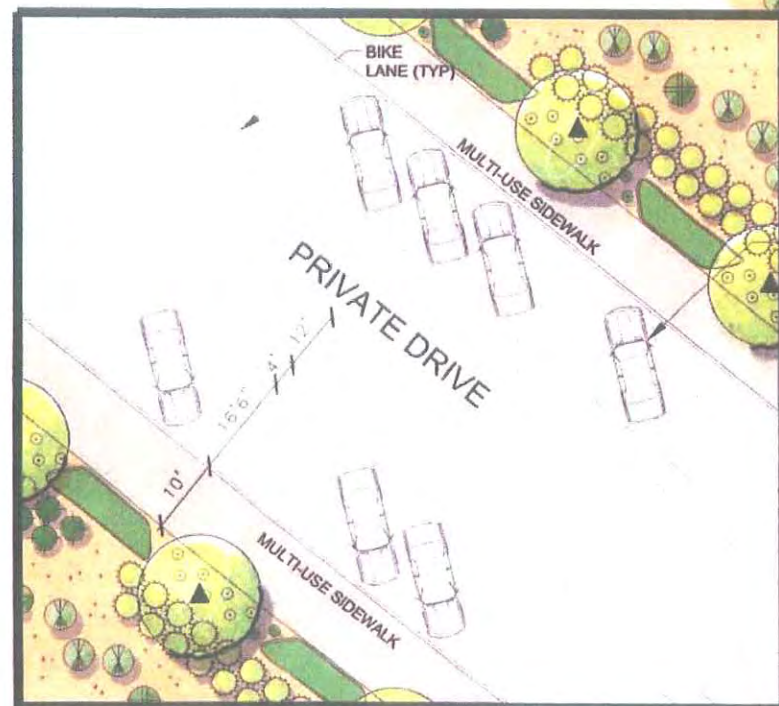
EXHIBIT F DESERT RIVER BLVD. CONCEPT



DAVIS

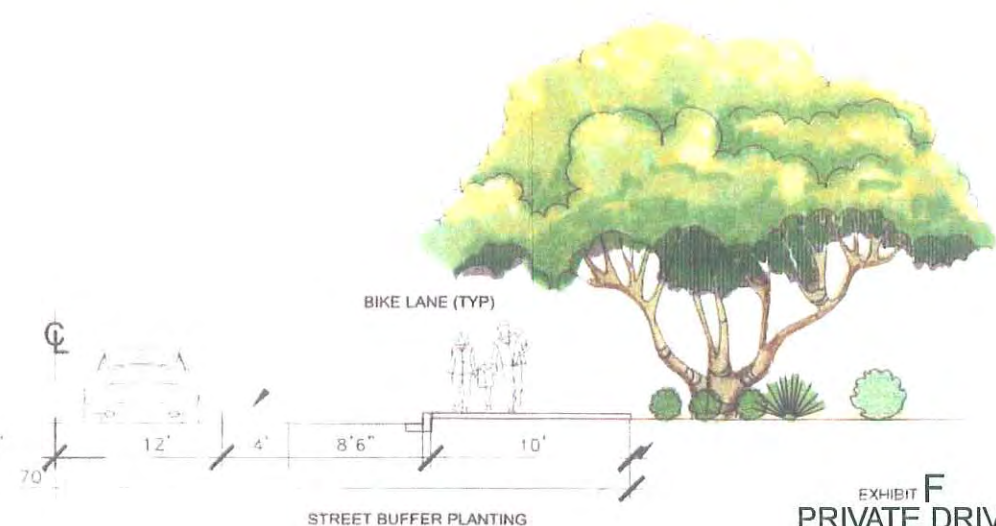


7302 N 99th Avenue
ZON07-20



CONCEPTUAL PRIVATE DRIVE SECTION

SCALE: N.T.S.



CONCEPTUAL PLANT PALETTE

TREES

STREET TREE (36" BOX)
OPTION:

D. MUSEUM PALO VERDE
EVERGREEN ELM
ASH SPECIES
PISTACHE

SHRUBS

SHRUB
OPTION:

SAGE SPECIES
BAJA RUELLIA
CALIANDRA SPECIES

SHRUB
OPTION:

SAGE SPECIES
BAJA RUELLIA
CALIANDRA SPECIES

LARGE PERIMETER SHRUB

OPTION:

SENNA SPECIES
TEXAS RANGER SPECIES

LARGE PERIMETER SHRUB

OPTION:

JOJOBA
CASALOTE
MEXICAN BIRD OF PARADISE

GROUND COVER

GROUND COVER

OPTION:

TURPENTINE BUSH
DAMIANITA

GROUND COVER

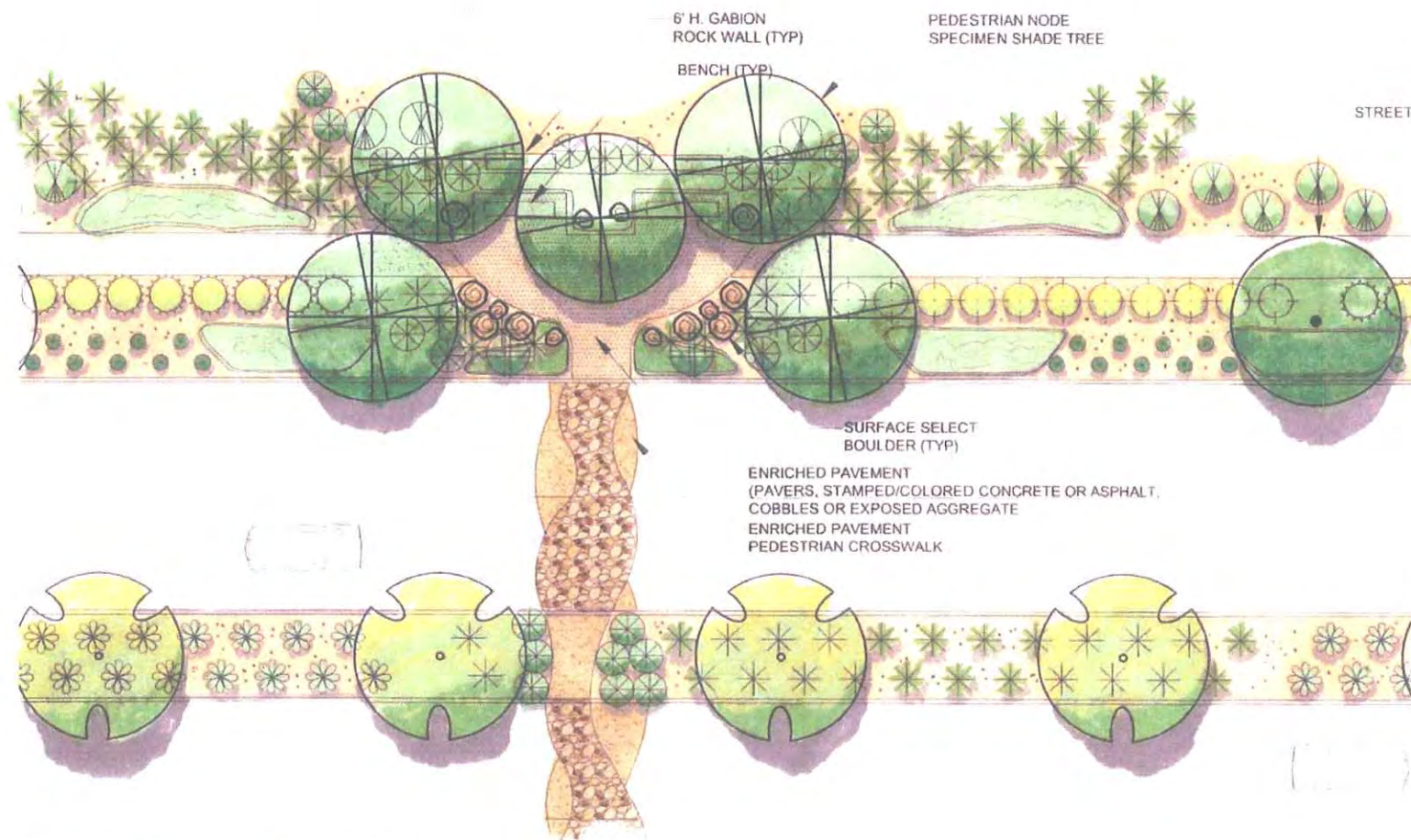
OPTION:

LANTANA SPECIES
BUSH MORNING GLORY
ROSEMARY

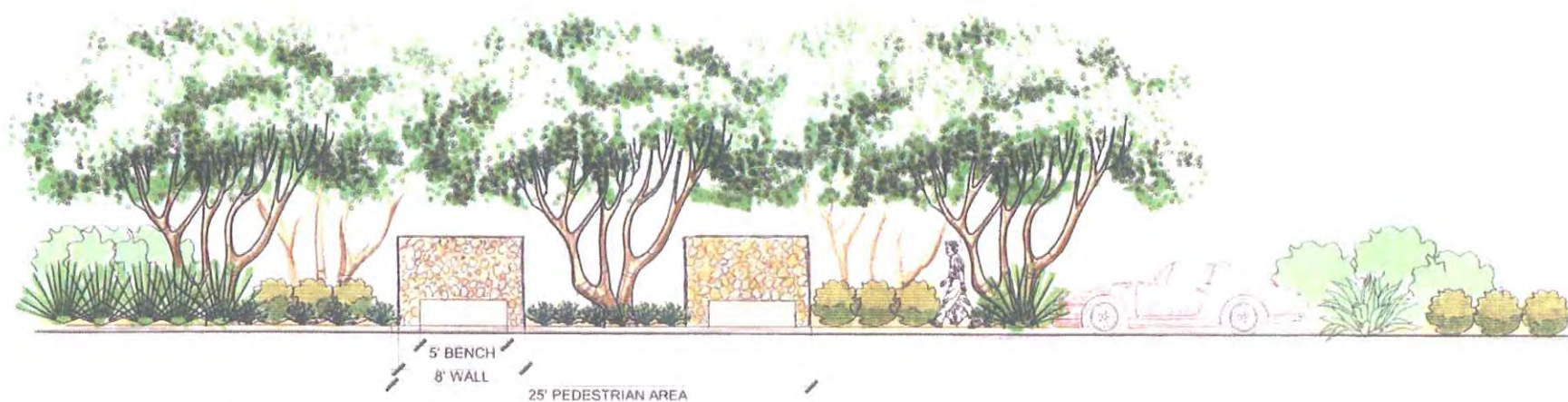
EXHIBIT F
PRIVATE DRIVE
CONCEPT



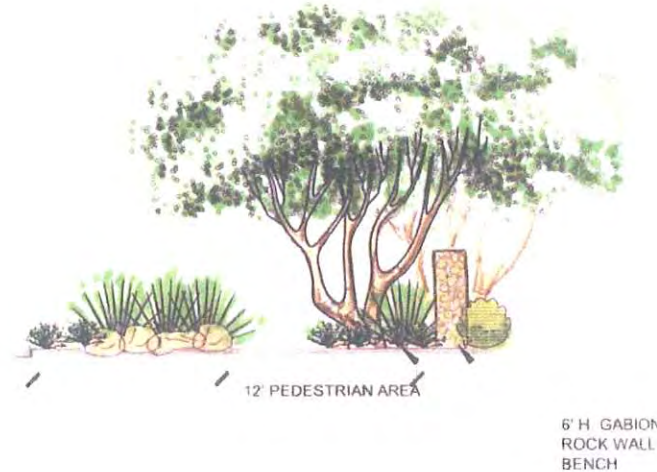
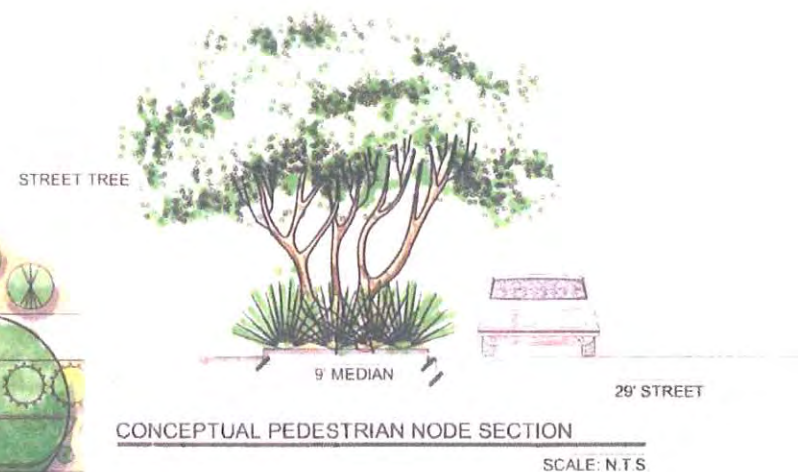
7302 N 99th Avenue
ZON07-20



CONCEPTUAL PEDESTRIAN NODE PLAN
SCALE: N.T.S.



CONCEPTUAL PEDESTRIAN NODE ELEVATION
SCALE: N.T.S.



CONCEPTUAL PLANT PALETTE

TREES

- DESERT RIVER BLVD. TREE (36" BOX)
OPTION:
D. MUSEUM PALO VERDE
MESQUITE
EVERGREEN ELM
- DESERT RIVER BLVD. MEDIAN TREE (24" BOX)
OPTION:
DESERT WILLOW
CASCALOTE
MEXICAN BIRD OF PARADISE
- SPECIMEN MESQUITE
SALVAGED FROM SITE

ACCENTS

- ACCENT SHRUB
OPTION:
DEER GRASS
MUHLENBERGIA SPECIES

- ACCENT SHRUB
OPTION:
AGAVE SPECIES
DESERT SPOON

SHRUBS

- SHRUB
OPTION:
SAGE SPECIES
BAJA RUELLIA
CALIANDRA SPECIES

- SHRUB
OPTION:
SAGE SPECIES
BAJA RUELLIA
CALIANDRA SPECIES

- LARGE PERIMETER SHRUB
OPTION:
SENNA SPECIES
TEXAS RANGER SPECIES

- LARGE PERIMETER SHRUB
OPTION:
JOJOBA
CASCALOTE
MEXICAN BIRD OF PARADISE

GROUND COVER

- GROUND COVER
OPTION:
TURPENTINE BUSH
DAMIANITA

- GROUND COVER
OPTION:
LANTANA SPECIES
BUSH MORNING GLORY

EXHIBIT F PEDESTRIAN NODE CONCEPT



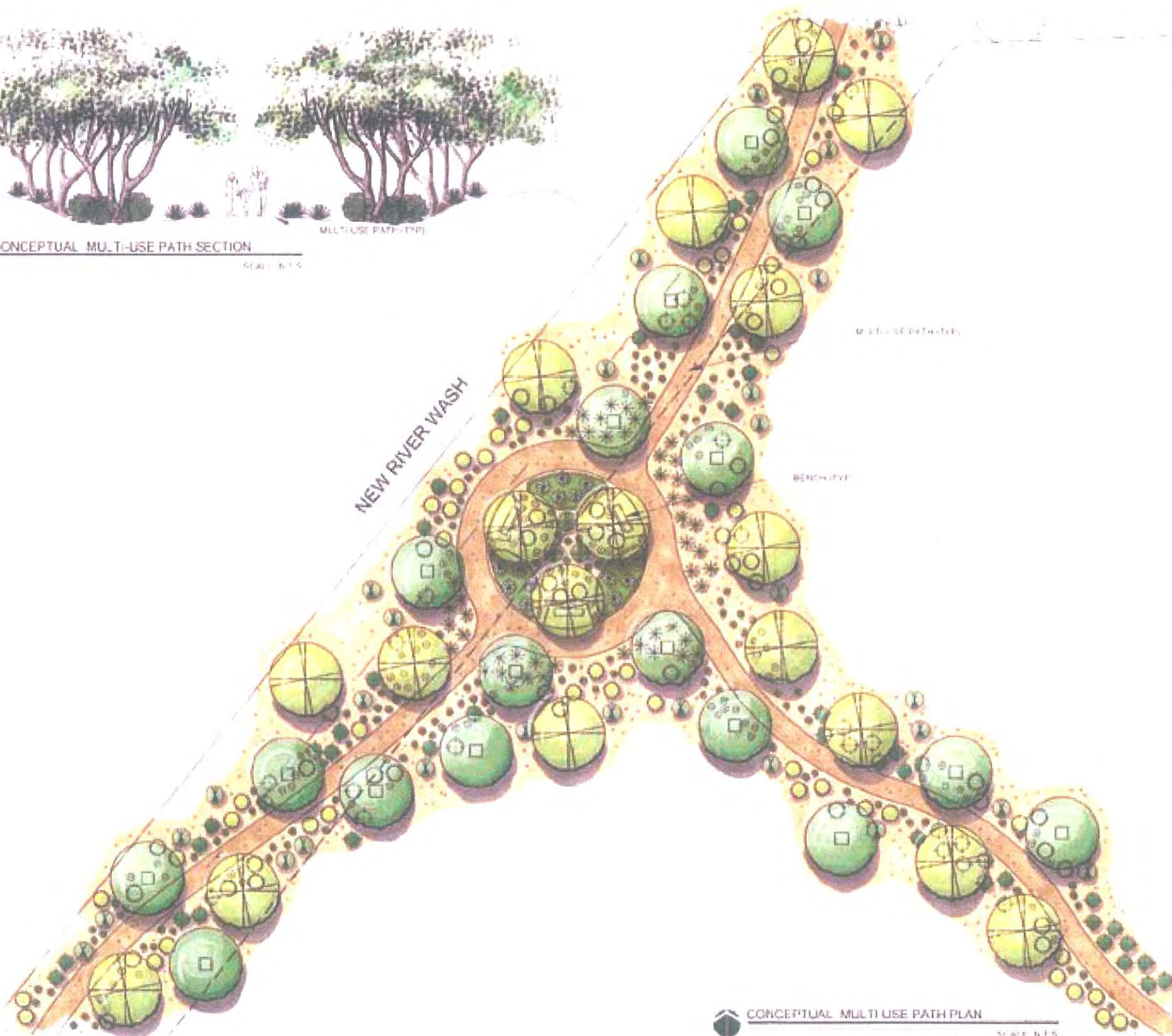
7302 N 99th Avenue
ZON07-20



CONCEPTUAL MULTI-USE PATH SECTION

SCALE: 1" = 4'

MULTI-USE PATH-TYP



CONCEPTUAL MULTI-USE PATH PLAN

SCALE: 1" = 5'

CONCEPTUAL PLANT PALETTE

TREES

SPECIMEN TREE
SALVAGED FROM SITE

MULTI-USE PATH TREE
OPTION

D. MUSEUM PALO VERDE
MESQUITE

ACCENTS

ACCENT SHRUB
OPTION

DEER GRASS
AGAVE DESMENTIA
RED HESPERALOE

ACCENT SHRUB
OPTION

AGAVE AMERICANA
AGAVE VILMORINIANA
DESERT SPOON

SHRUBS

SHRUB
OPTION

SAGE SPECIES
BAJA RUELLIA
CALIANDRA SPECIES

SHRUB
OPTION

SAGE SPECIES
BAJA RUELLIA
CALIANDRA SPECIES

LARGE PERIMETER SHRUB
OPTION

SENNA SPECIES
TEXAS RANGER SPECIES

LARGE PERIMETER SHRUB
OPTION

JOJOBA
CASCADOTE
MEXICAN BIRD OF PARADISE

GROUND COVER

GROUND COVER
OPTION

BRITTLE BUSHBURSAGE
TURFENTINE BUSH
DAMIANITA

EXHIBIT F MULTI-USE PATH CONCEPT



7302 N 95th Avenue
ZON07-20



EXHIBIT **G**
MAIN ENTRY
PERSPECTIVE



7302 N 99th Avenue
 ZON07-20

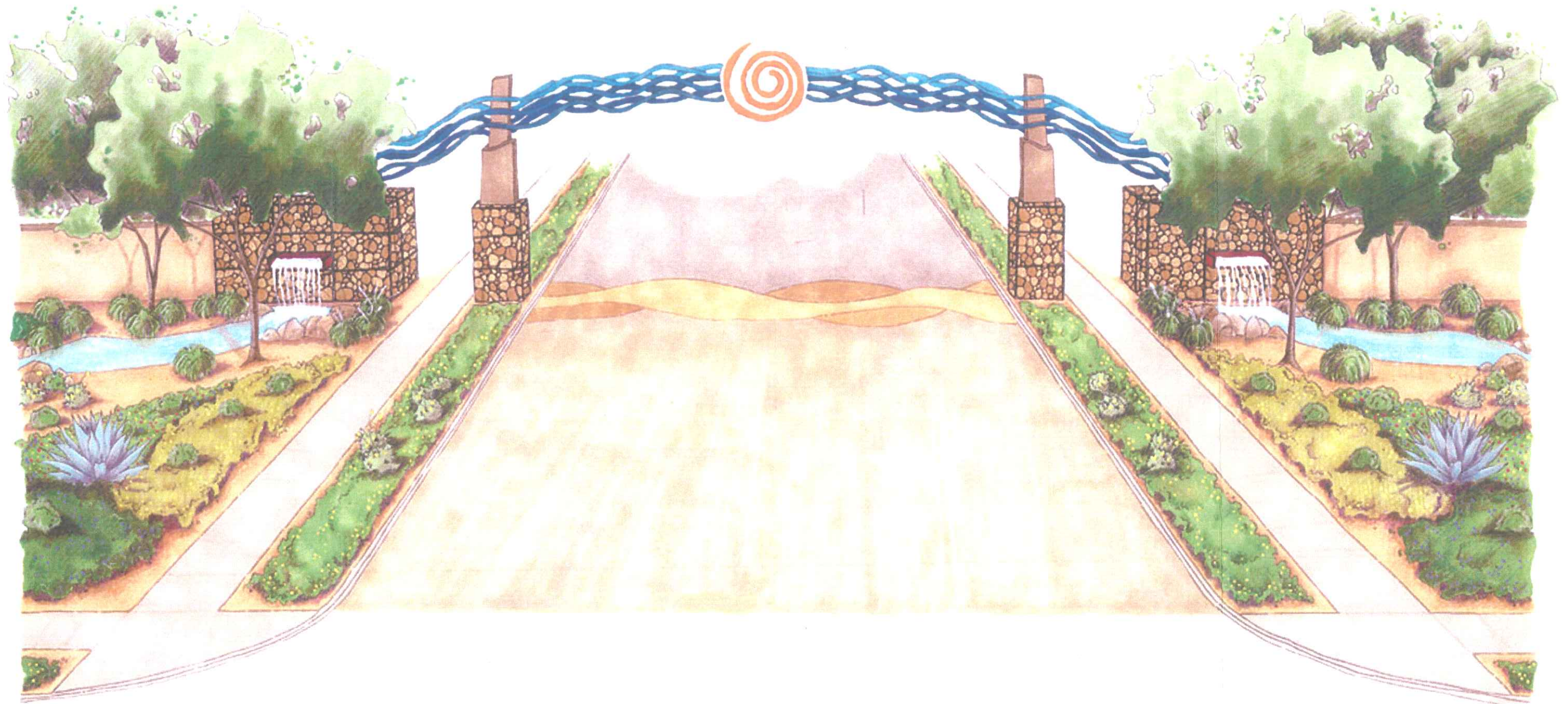


EXHIBIT **G**
MAIN ENTRY
PERSPECTIVE



7302 N 99th Avenue
 ZON07-20

DESERT RIVER PLANT LIST			
Landscape Palette Areas		Theme Areas	
D- Desert Palette		1 - Main Entries	
X- Xeriscape Palette		2 - Secondary Entries	
EX- Exotic Palette		3 - Perimeter	
N- Non-ADWR		4 - Streetscapes	
		5 - Pedestrian Nodes	
		6 - Interior	
Overall Master Plant List			
Botanical Name	Common Name	Palette Area	Theme Area
Trees			
Acacia aneura	Mulga	X	4
Acacia Salicina	Willow Acacia	X	4
Acacia smallii (farnesiana)	Sweet Acacia	X	3,4
Caesalpinia cacalaco	Smoothie Cacalaco	X	1,2,3,4,5,6
Caesalpinia mexicana	Mexican Bird of paradise	X	1,2,3,4,5,6
Chilopsis linearis	Desert Willow	D	2,3,4,5
Dalbergia sissoo	Sissoo Tree	X, EX	4,6
Fraxinus sp.	Ash Sp.	X	4,6
Oleia tesota	Ironwood	D	1,2,3,6
Parkinsonia 'Desert Museum'	Desert Museum Palo Verde	D	2,3,4,6
Parkinsonia floridum	Blue Palo Verde	D	2,3,4,6
Parkinsonia praecox	Palo Brea	X	2,3,4,6
Phoenix dactylifera	Date Palm	EX, N	6
Pistacia 'Red Push'	Red Push Pistache	X	4,6
Pithecellobium flexicaule	Texas Ebony	X	3,6
Pithecellobium mexicanum	Mexican Ebony	X	3,6
Prosopis glandulosa	Texas Honey Mesquite	X	4,5,6
Prosopis Hybrid	Thornless Mesquite	X	1,2,3,5,6
Prosopis velutina	Velvet Mesquite	D	1,2,3
Quercus Species	Oak Sp.	X	4,6
Sophora secundiflora	Texas Mountain Laurel	X	4,6
Accents/Cacti			
Agave americana	Century Plant	D	1,2,3
Agave angustifolia	Agave	D	1,2,3,4,5,6
Agave attenuata	Ghost Agave	D	1,2,3,4,5,6
Agave colorata	Mescal Ceniza	D	4,5,6
Agave deserti	Desert Agave	D	1,2,3,4,5,6
Agave desmettiana	Agave	X	2,4,5,6
Agave geminiflora	Twin-flowered Agave	X	4,5,6
Agave macroacantha	Agave	X	4,5,6
Agave murpheyi	Hohokam Agave	X	4,5,6
Agave ocahui	Agave Ocahui	X	4,5,6
Agave parryi v. parryi	Agave	X	1,2,3,4,5,6
Agave parryi v. truncata	Artichoke Agave	X	4,5,6
Agave potatorum	Agave	X	4,5,6
Agave scabra	Agave	X	1,2,3,4,5,6
Agave schidigera 'Durango Delight'	Durango Delight' Agave	X	4,5,6

DESERT RIVER PLANT LIST			
Landscape Palette Areas		Theme Areas	
D- Desert Palette		1 - Main Entries	
X- Xeriscape Palette		2 - Secondary Entries	
EX- Exotic Palette		3 - Perimeter	
N- Non-ADWR		4 - Streetscapes	
		5 - Pedestrian Nodes	
		6 - Interior	
Overall Master Plant List (cont.)			
Botanical Name	Common Name	Palette Area	Theme Area
Accents/Cacti (cont.)			
Agave sisalana	Hemp Plant		4,5,6
Agave toumeyana	Toumey's Agave	X	4,5,6
Agave victoria-reginae	Queen Victoria Agave	X	4,5,6
Agave vilmoriana	Octopus Agave	X	4,5,6
Agave weberi	Smooth-leaf Agave	X	4,5,6
Aloe barbadensis	Aloe Vera	X, EX	4,5,6
Aloe saponaria	Tiger Aloe	X, EX	4,5,6
Aloe sp.	Aloe	X, EX	4,5,6
Aloe striata	Coral Aloe	X, EX	4,5,6
Asclepias subulata	Desert Milkweed	D	1,2,3,5
Carnegiea gigantea	Saguaro	D	3,6
Cereus peruvianus	Night Blooming Cereus	X, EX	4,5,6
Dasyllirion actotriche	Green Desert Spoon	X	1,2,3,6
Dasyllirion longissimum	No Common Name	X	1,2,3,6
Dasyllirion wheeleri	Desert Spoon	D	1,2,3
Echinocactus grusonii	Golden Barrel Cactus	X	2,3,5,6
Euphorbia rigida	Gopher Plant	X, EX	4,5,6
Euphorbia triacalli	Pencil Bush	X, EX	6
Ferocactus wislizenii	Fishhook Barrel	D	3
Fouquieria splendens	Ocotillo	D	3
Hesperaloe parviflora (yellow)	Yellow hesperaloe	X	3
Hesperaloe funifera	Coahuilan Hesperaloe	X	3
Hesperaloe parviflora	Red Hesperaloe	X	2,3,4
Nolina microcarpa	Beargrass	X	1,2,3,5
Opuntia basilaris	Beavertail Prickly Pear	D	2,3
Opuntia chlorotica	Pancake Prickly Pear	D	3
Opuntia engelmannii	Engelmann's Prickly Pear	D	3
Opuntia ficus-indica	Indian Fig Prickly Pear	D	3
Opuntia santa-rita	Santa-Rita Prickly Pear	D	2,3
Opuntia violacea 'santa-rita'	Purple Prickly Pear	D	2,3
Pedilanthus macrocarpus	Lady Slipper Plant	X, EX	6
Yucca baccata	Banana Yucca	D	3

EXHIBIT H
PLANT PALETTE



7302 N 99th Avenue
ZON07-20

DESERT RIVER PLANT LIST			
Landscape Palette Areas		Theme Areas	
D- Desert Palette		1 - Main Entries	
X- Xeriscape Palette		2 - Secondary Entries	
EX- Exotic Palette		3 - Perimeter	
N- Non-ADWR		4 - Streetscapes	
		5 - Pedestrian Nodes	
		6 - Interior	
Overall Master Plant List (cont.)			
Botanical Name	Common Name	Palette Area	Theme Area
Shrubs			
Buddleia murrabifolia	Woolly Butterfly Bush	X	3,5,6
Caesalpinia gilliesii	Desert Bird of Paradise	X	6
Caesalpinia mexicana	Mexican Bird of Paradise	X	1,2,3,4,5,6
Caesalpinia pulcherrima	Red Bird of Paradise	X	3,4,5,6
Calliandra californica	Baja Red Fairy Duster	X	1,2,4,5,6
Calliandra eriophylla	Pink Fairy Duster	D	1,3
Chrysactinia mexicana	Damianita	X	2,4,6
Convolvulus cneorum	Bush Morning Glory	X	2,3,4,6
Dalea frutescens 'Sierra negra'	Sierra Negra Dalea	X	1,3
Dalea pulchra	Indigo Bush	X	1,3
Encelia farinosa	Brittlebush	D	1,2,3
Eremophila glabra	Emu Bush	X	
Eremophila lannii	Pink Beauty	X	
Eremophila maculata	Valentine Bush	X	4,5,6
Ericameria laricifolia	Turpentine Bush	D	1,2,3
Hymenoxis acaulis	Angelita Daisy	X	4,5,6
Justicia californica	Chuparosa	D	1,2,3
Justicia spicigera	Mexican Honeysuckle	X	4,5,6
Leucophyllum frutescens 'Compacta'	Compact Texas Sage	X	1,2,3,4,5,6
Leucophyllum frutescens 'Green Cloud'	Green Cloud Sage	X	1,2,3,4,5,6
Leucophyllum hybrid 'Rain Cloud'	Rain Cloud Sage	X	1,2,3,4,5,6
Leucophyllum laevigatum	Chihuahuan Sage	D, X	1,2,3,4,5,6
Leucophyllum langmaniae	Lynn's Legacy	X	1,2,3,4,5,6
Leucophyllum langmaniae 'Rio Bravo'	Rio Bravo Sage	X	1,2,3,4,5,6
Muhlenbergia capillaris 'Regal Mist'	Regal Mist	D, X	1,2,3,4,5,6
Muhlenbergia emersleyi 'El Toro'	Bull Grass	D, X	1,2,3,4,5,6
Muhlenbergia lindheimeri 'Autmn Glow'	Autumn Glow Muhley	D, X	1,2,3,4,5,6
Muhlenbergia rigens	Deer Grass	D, X	1,2,3,4,5,6
Muhlenbergia rigida 'Nashville'	Nashville Grass	X	1,2,3,4,5,6
Nandina Domestica	Heavenly Bamboo	X	6
Rosmarinus officinalis	Rosemary	X	4,5,6
Ruellia brittoniana	Ruellia	X	2,3,4,5,6
Senna nemophila	Desert Senna	D	1,3

DESERT RIVER PLANT LIST			
Landscape Palette Areas		Theme Areas	
D- Desert Palette	1 - Main Entries		
X- Xeriscape Palette	2 - Secondary Entries		
EX- Exotic Palette	3 - Perimeter		
N- Non-ADWR	4 - Streetscapes		
	5 - Pedestrian Nodes		
	6 - Interior		
Overall Master Plant List (cont.)			
Botanical Name	Common Name	Palette Area	Theme Area
Shrubs (cont.)			
Ruellia peninsularis	Baja Ruellia	X	1,2,3,4,5,6
Salvia chamaedryoides	Mexican Blue Sage	X	1,2,5,6
Salvia clevelandii	Chaparral Sage	X	5,6
Salvia darcyi	Salvia	X	5,6
Salvia farinacea	Mealy-Cup Sage	X	5,6
Salvia greggii	Autmn Sage	X	1,2,3,5,6
Salvia leucantha	Mexican Bush Sage	X	4,5,6
Salvia leucophylla	Purple Sage	X	4,5,6
Salvia microphylla	Salvia	X	4,5,6
Senna artemisioides	Feathery Senna	X	4,5,6
Senna Wislizenii	Shrubby Senna	X	4,5,6
Simmondsia chinensis	Joboba	D	1,2,3
Simmondsia chinensis 'vista'	Compact Jojoba	D	1,2,3
Tagetes lemmoni	Mt. Lemmon Marigold	X	5,6
Tecoma stans	Yellow Bells	X	5,6
Viguiera deltoidea	Goldeneye	D	3
Groundcovers			
Acacia redolens	Desert Carpet	X	1,2,3,6
Baileya multiradiata	Desert Marigold	D	1,2,3
Carissa macrocarpa	Natal Plum	X, EX	6
Convolvulus cneorum	Bush Morning Glory	X	2,3,4,6
Cordia parvifolia	Small Leaf Cordia	X	3
Dalea Capitata 'Sierra Gold'	Sierra Gold Dalea	X	3
Dalea versicolors 'sessilis'	Wislizenus Dalea	X	3
Eschscholtzia mexicana	Mexican Gold Poppy	D	1,3
Euphorbia Rigida	Gopher Plant	X, EX	4,5,6
Hymenoxys acaulis	Angelita Daisy	X	4,5,6
Kallstroemia grandiflora	Arizona Poppy	D	1,3
Lantana montevidensis	Trailing Lantana	X	1,2,4,5,6
Lantana 'New Gold'	New Gold Lantana	X	1,2,4,5,6
Lupinus sparsiflorus	Lupine	D	1,3
Lupinus Species	Lupine	D	1,3
Melampodium leucanthum	Blackfoot Daisy	D	1,3
Oenothera berlandieri	Mexican Evening Primrose	D	5,6
Oenothera caespitosa	Evening Primrose	D	6
Oenothera stubbii	Saltillo Primrose	D	6
Penstemon baccharifolius	Rock Penstemon	D	1,3
Penstemon barbatus	Penstemon	D	1,3

EXHIBIT H
PLANT PALETTE



7302 N 99th Avenue
ZON07-20

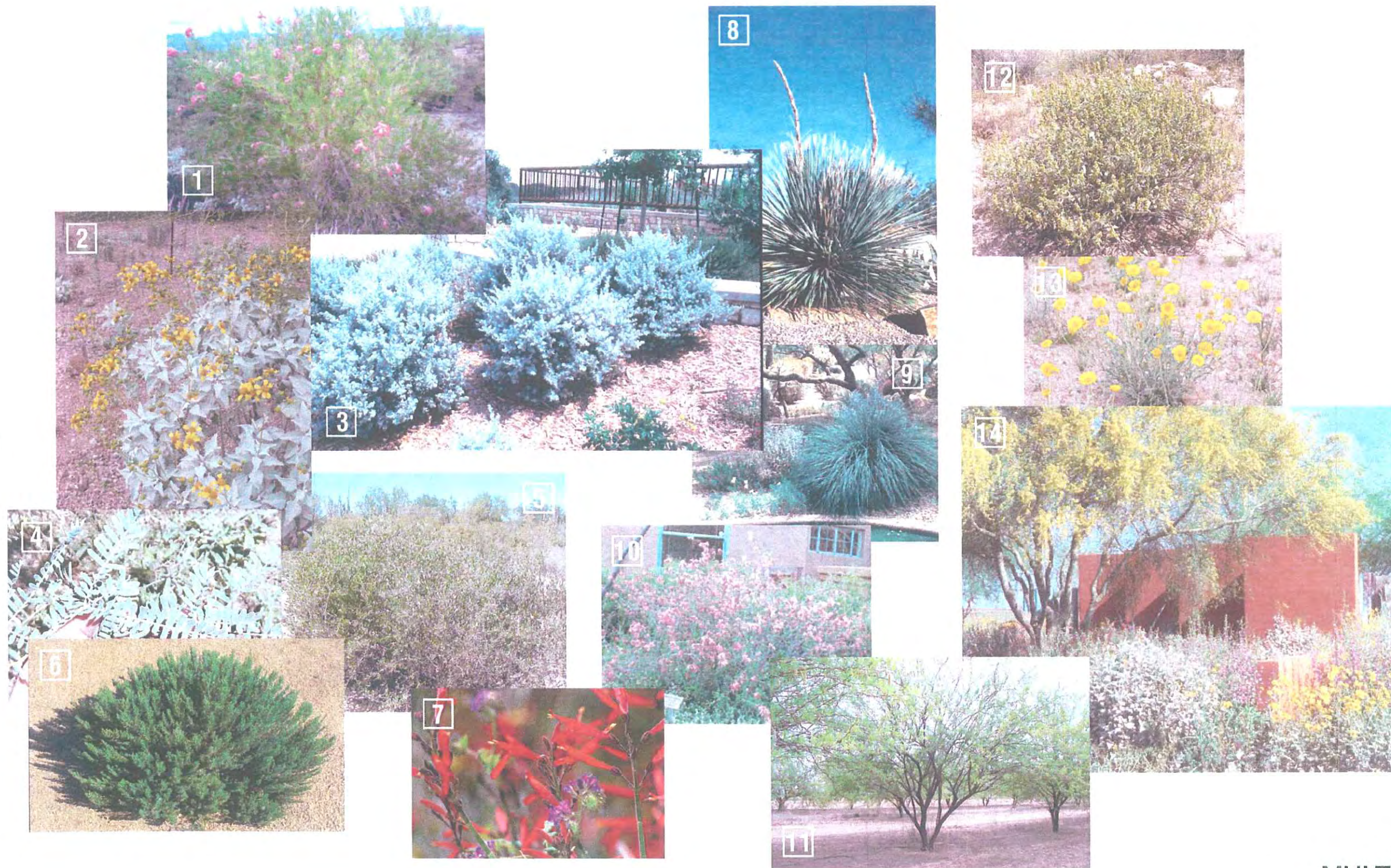
DESERT RIVER PLANT LIST

Landscape Palette Areas	Theme Areas		
D- Desert Palette	1 - Main Entries		
X- Xeriscape Palette	2 - Secondary Entries		
EX- Exotic Palette	3 - Perimeter		
N- Non-ADWR	4 - Streetscapes		
	5 - Pedestrian Nodes		
	6 - Interior		
Overall Master Plant List (cont.)			
Botanical Name	Common Name	Palette Area	Theme Area
Groundcovers (cont.)			
Penstemon eatonii	Firecracker Penstemon	D	1,3
Penstemon palmeri	Palmer's Penstemon	D	1,3
Penstemon parryi	Parry's Penstemon	D	1,3
Penstemon pseudospectabilis	Desert Penstemon	D	1,3
Penstemon superbus	Superb Penstemon	D	1,3
Penstemon wrightii	Penstemon	D	1,3
Phacelia campanularia	Desert Bluebell	D	1,3
Rosmarinus Officinalis 'Prostratus'	Dwarf Rosemary	X	5,6
Ruellia brittoniana 'Katie'	Ruellia Katie	X	5,6
Salvia sp. 'Quicksilver'™	Quicksilver Salvia	X	5,6
Senna covesii	Desert Senna	D	1,3
Stachys coccinea	Betony	X	4,5,6
Verbena gooddingii	Gooddings Verbena	X	5,6
Verbena peruviana	Peruvian Verbena	X	5,6
Verbena pulchella	Moss Verbena	X	6
Verbena rigida	Sandpaper Verbena	D	1,3
Verbena tenera	Purple Verbena	X	2
Wedelia trilobata	Wedelia	X	6
Vines			
Antigonon leptopus	Queens Wreath	X	6
Hardenbergia comptoniana	Lilac Vine	N	6
Macfadyena unguis-cati	Cats Claw Vine	D	6
Mascagnia lilacina	Lilac Orchid Vine	N	6
Mascagnia macroptera	Yellow Orchid Vine	N	6
Merremia aurea	Yellow Morning Glory Vine	N	6
Podranea ricasoliana	Pink Trumpet Vine	N	6
Solanum jasminoides	Potato Vine	X	6

EXHIBIT H PLANT PALETTE



7302 N 99th Avenue
ZON07-20



1. DESERT WILLOW
2. BRITTLE BUSH
3. SAGE SPECIES
4. MESQUITE SPECIES
5. JOJOBA
6. SAGE SPECIES
7. PENSTEMON
8. DESERT SPOON
9. DEER GRASS
10. FAIRY DUSTER
11. SPECIMEN MESQUITE
12. BURSAGE
13. DESERT MARIGOLD
14. PALO VERDE

EXHIBIT **H**
**MULTI-USE TRAIL
 PERIMETER PLANT PALETTE**



7302 N 99th Avenue
 ZON07-20

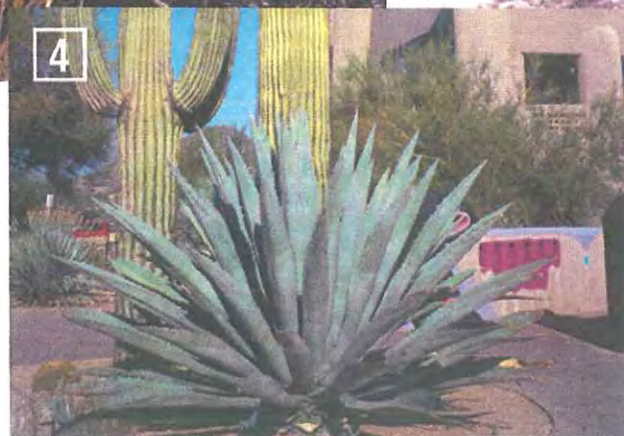
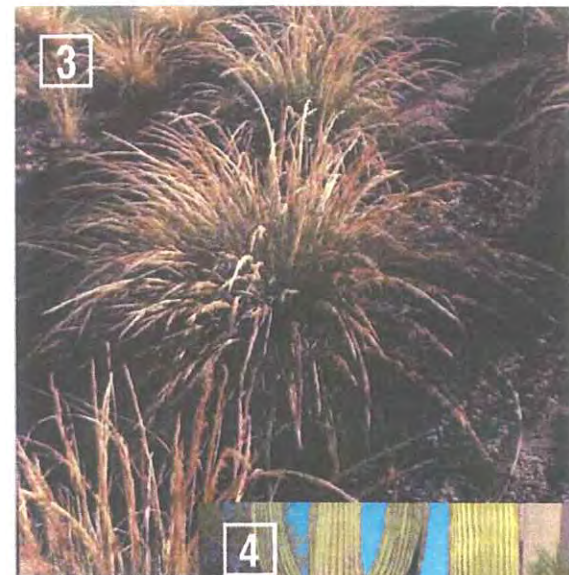


1. ELM SPECIES
2. SAGE SPECIES
3. HESPERALOE
4. SPECIMEN MESQUITE
5. AGAVE SPECIES
6. BUSH MORNING GLORY
7. LANTANA SPECIES
8. DEER GRASS
9. CASCALOTE
10. ROSEMARY
11. RUELLIA SPECIES
12. SAGE SPECIES
13. CHINESE PISTACHE
14. MEXICAN BIRD OF PARADISE
15. PALO VERDE
16. DESERT WILLOW

EXHIBIT H
STREETSCAPE
PLANT PALETTE



7302 N 99th Avenue
ZON07-20

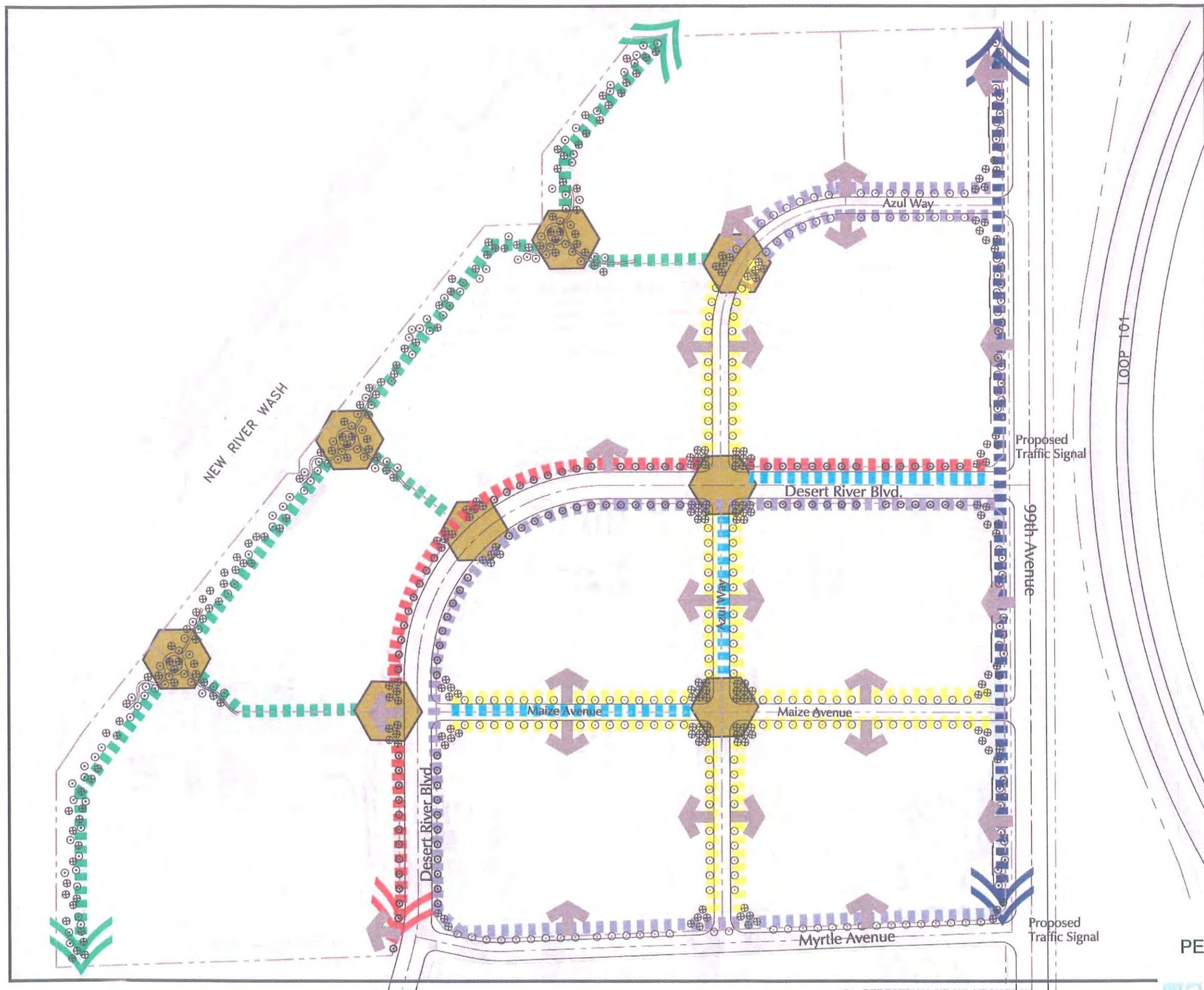


1. BURSAGE
2. DESERT MARIGOLD
3. BULL GRASS
4. BLUE AGAVE
5. PURPLE LANTANA
6. DEER GRASS
7. CASCALOTE
8. BRITTLEBUSH
9. SALVIA SPECIES
10. FAIRY DUSTER
11. 'DESERT CARPET' ACACIA
12. SPECIMEN MESQUITE

EXHIBIT H
ENTRY PLANT
PALETTE



7302 N 99th Avenue
ZON07-20



LEGEND








-  NODES CONTAINING PEDESTRIAN AMENITIES
-  99TH AVENUE MEANDERING MULTI-USE WALK
-  DESERT RIVER BLVD. MULTI-USE WALK
-  HIGH PEDESTRIAN TRAFFIC SIDEWALKS
-  SIDEWALK
-  MULTI-USE PATH, CONNECTIONS OPEN SPACE
-  DESERT RIVER PEDESTRIAN SPINE MULTI-USE WALK AND AMENITIES

EXHIBIT I PEDESTRIAN CIRCULATION PLAN



PEDESTRIAN CIRCULATION PLAN

SCALE: N.T.S.



DAVIS



7302 N 99th Avenue
ZON07-20



EXHIBIT J
SCREEN WALLS



7302 N 99th Avenue
ZON07-20



Master Sign Plan Overlay District

EXHIBIT K

MASTER SIGN PLAN



DAVIS



7302 N 89th Avenue
ZON07-20

EXHIBIT K



Master Sign Plan Overlay District

Prepared by
JRC Design
4634 North 44th Street
Phoenix, Arizona 85018

Introduction

Desert River is a 110 acre site planned for an eclectic mix of retail and office/commercial to its east side, nearer the 101 Freeway; and Office/commercial only on its west side. Potential uses may include (but are not limited to:

Professional, administrative or business offices; data center and call centers; hospitals and urgent care centers; personal services businesses such as beauty shops and barbershops; commercial, trade, business schools, colleges or universities; laboratories for research and product development; hotels, motels, and conference centers; health and fitness clubs; full service restaurants with outdoor dining and catering, fast food restaurants without drive-in or drive-thru facilities, cocktail lounges and nightclubs; retail stores, general merchandising including variety and specialty stores, home improvement stores less than 75,000 sq. ft.; child care center; etc.

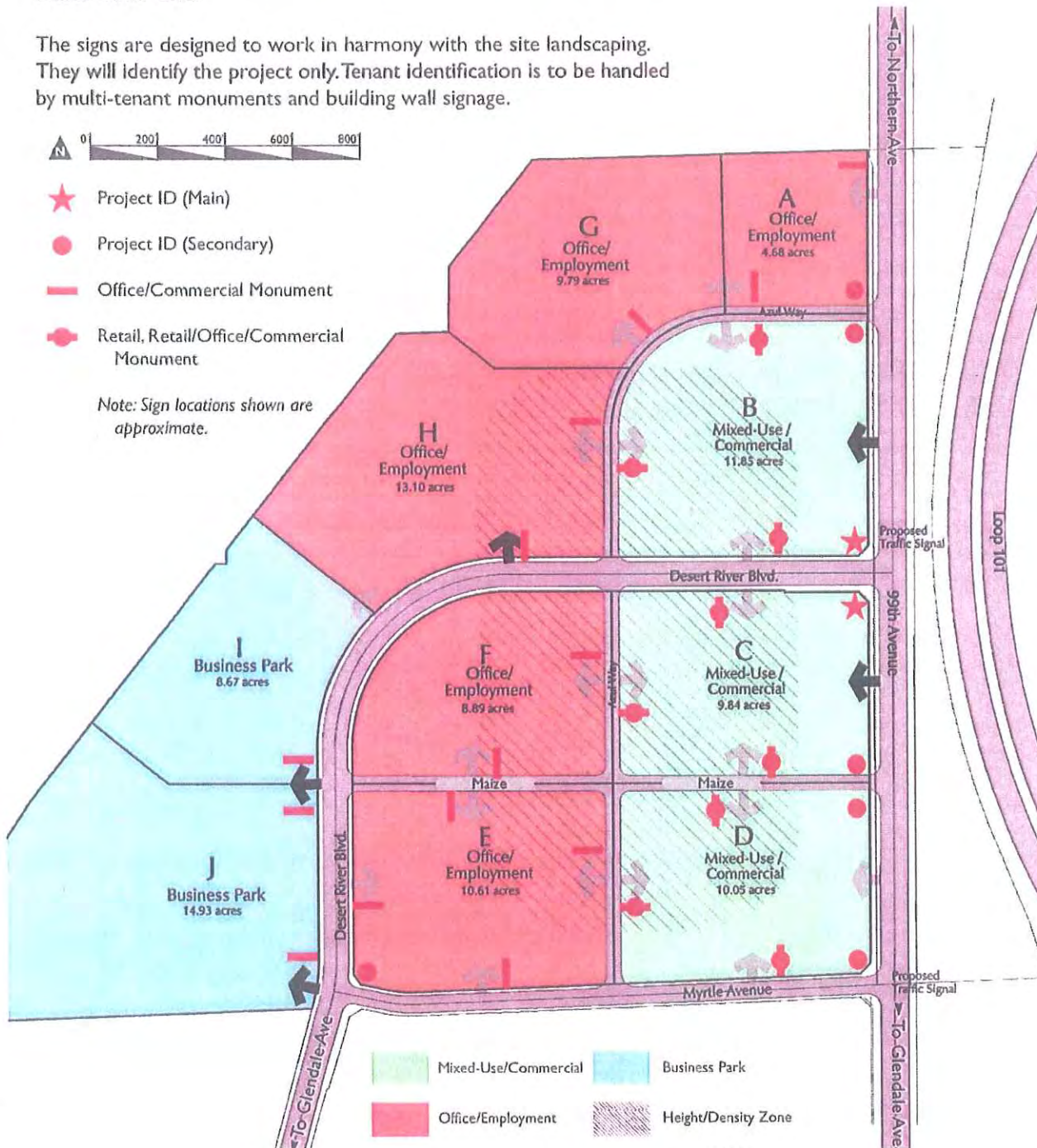
Because of this eclectic mix, and because Desert River will be constructed on a phased basis depending upon market demand, this Master Sign Plan Overlay District was created to allow creativity and flexibility for each parcel's sign system, while maintaining an overall cohesive look for the project.

Specific designs are not provided. As each parcel is developed, a sign package specific to that parcel will need to be submitted to the Desert River Design Review Committee (DRDRC) for their approval, prior to submittal to the City of Glendale for permits and fabrication. This will maintain the level of quality and cohesive design themes for the project.

Sign Location Plan

There are several site opportunities to identify Desert River to the general public. The primary location selected is 99th Avenue and Desert River Blvd. This location will feature a sculptural element that characterizes the sun and river (see next page). Secondary locations include 99th Avenue, north and south of Azul Way and north and south of Maize and north of Myrtle Avenue on both 99th Avenue as well as Desert River Blvd.

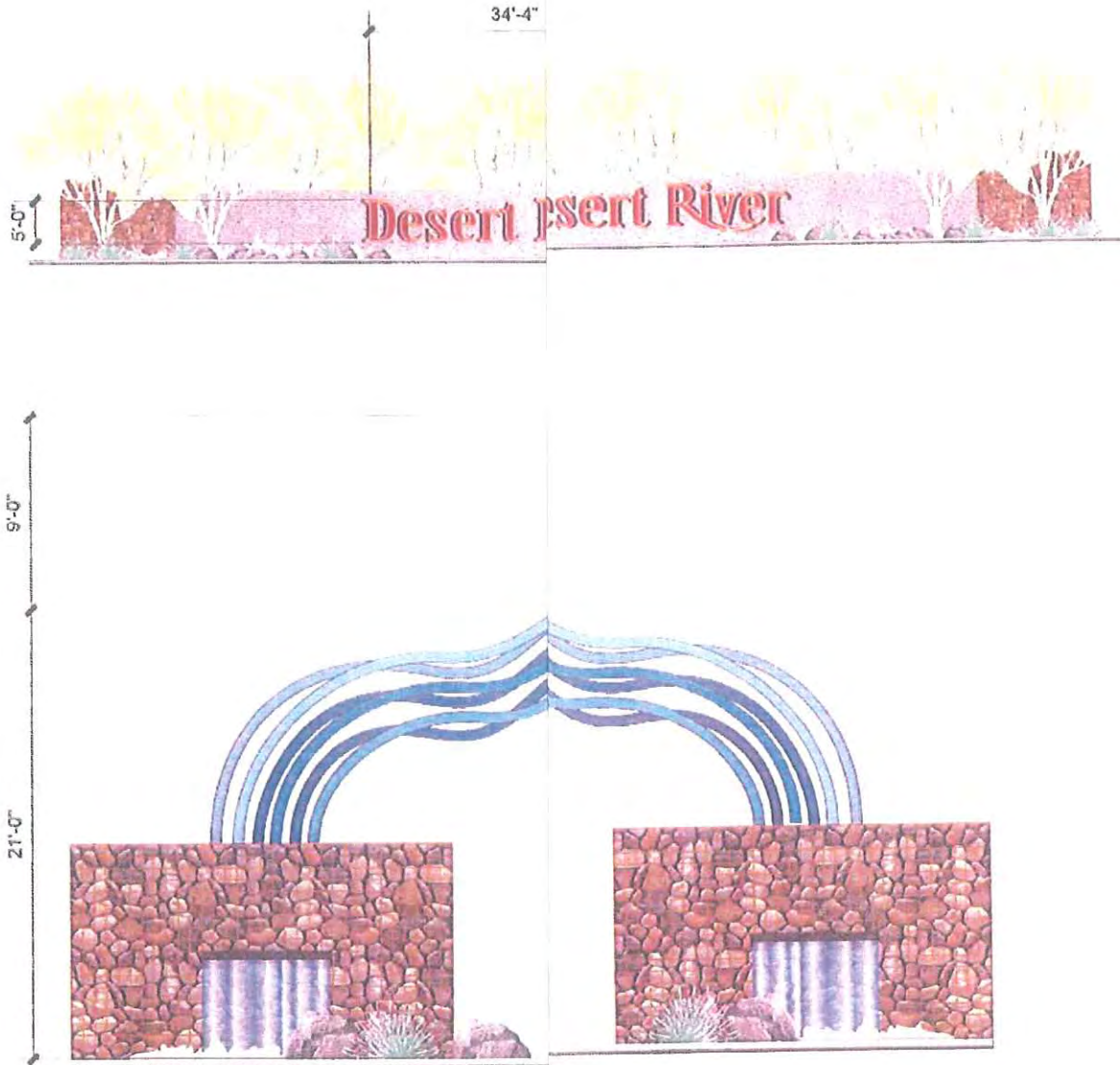
The signs are designed to work in harmony with the site landscaping. They will identify the project only. Tenant identification is to be handled by multi-tenant monuments and building wall signage.



Project ID (Main)

The Project ID (Main) is located at the intersection of Desert River Blvd. It features a grand arch entry flowing throughout the site. At the center of the shape is based upon Native American petroglyphs two walls of "caged" river rock, each containing a water into pools on either side of the road.

CAPE EXHIBITS FOR
WATER FEATURE, WALLS
ERIALS.



Project ID (Secondary)

The Project ID (Secondary), flanking both the north and south sides of the intersection, will be placed at two locations; the intersection of Desert River Avenue and Azul Way, and 99th Avenue and Desert River Avenue.

At two other locations, the northwest corner of Desert River Avenue and the northeast corner of Desert River Avenue, only one corner will include the ID walls.



Business Park Tenant Identity (Monuments)

These monument signs will identify the property and up to three tenants for a specific parcel. Monument design, materials and colors shall be consistent with architectural materials for that property. The signs shall include the property address, unless they are located on a side street not associated with that address. This type of sign may be used on any parcel within Desert River.

For single tenant buildings, signs shall identify either the tenant or the name of the building. For multiple tenant buildings the sign may identify the building and up to three tenants, or, if the name of the building is also the name of one of the tenants, only two (2) additional tenant names may be included on the sign.

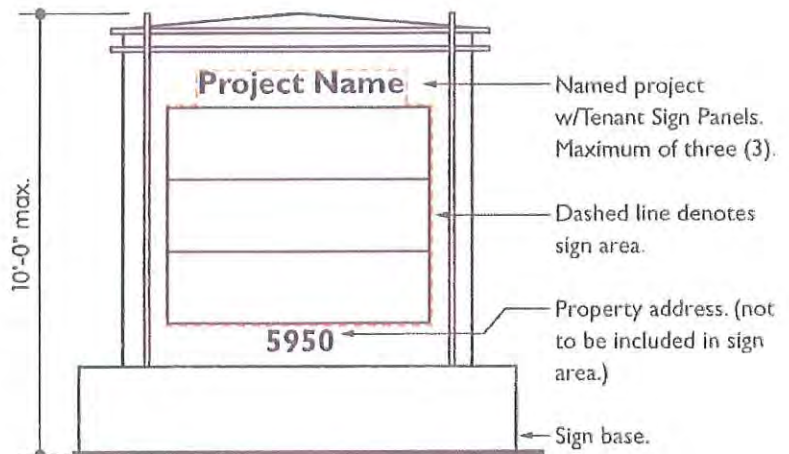
Each property will be allowed one building monument per street. One (1) additional sign may be allowed for each street if the frontage adjacent to the site is at least eight hundred (800) feet. The minimum distance between the two signs on the same street frontage shall be three hundred and thirty (330) feet.

If two parcels share an entry drive, the parcel monument signs must be at least one hundred (100) feet from each other.

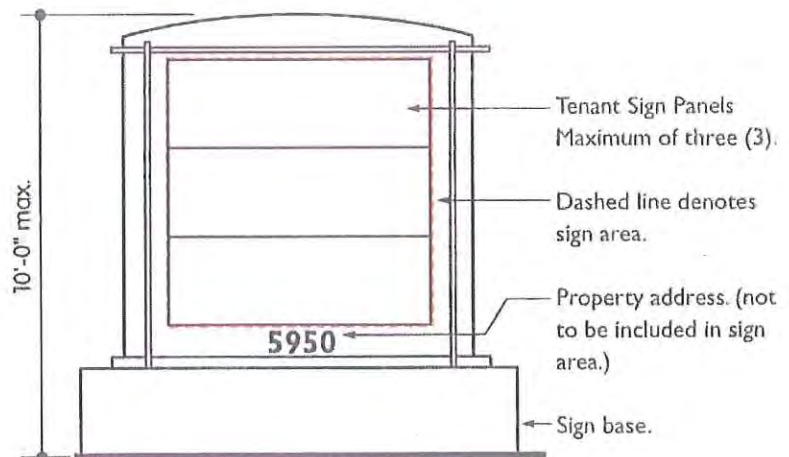
Office/commercial monument signs shall be no more than ten (10) feet tall including all architectural embellishments. Sign area shall be no more than forty-eight (48) square feet for parcels up to twenty (20) acres, and sixty (60) square feet for more than twenty (20) acres. Sign area be measured as the area contained within the sum of the smallest rectangles that will enclose both the sign copy and their background panels.

Monuments may be externally illuminated provided the light sources are shielded from vehicular traffic; or internally illuminated with push-through acrylic and/or pan-channel letters, or reverse pan-channel letters with halo illumination; or a combination therein.

Except for logos and text, sign faces shall not be acrylic, polycarbonate or flexible faced material, nor shall the entire face be illuminated from within.



Example of monument for project with property name.



Example of monument for project without property name.

Note: Drawings shown are for demonstration of the parts of these signs only, and are not to be considered as designs for within Desert River. Final designs for each parcel shall be submitted for review and approval by the Desert River Design Review Committee prior to city approval.

Business Park Tenant Identity (Wall Mounted)

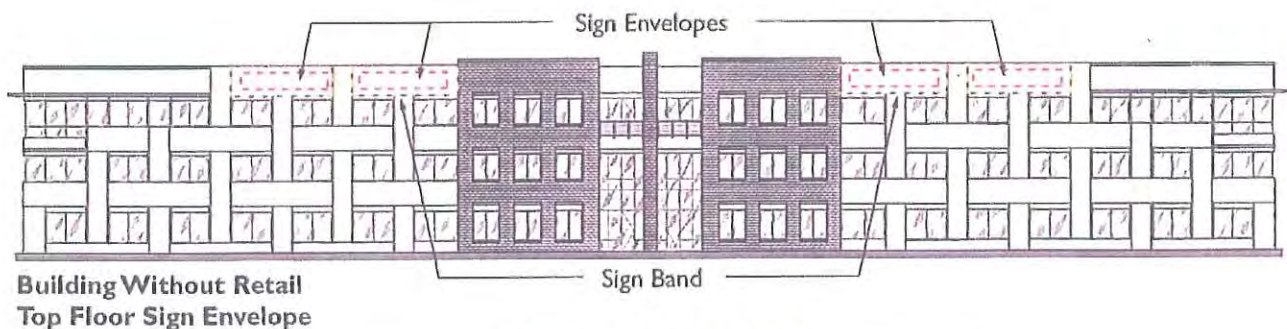
Each building will be required to submit a specific wall sign program for all building signage at the time of design review, in accordance within these guidelines. The wall sign program shall illustrate each building's sign band with sign envelopes, the aggregate square footage and maximum building sign locations for tenants/owners, and address numeral locations.

Sign Band/Envelope

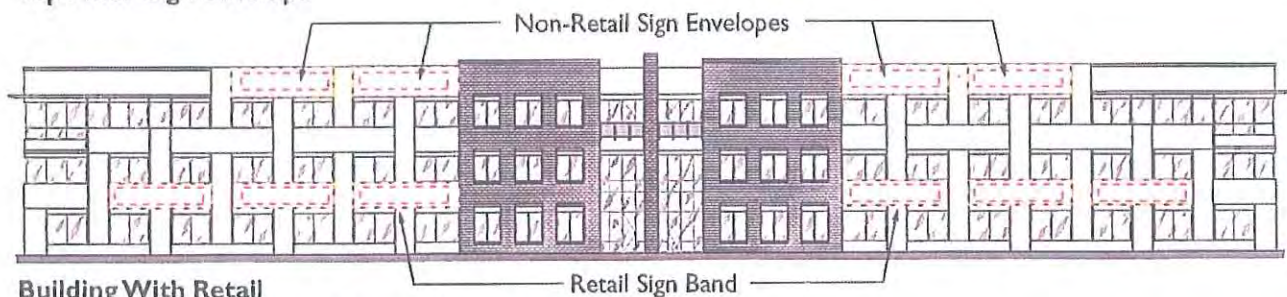
To prevent scattered placement of wall signs on office/commercial buildings, a Sign Band with Sign Envelopes within must be designated. For buildings containing no first floor retail, the Band will occur above the top-most floor. For buildings with first floor retail, the retail sign band will occur between the first and second floor while commercial tenants will be above the top-most floor. The Envelopes will be the

locations for Tenant exterior wall mounted signs, regardless of the floor that the Tenant may occupy. (See Examples below)

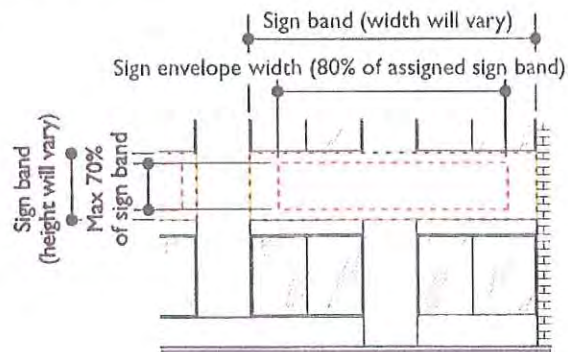
Regardless of a non-retail tenant's location within a building, they may be allowed a sign within a designated sign envelope, at the property owner or landlord's discretion. Square footage to be calculated at One (1) square foot for each One (1) lineal foot of leased frontage. However, square footage may not exceed that of the designated sign envelope.



Building Without Retail
Top Floor Sign Envelope



Building With Retail
First Floor Sign Envelope Reserved for Retail
Top Floor Sign Envelope Reserved for Non-Retail



Dimension Formula for Sign Envelopes

Business Park Tenant Identity (Wall Mount)

Typical Construction

Buildings shall be allowed individual reverse pan channel letters and logos constructed of minimum of .050 aluminum returns. Faces must be a minimum of 1/8" thick aluminum with continuous weld seams.

No "Channelume," "Letteredge," or similar material will be allowed. Self-contained letters with a maximum of 8" deep returns is allowed for major tenants.

Illumination

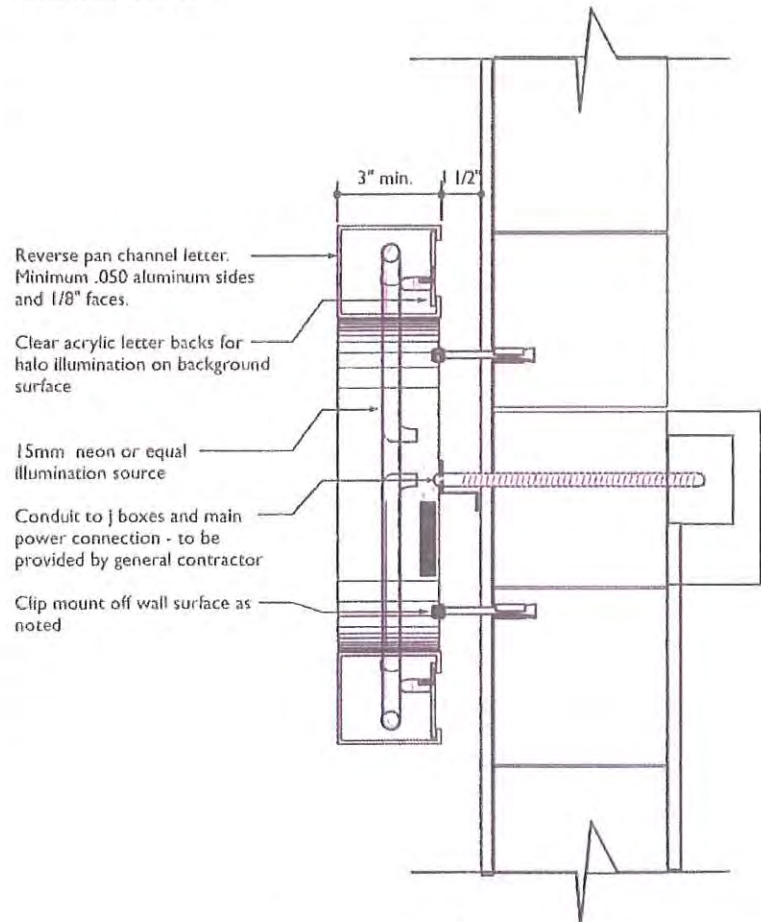
Reverse pan channel letters may be halo illuminated. Backlit halo illumination shall be 15mm cool white neon with no exposed conduits or raceways.

Exposed raceways, conduits, fasteners, tubing or transformers will not be permitted. All inductors, transformers, or other equipment will be concealed in a water tight condition.

Letter Style/Colors/Finishes

For either single-user or multi-tenant building signage, designs may be per the individual tenant's corporate letter style and logo, however color shall be limited to one consistent color. Color shall be selected from approved building color palette as approved during building / elevation DRDRC approvals.

Fluorescent or Day-Glo colors are strictly prohibited.



Typical section for internally illuminated reverse pan-channel letter.



Example of internally illuminated reverse pan-channel letters.

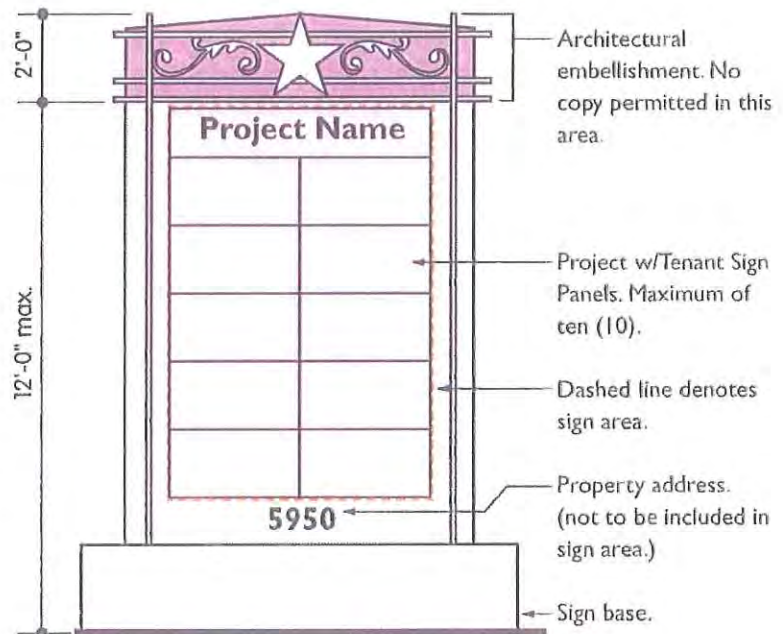
Mixed-Use/Commercial Tenant Identity (Monuments)

These monument signs will identify the property and up to ten tenants for a specific parcel. Monument design and materials shall be consistent with architectural materials for that property. Signs shall include the property address, unless they are located on a side street not associated with that address. This type of sign may only be used on parcels B, C & D, but may not be used along 99th Avenue.

Each retail or mixed use retail/office/commercial complex will be allowed one building monument per street. One (1) additional sign may be allowed for each street if the frontage adjacent to the site is at least eight hundred (800) feet. The minimum distance between the two signs on the same street frontage shall be three hundred and thirty (330) feet.

If two parcels share an entry drive, the parcel monument signs must be at least one hundred (100) feet from each other.

These type of signs shall be no more than twelve (12) feet tall with an additional two (2) feet allowed for architectural embellishments. Sign area shall be no more than eighty (80) square feet for parcels up to twenty (20) acres and one hundred and ten (110) square feet for parcels over twenty (20) acres. Sign area be measured as the area contained within the sum of the smallest rectangles that will enclose both the sign copy and the background.



Example of retail or retail/office/commercial monument.

Monuments may be externally illuminated provided the light sources are shielded from vehicular traffic; or internally illuminated with push-through acrylic and/or pan-channel letters, or reverse pan-channel letters with halo illumination; or a combination therein.

Except for logos and text, sign faces shall not be acrylic, polycarbonate or flexible faced material, nor shall the entire face be illuminated from within.

Note: Drawings shown are for demonstration of the parts of these signs only, and are not to be considered as designs for within Desert River. Final designs for each parcel shall be submitted for review and approval by the Desert River Design Review Committee prior to city approval.

Mixed-Use/Commercial Tenant Identity (Wall Mounted)

All Retail Tenants may have building mounted signs mounted over their leased space fabricated from either individual pan-channel, reverse pan channel, or flat cut-out dimensional letters and logos. Commercial tenants shall have reverse pan-channel letters/logos that shall be mounted in designated sign bands. (See examples on page 7 and at right.)

Each building will be required to submit a specific wall sign program for all building signage at the time of design review in accordance within these guidelines. The wall sign program shall illustrate the sign envelopes, the aggregate square footage and maximum building sign locations for tenants/owners, and address numeral locations. While the tables within this document show specific maximum letter heights and square footages, the building architecture may prevent those maximums from being achieved.

Design

Creative designs and forms, and "custom" cabinet signs are encouraged. Unless as part of a nationally registered and/or trademarked logo, rectangular shaped cabinets are prohibited.

Typical Construction

Individual pan-channel or reverse pan-channel letters and logos must be constructed of minimum of .050 aluminum returns and metal retainers. Reverse pan-channel letter faces must be a minimum of 1/8" thick aluminum. No "Channelume," "Letteredge," or similar material will be allowed.

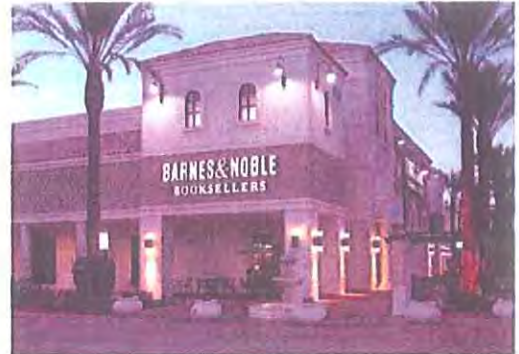
Colors

Designs may be per the individual tenant's corporate letter style and logo. Letter face colors shall be per tenant's corporate standards with the exception that no fluorescent colors will be allowed. Retainers for pan channels must match letter face color.

Retainers for pan channel letters shall either match the returns or face color - glossy brass, gold or silver retainers are strictly prohibited.

Colored acrylic face pan channel letters should be of a minimum thickness to provide stability and consistent illumination of color.

No second surface painted color will be allowed. First surface applied color vinyl may be used for custom designs only with approval of the project's comprehensive signage program through the DRDRC application.



Internally illuminated pan-channel letter.



Externally illuminated pan-channel letter.

Illumination

Reverse pan channel letters may be halo illuminated. Pan-Channel letters and custom cabinets may be internally illuminated with the company's corporate colors. Exposed conduits, fasteners, tubing or transformers will not be permitted. All cabinets, inductors, transformers, or other equipment will be concealed in a water-tight condition.

Custom Cabinets

For Retail Tenants, alternative signage options to the standard channel letters are the use of "Custom Cabinets". These elements are multiple layered in design, with a mix of opaque, translucent backgrounds and various types of lettering and internal illumination built around a single unit. This type of design and fabrication method provides for ease of installation by connecting to one single J-box on the fascia and protects the building by eliminating the drilling and wiring for multiple individual letter installations.

To be considered as a custom cabinet, it must be designed and fabricated with a minimum of three (3) signage/graphic levels and primarily opaque face planes of contrasting colors, textures or materials to create depth and dimension.

All designs and installation details will be approved on an individual basis through the Landlord's discretion.

Creative designs and forms are encouraged.

Construction

Cabinets must be designed and fabricated with a minimum of three (3) signage/graphic planes, each a minimum of one inch (1") deep. Cabinet face planes must be opaque and contrasting in color, texture, or material from one another to create depth and dimension. The maximum depth of the cabinet is twelve inches (12") from the wall or sign band behind.

The main identification lettering (primary name) must be dimensional pan channel or reverse pan channel with a minimum thickness of one inch (1"). Modifiers or secondary copy that is less than eight inches (8") in height, and/or background graphics, may be routed from the face with either back-up or push-through acrylic. This does not count as a layer since the depth does not meet the one-inch (1") minimum depth.

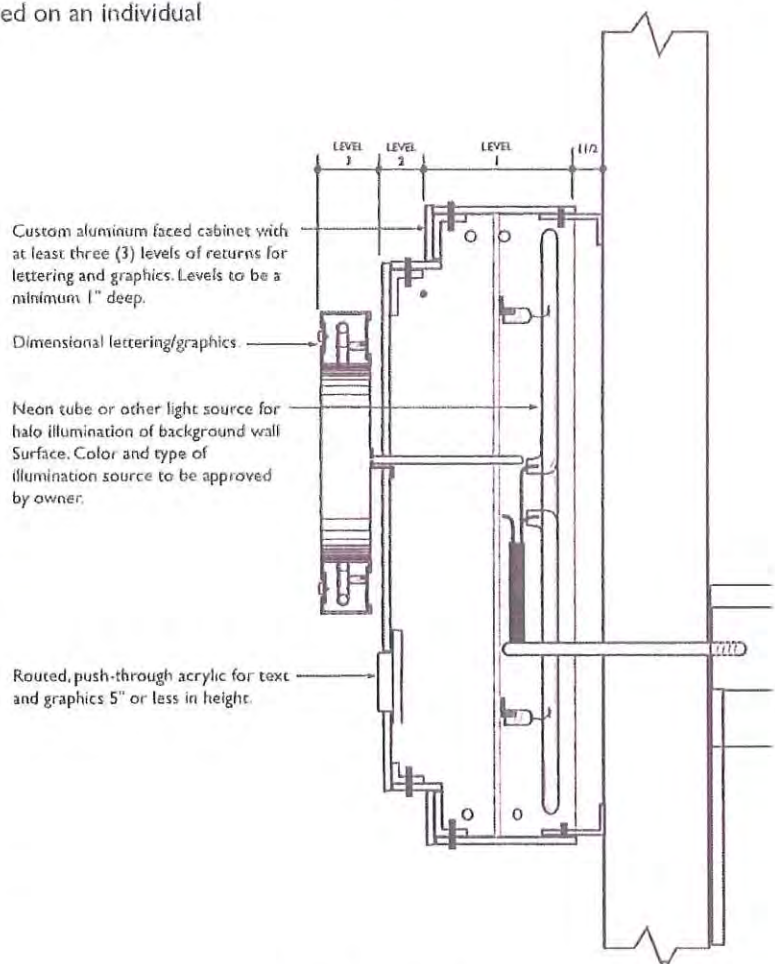
Exposed neon raised from the face of a sign will be considered a different plane, but shall not exceed 10% of the overall custom sign cabinet area.

Illumination

Custom cabinets shall be internally illuminated and should be halo illuminated to provide definition of the outer edge of the cabinet.



Custom cabinet with internal and halo illumination.



Typical section for internally illuminated custom cabinet.

Business Park Monument Signs (G & H Parcels)

Number of Buildings per Parcel	Sign Placement	Sign Area	Maximum Monument Height	Illumination Style	Sign Fabrication/ Color
Single Tenant Building	One (1) per street frontage. One (1) additional sign allowed if frontage is over eight hundred (800) feet. Minimum distance between the signs shall be three hundred and thirty (330) feet.	Forty-eight (48) square feet for parcels twenty (20) acres or less. ¹ Sixty (60) square feet for parcels over twenty (20) acres. ¹ Sign shall identify the name of the building or the tenant.	Ten (10) feet tall including all architectural embellishments.	Internal Illumination or internal illumination with halo accents. Illumination may be external provided the light sources are shielded from vehicular traffic. Illumination colors per Tenant's corporate standards.	Materials to be compatible with corresponding architecture, i.e. CMU block, aluminum, steel, acrylic, polycarbonate, concrete. Bases shall have an aggregate width of at least fifty (50) percent on the width of the sign.
Multiple Tenant Building	One (1) per street frontage. One (1) additional sign allowed if frontage is over eight hundred (800) feet. Minimum distance between the signs shall be three hundred and thirty (330) feet.	Forty-eight (48) square feet for parcels twenty (20) acres or less. ¹ Sixty (60) square feet for parcels over twenty (20) acres. ¹ Sign shall identify the name of the building and up to three (3) tenants, of if the name of the building is also the name of one of the tenants, only two (2) additional tenants may be included on the signs.	Ten (10) feet tall with an additional two (2) feet of architectural embellishments.		

¹ Property address to be included on monument signs only when located on the corresponding street. Monuments located on adjacent streets do not need a property address. Address numbers must be between six (6) and twelve (12) inches tall, and are not to be counted as part of the sign's square footage.

Business Park & Mixed-Use/Commercial Wall Signs (All Parcels)

Building Use	Sign Placement	Sign Area	Maximum Letter Height**	Illumination Style	Sign Fabrication/Color
Single Tenant Building	Maximum of one (1) elevation.	One (1) square foot per each lineal foot of leased frontage. Two hundred (200) s.f. maximum aggregate square footage. ¹	Forty-eight (48) inches	Internal Illumination or internal illumination with halo accents. Illumination colors per Tenant's corporate standards.	Pan-Channel, Reverse Pan-Channel or Custom Cabinet Letters/Logo. No exposed raceways. Colors to be per Tenant's corporate standards. Aluminum, sheet steel, neon, LED.
Multiple Tenant Building	Maximum of one (1) elevation. Signs shall be located within designated sign envelope. Signs may be located other than above tenant's space.	One (1) square foot per each lineal foot of leased frontage. Two hundred (200) s.f. maximum aggregate square footage per tenant. ²	Forty-eight (48) inches		
Multiple Tenant Building with Mixed-Use/Commercial on first floor	Wall Mounted Sign Signs shall be located within designated sign envelope. Within that sign envelope, commercial signs may be located other than directly above their tenant space. Retail signs must be located directly above tenant's space.	Maximum of two (2) elevations. One (1) square foot per each lineal foot of leased frontage. Other elevations allowed one-half (1/2) square foot per each lineal foot of elevation. Forty-eight (48) s.f. maximum aggregate square footage.	Thirty (30) inches		
	Shingle Sign One per tenant entry per elevation. Maximum: Two (2).	Six (6) square feet.		Externally illuminated.	Must have at least two (2) levels of dimension. Wood, metal, paint, vinyl, etc.
	Window Identity Sign	No more than twenty-five (25) percent of exterior window area. Window signs on required exit doors shall not exceed twenty-five (25) percent of window area.	Twelve (12) inches	Non-illuminated.	Vinyl, silkscreen, paint.

¹ Excludes square footage on freestanding signs.

** Regardless of Maximum Letter Height, all signs must fit within designated building sign envelopes.

Mixed-Use/Commercial Monument Signs (Parcels B, C, & D)

Number of Buildings per Parcel	Sign Placement	Sign Area	Maximum Monument Height	Illumination Style	Sign Fabrication/ Color
One Building	One (1) per street frontage. One (1) additional sign allowed if frontage is over eight hundred (800) feet. Minimum distance between the signs shall be three hundred and thirty (330) feet.	Forty-eight (48) square feet for parcels twenty (20) acres or less. ³ Sixty (60) square feet for parcels over twenty (20) acres. ³	Ten (10) feet tall with an additional two (2) feet of architectural embellishments.	Internal Illumination or internal illumination with halo accents. Illumination may be external provided the light sources are shielded from vehicular traffic. Illumination colors per Tenant Corporate Standards.	Materials to be compatible with corresponding architecture, i.e. CMU block, brick, stone, aluminum, steel, acrylic, polycarbonate, concrete. Bases shall have an aggregate width of at least fifty (50) percent on the width of the sign.
Two Buildings	One (1) per street frontage. One (1) additional sign allowed if frontage is over eight hundred (800) feet. Minimum distance between the signs shall be three hundred and thirty (330) feet.	Forty-eight (48) square feet for parcels twenty (20) acres or less. ³ Sixty (60) square feet for parcels over twenty (20) acres. ³	Ten (10) feet tall with an additional two (2) feet of architectural embellishments.		
Three or more Buildings	One (1) per street frontage. One (1) additional sign allowed if frontage is over eight hundred (800) feet. Minimum distance between the signs shall be three hundred and thirty (330) feet.	Eighty (80) square feet for parcels twenty (20) acres or less. ³ One hundred and ten (110) square feet for parcels over twenty (20) acres. ³ Sign may identify the parcel and up to ten (10) tenants.	Twelve (12) feet tall with an additional two (2) feet of architectural embellishments.		
Freestanding Pad Building	Up to two (2) directional signs to drive-thru facilities.	Six (6) square feet.	Four (4) feet.	Non-illuminated or internally illuminated.	

³ Property address to be included on monument signs only when located on the corresponding street. Monuments located on adjacent streets do not need a property address. Address numbers must be between six (6) and twelve (12) inches tall, and are not to be counted as part of the sign's square footage.

Retail Wall Signs (Parcels B, C, & D)

Building Use	Sign Placement	Quantity/ Sign Area	Maximum Letter Height**	Illumination Style	Sign Fabrication/ Color
Anchor Tenant (Over 55,000 s.f. leased area).	Maximum of three (3) elevations.	One (1) square foot per each lineal foot of leased frontage. Other elevations allowed one half (1/2) square foot per each lineal foot of elevation. Three hundred (300) s.f. maximum aggregate square footage. ⁴	Sixty (60) inches	Internal Illumination or internal illumination with halo accents. Illumination colors per Tenant's Corporate Standards.	Pan-Channel, Reverse Pan-Channel or Custom Cabinet Letters/Logo. No exposed raceways. Colors to be per Tenant's corporate standards.
Major Tenant (Between 25,000-54,999 s.f. leased area).	Maximum of three (3) elevations.	One (1) square foot per each lineal foot of leased frontage. Other elevations allowed one half (1/2) square foot per each lineal foot of elevation. Two hundred and fifty (250) s.f. maximum aggregate square footage. ⁴	Forty-eight (48) inches		
Minor Tenant (Between 10,000-24,999 s.f. leased area).	Maximum of two (2) elevations.	One (1) square foot per each lineal foot of leased frontage. Other elevations allowed one half (1/2) square foot per each lineal foot of elevation. Two hundred (200) s.f. maximum aggregate square footage. ⁴	Thirty Six (36) inches		
Shop Tenants (Less than 10,000 s.f. leased area)	Maximum of one (1) elevation.	One (1) square foot per each lineal foot of leased frontage. One hundred (100) s.f. maximum aggregate square footage. ⁴	Twenty-four (24) inches		
Freestanding Pad Building	Maximum of three (3) elevations.	One (1) square foot per each lineal foot of leased frontage. Other elevations allowed one half (1/2) square foot per each lineal foot of elevation. Two hundred (200) s.f. maximum aggregate square footage. ⁴	Twenty-four (24) inches		
All Tenants	Shingle Sign One per tenant entry per elevation. Maximum: Two (2).	Six (6) square feet.		Externally illuminated.	Must have at least two (2) levels of dimension. Wood, metal, paint, vinyl, etc.
	Window Identity Sign	No more than twenty-five (25) percent of exterior window area. Window signs on required exit doors shall not exceed twenty-five (25) percent of window area.		Non-illuminated.	Vinyl, silkscreen, paint.

⁴ Excludes square footage on freestanding signs.

** Signs must fit within designated building sign envelopes

Temporary Signs (All Parcels)

Parcel Use	Sign Placement	Quantity/ Sign Area	Maximum Sign Height	Illumination Style	Sign Fabrication
Sale/Lease/Rent Business Park, Mixed-Use/ Commercial (Undeveloped)	Maximum of one (1) sign per parcel.	Thirty-two (32) square feet	Eight (8) feet	Non-illuminated.	Metal, MDO plywood, wood, metal, fabric, vinyl, etc.
Sale/Lease/Rent Business Park, Mixed-Use/ Commercial (With Buildings)	Maximum of one (1) per building.	Twelve (12) square feet per building	Six (6) feet		
Special Event/ Seasonal Sales Business Park, Mixed-Use/ Commercial	On site, off of public right-of-way. Limited to sixty (60) consecutive days.	Thirty-two (32) square feet	Eight (8) feet		
Construction/ Development Sign Business Park, Mixed-Use/ Commercial	Maximum of one (1) sign per parcel.	Thirty-two (32) square feet	Eight (8) feet		
Promotional Display (Grand Opening, Change of Ownership, Sale, etc.) Business Park, Mixed-Use/ Commercial	On site, off of public right-of-way.	Per approval of the Desert River Design Review Committee and the City of Glendale. A maximum of ten (10) consecutive days, no more than three (3) times per year with no less than thirty (30) days between events. One Grand Opening sign per leased space is allowed per year for a period not to exceed thirty (30) days. The grand opening display requires a new business or change in business name.	Per approval of the Desert River Design Review Committee and the City of Glendale.	Internally, externally or non-illuminated.	Banners, balloons, streamers, inflatable structures, search lights, character or product likenesses, attention attracting media and devices and other non-merchandise displays.

Signage Standards: Business Park & Mixed-Use/Commercial

Window Graphics (Mixed-Use/Commercial Only)

No more than 25% of front glass area may have signage/graphics, applied to, or within three (3) feet behind the window area. This includes temporary signage applications for sales, promotions and/or any permanent identification signage. Permanent identification signage may include the name of the establishment, hours of operation, suite numbers, modifiers of the products sold, logos and other graphic elements. This signage does not count against the tenant's square footage allotment.

Colors and Layouts

All window graphic layouts shall be approved in writing by the DRDRC or their representative agent for quality and consistency with the criteria package prior to installation.

Colors should be used aesthetically and effectively within the tenant's corporate colors and graphic standards.

Restrictions

Window graphics of "prefabricated" neon elements are strictly prohibited.

Shingle Signs (Mixed-Use/Commercial only)

All mixed-use/commercial tenants will be allowed one (1) shingle sign. Tenants with more than one public entry will be allowed a maximum of two (2) shingle signs only if the entries are on different elevations.

Each tenant within a common mixed-use/commercial property will use a common frame design and will be provided the standard bracket for this sign. Tenants will be allowed to create their own unique panel with their recognized corporate identity and design theme, subject to approval of the DRDRC.

This signage does not count against the tenant's square footage allotment.

Bottom of sign—Minimum 8'-0" above finished floor.

Orientation—Perpendicular to storefront.



Example of retail window graphics.



Example of shingle sign.

Signage Standards: Business Park & Mixed-Use/ Commercial

Sign Area Calculation

Where a sign consists only of individual letters, numerals, symbols, or other similar components; the total area of the sign shall be calculated by the sum of the areas of the smallest square or rectangle that encloses all the text and graphics. Up to three (3) such rectangles can be used in defining area, see examples right. Ascenders, descenders and occasional decorative elements may penetrate the boxes without penalty to the square footage calculation.



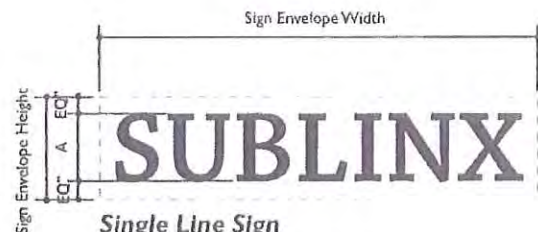
Example for calculating sign area.

Layout/Design Standards

Tenants may use a registered corporate trademark or logotype for building mounted signs.

A minimum of one half letter height (A or B) line spacing (C) will be used between all multiple lines of signage layouts, unless owner's nationally registered trademark creates a unique circumstance.

Occasional ascenders and descenders, or logo details will be allowed to go beyond the sign envelope, but may not be closer than three inches (3") from break or delineation of architecture.



Single Line Sign
Maximum Letter/Logo Size



Two Line Sign
A – Primary Name
B – Secondary Name Or Line
C – Spacing Of Minimum
1/2 Letter Height Of A Or B

Example showing one and two line signs.

Signage Standards: Business Park & Mixed-Use/ Commercial

Letter Spacing & Kerning (All)

To fit good proportional layout standards, lettering and/or a tenant's logo may not be condensed more than 90% of their standard horizontal width, based upon the tenant's corporate standards or basic typographical layouts if no corporate standards exist.

The examples at right illustrate a name that is allowed the maximum letter height of thirty-six inches (36") within a designated maximum length. The graphics show what is allowed for fitting the lettering within the sign envelope, based on the tenant's registered trademark or logo.



Sun Framing

Unacceptable Layout
OK letter height but lettering too long for sign envelope.

Sun Framing

Unacceptable Layout
OK letter height with too-tight kerning.

Sun Framing

Unacceptable Layout
Maximum letter height with excessive horizontal compression.

Submittal Requirements: All Parcels

1 Signage Approval

Owner/Occupant/Tenant () sign packages for each parcel must be approved in writing by the Desert River Design Review Committee (DRDRC) or their representative agent prior to permit application to the city of Glendale.

2 Sign Permits

OOT is responsible for obtaining all necessary sign permits prior to sign installation.

3 Signage proposal

Each Owner/Occupant/Tenant (OOT) must submit to the DRDRC four (4) sets of detailed shop drawings and site plan(s) showing locations (including building elevations), sizes, design, colors, materials, lettering, graphics, conduits, junction boxes, sleeves, methods of illumination and other mounting apparatus of all proposed monument, wall, window, and rear door signs. This submittal must be made at least fifteen (15) days prior to submitting requests for permits or manufacturing.

4 Sign contractor's responsibilities

Prior to preparation of signage drawings and specifications, the OOT's sign contractor must review all architectural, structural, and electrical documents as they relate to the building wall and/or storefront at the proposed signage location. In addition, the sign contractor should visit the project site to become familiar with as-built conditions and verify all dimensions.

5 Project Owner review

After review of the signage proposal, the DRDRC will return one of the three sets of drawings to the OOT, marked either "Approved," "Approved as Noted," or "Revise and Resubmit."

A "Approved"

If drawings are marked "Approved," the OOT is allowed to proceed with submittal for a sign permit from the city. Sign construction and installation in accordance with the drawings can proceed upon securing a permit.

B "Approved as Noted"

If drawings are marked "Approved as Noted," the OOT is allowed to proceed with submittal for a sign permit from the city. Sign construction and installation, provided that any modifications noted are incorporated into the design can proceed upon securing a permit. An applicant that takes exception to the noted modifications may revise and resubmit, as explained below.

C "Revise and Resubmit"

If drawings are marked "Revise and Resubmit," the plans will be returned to the OOT with comments. The drawings must be revised and resubmitted for approval before the OOT can apply for a sign permit.

6 Openings in building walls

Locations of all openings for conduit and sleeves in building walls must be indicated by the sign contractor on the drawings submitted. The contractor shall install the sign in accordance with the approved drawings.

7 OOT responsibilities for other regulations

The DRDRC's approval of an OOT's signage plan does not constitute an implication, representation, or certification by the PO that those plans are in compliance with applicable statutes, codes, ordinances, or other regulations. Compliance with other regulations is the sole responsibility of the OOT for all work performed on the premises by or for the OOT.

All signs at **Desert River** must be compatible with the standards outlined in this Master Sign Program and/or in conformance with the City of Glendale's Sign Requirements. All temporary and permanent signage shall be permitted through the Community Development Department and only with DRDRC's approval. Any variation from the signage criteria shall be evaluated on an individual basis by the DRDRC.

8 Illuminated signs

Permits are required for all signs and electrical permits for all signs that are illuminated. It is the OOT's sole responsibility to secure these and any other permits that may be required.

9 Size limitation

Each OOT must limit the area of its sign in accordance with the area allocated for signage. Maximum letter height and length varies according to building/storefront, but it must not exceed the area allocated for signage. Each OOT will be granted a minimum of one sign.

Retail OOT's with more than one elevation wall may have a sign on each elevation provided that elevation does not directly face residential property.

10 Labels

No labels are permitted on the exposed surface of signs, except those required by local ordinance. Sets of individual letters shall have one label on an end letter only. These are to be installed in an inconspicuous location.

11 Upkeep and maintenance

Each OOT is fully responsible for the upkeep and maintenance of its sign(s), including any individual pylon or monument signage, and OOT's are to repair any sign defects within five (5) days of notification. If an OOT does not repair said sign(s), the DRDRC at the OOT's sole cost and expense, may repair and/or replace sign(s).

A penalty of 100% of the DRDRC's cost to repair said signage, in addition to the cost of the repair, may be assessed to the OOT if the

DRDRC is required to provide the necessary maintenance due to the OOT's noncompliance following notification.

12 Sealing of building penetrations

All penetrations of the building structure required for sign installation shall be neatly sealed in a watertight fashion.

13 Damage caused by or during installation

The sign contractor and/or OOT will pay for any damage to a building's fascia, canopy, structure, roof, or flashing caused by sign installation. OOT shall be fully responsible for the operations of OOT's sign contractor and shall indemnify, defend, and hold the DRDRC harmless for, from, and against damages or liabilities of account thereof.

14 Required insurance for sign contractors

All sign contractors must carry workers' compensation and commercial liability insurance against all damages suffered or done to any and all persons and/or property while engaged in the construction or installation of signs, with a combined single limit in an amount not less than two million and no/100 dollars (\$2,000,000.00) per occurrence. Every sign contractor must hold a current contractor's license in the State of Arizona.

15 Sign removal

If signs are removed from the walls, the OOT will be responsible to patch and repaint any openings to the walls created for the installation of the signs.

Prohibited signs

- Cabinet (Typical) Acrylic, Plexiglas, or plastic-faced panels with surface or second-surface applied or painted graphics, internally backlit in rectangular construction.
- No signs, advertisements, notices, or other lettering shall be displayed, exhibited, inscribed, painted, or affixed on any part of the buildings visible from outside the premises, except as specifically approved by the Landlord.
- Rude, obscene, offensive, animated, flashing, blinking, rotating, moving, or audible signs.
- Placards; posters; playbills; postings; paintings; flags; signs in public right-of-way; and fixed balloons are not permitted in any location, whether or not visible from outside the premises.
- Change-panel signs.
- "A" frames and portable signs.
- Signs that are installed without written approval from the Landlord, or that are inconsistent with approved drawings. These signs may be subject to removal and reinstallation by the Landlord at the OOT's expense.
- Painted or hand lettered signs on storefronts.
- Flashing, moving or audible signs.
- Luminous vacuum formed type plastic letters

- Inflatable signs or graphic devices (except as approved under "Temporary Signs, Promotional Display")
- Freestanding attraction boards, posters or other permanent advertising devices.
- Paper, cardboard or Styrofoam signs.
- Signs with exposed neon tubing or raceways.
- Signs with gold or silver plastic trim caps that contrast with letter returns.

Architectural Design Standards

It is the intent of the Guidelines to cause the creation of an attractive, high quality development incorporating a variety of architectural styles, but with emphasis on a business park environment appearance.

APPROVED MATERIALS:

- Common clay brick
- Architectural metal (e.g., Alucobond)
- Poured in place, tilt up or precast concrete provided that surfaces must be painted or have exposed aggregate finish (color and texture of exposed aggregate must be approved).
- Stucco or "dryvit" type systems provided that finishes must be smooth or sand finish.
- Integrally colored concrete block, smooth face and/or split-face units.
- Granite, marble or other natural stone.
- Ceramic Tile.
- Sloped roofs may be flat concrete tile or architectural metal.

APPROVED COLOR PALETTE:




- Colors and like materials should be used to create visual harmony within the development.
- Approved Colors Include:**
- Desert hues and other "earth tones" including light brown, cream, tan, warm grays, brick-tones.
 - Muted shades of blue, mauve, lavender.
 - Off-white.

PROHIBITED MATERIALS AND COLOR PALETTES:

- Materials and colors not permitted include:**
- Wood, except for very limited amounts of trim.
 - Corrugated metal and pre-engineered metal-sided buildings.
 - Bright colors such as orange, red, blue, green, yellow, purple, and similar colors, except for accenting purposes.
 - Spanish or mission-type barrel roof tile.

Color Samples:

PALETTE ONE






Frazee 8652W
"Whippoorwill"
(or equivalent)

Frazee 8674M
"Muddy River"
(or equivalent)

Frazee 8233M
"Chisp Khaki"
(or equivalent)

PALETTE TWO






Frazee 8673M
"Tavern Taupe"
(or equivalent)

Frazee 8245A
"Ochre Rust"
(or equivalent)

Frazee 8266N
"Brazilian Brown"
(or equivalent)

PALETTE THREE






Frazee 8672W
"Tequila"
(or equivalent)

Frazee 8654M
"Elkhorn Cactus"
(or equivalent)

Frazee 8655D
"Pinedale"
(or equivalent)

PALETTE FOUR



Frazee 8184M
"Moselle"
(or equivalent)

Frazee 8665D
"Gristmill"
(or equivalent)

Frazee 8236N
"Gumnut"
(or equivalent)

Masonry Samples:



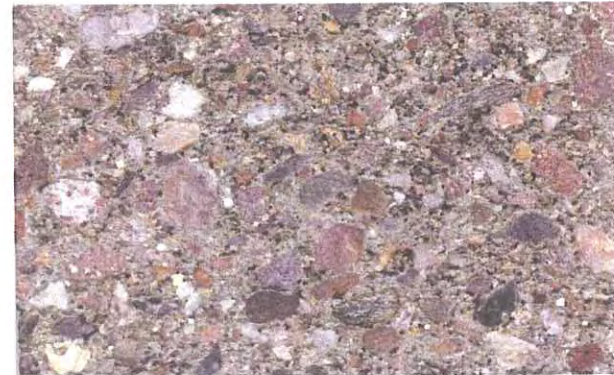
Superlite: Integrally Colored CMU
Split-Face "Natural Grey"
(or equivalent)



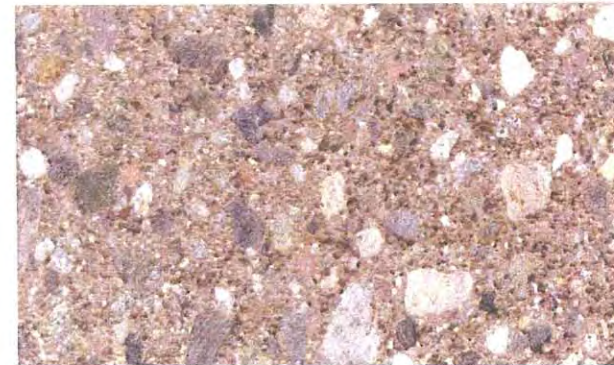
Superlite: Integrally Colored CMU
Split-Face "Anthem Red"
(or equivalent)



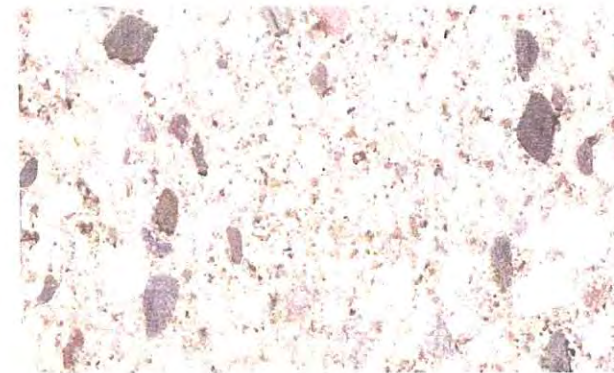
Superlite: Integrally Colored CMU
Split-Face "Bone"
(or equivalent)



Trendstone: Integrally Colored CMU
Smooth-Face "Willow Green"
(or equivalent)



Trendstone: Integrally Colored CMU
Smooth-Face "Modesto"
(or equivalent)



Trendstone: Integrally Colored CMU
Smooth-Face "Malibu Sand"
(or equivalent)

Stone Samples:



Natural Stone

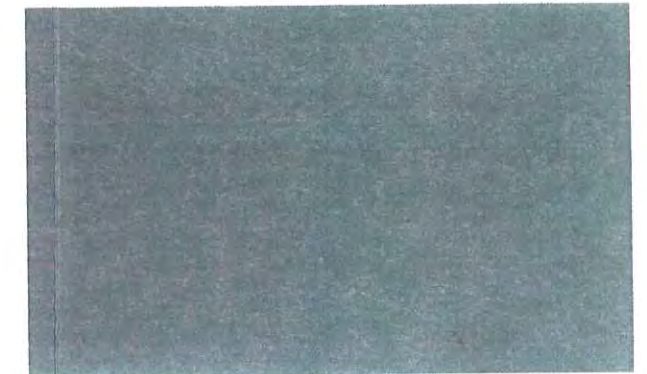


Natural Stone



Natural Stone

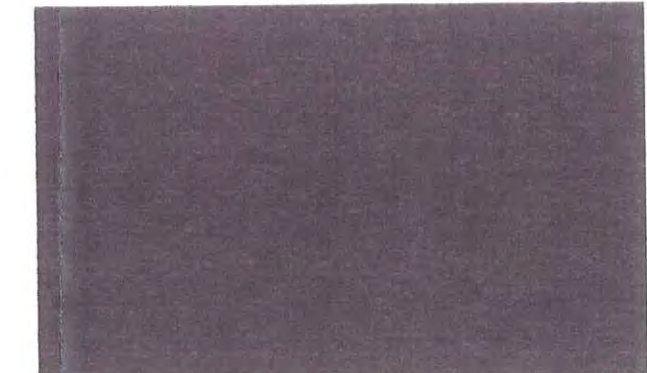
Glass Samples:



Glazing: ACH Versalux Green 2000



Glazing: Visteon Versalux Blue 2000



Glazing: ACH Versalux Grey

EXHIBIT L COLOR & MATERIALS PALETTE



7302 N 99th Avenue
ZON07-20

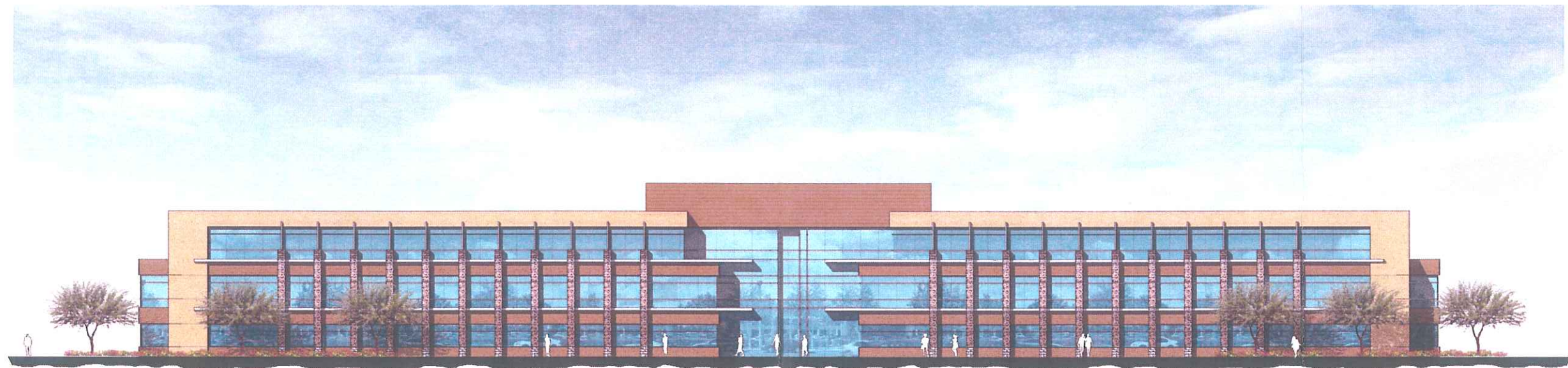


Building Elevation Concepts
Office Building (2-Story)

EXHIBIT L
ELEVATION CONCEPTS



7302 N 99th Avenue
ZON07-20



Building Elevation Concepts
Office Building (3-Story)

EXHIBIT L
ELEVATION CONCEPTS



7302 N 99th Avenue
ZON07-20



Building Elevation Concepts
Office Building (4-Story)

EXHIBIT L
ELEVATION CONCEPTS



7302 N 99th Avenue
ZON07-20



Building Elevation Concepts
Office Building (8-Story)

EXHIBIT **L**
ELEVATION CONCEPTS



7302 N 99th Avenue
ZON07-20



DAVIS

All calculations are approximate and subject to change.



EXHIBIT L CHARACTER IMAGES



7302 N 99th Avenue
ZON07-20



All calculations are approximate and subject to change.

DAVIS
architecture
interior architecture
space planning
facilities management
land planning
landscape architecture
graphic design

EXHIBIT L
CHARACTER IMAGES



7302 N 99th Avenue
ZON07-20





All calculations are approximate and subject to change.



DAVIS
architecture
interior architecture
space planning
facilities management
land planning
landscape architecture
graphic design

EXHIBIT L
CHARACTER IMAGES







Desert
River



7302 N 99th Avenue
ZON07-20



LEGEND:

-  EXISTING STREETS
-  ANTICIPATED MAIN STREET ROADWAY NETWORK
-  ANTICIPATED ROADWAY NETWORK TO BE CONSTRUCTED BY OTHERS
-  ANTICIPATED DESERT RIVER PHASE 1 ROADWAY NETWORK
-  ANTICIPATED DESERT RIVER PHASE 2 ROADWAY NETWORK
-  ANTICIPATED DESERT RIVER PHASE 3 ROADWAY NETWORK

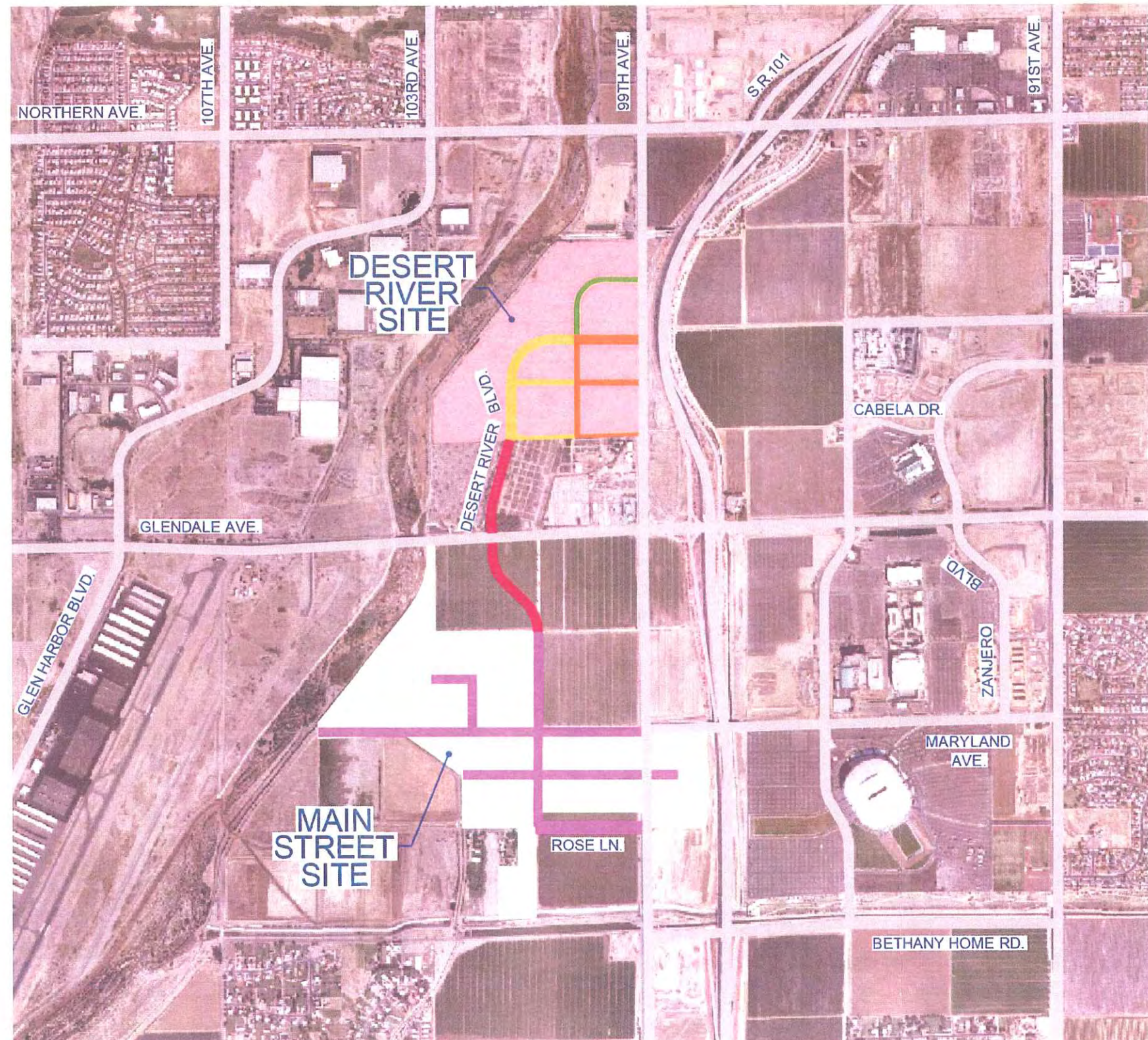
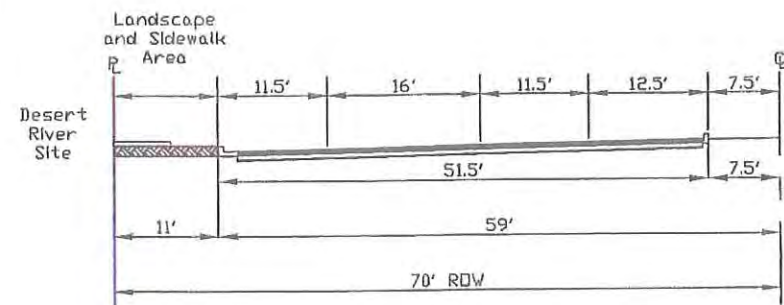


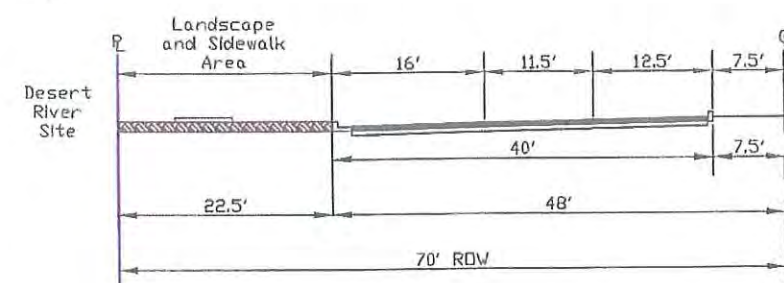
EXHIBIT **M**
REGIONAL ROADWAY NETWORK



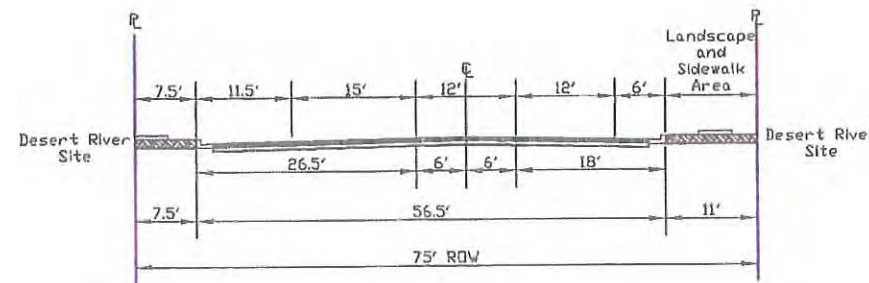
7302 N 99th Avenue
ZON07-20



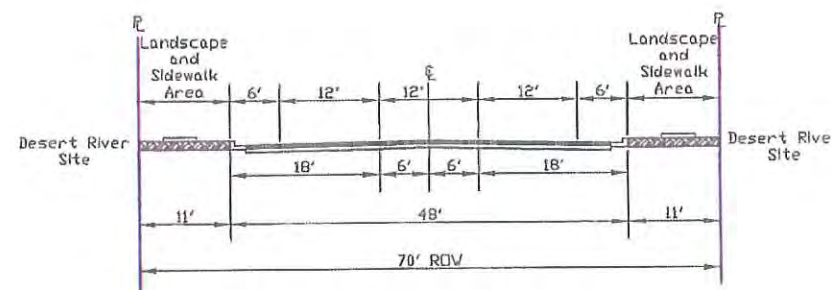
99th Avenue, West Half Street
Looking North
(With Right-Turn Lane)



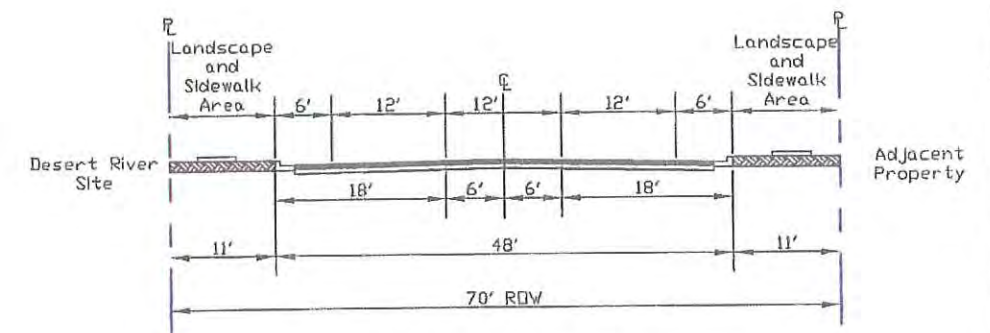
99th Avenue, West Half Street
Looking North
(Without Right-Turn Lane)



Desert River Boulevard
With Right-Turn Lane



Desert River Boulevard



Myrtle Avenue
Looking East

- NOTES:
1. All dimensions are measured to back of curb.
 2. Wider pavement and/or attached sidewalk may be necessary at approaches to major cross streets to provide for turn lanes. Refer to the master circulation plan, preliminary plat and/or final construction plans for details of roadway geometry at any specific location within or adjacent to the project.

EXHIBIT N
DESERT RIVER TYPICAL
SECTIONS



DAVIS








7302 N 99th Avenue
ZON07-20

NOTES

1. ADDITIONAL ACCESS POINTS ALONG INTERNAL FEED LINES WILL BE PERMITTED. LOCATIONS TO BE DETERMINED AS SPECIFIC SET PLANS BECOME AVAILABLE.
2. FULL ACCESS POINTS SHOULD BE LIMITED TO 400 FOOT SPACING ALONG COLLECTOR ROADWAYS.
3. ACCESS POINTS ON THE COLLECTORS SHOULD NOT BE LOCATED ALONG THE INNER SIDE OF A ROADWAY CURVE.

LEGEND

-  RIGHT IN/RIGHT OUT/LEFT IN ACCESS POINT
-  RIGHT-IN/RIGHT-OUT ONLY ACCESS POINT
-  POTENTIAL FUTURE SIGNALIZED INTERSECTION
-  LIMITS OF DEVELOPMENT SITE

 PROPOSED ROADWAY IMPROVEMENTS

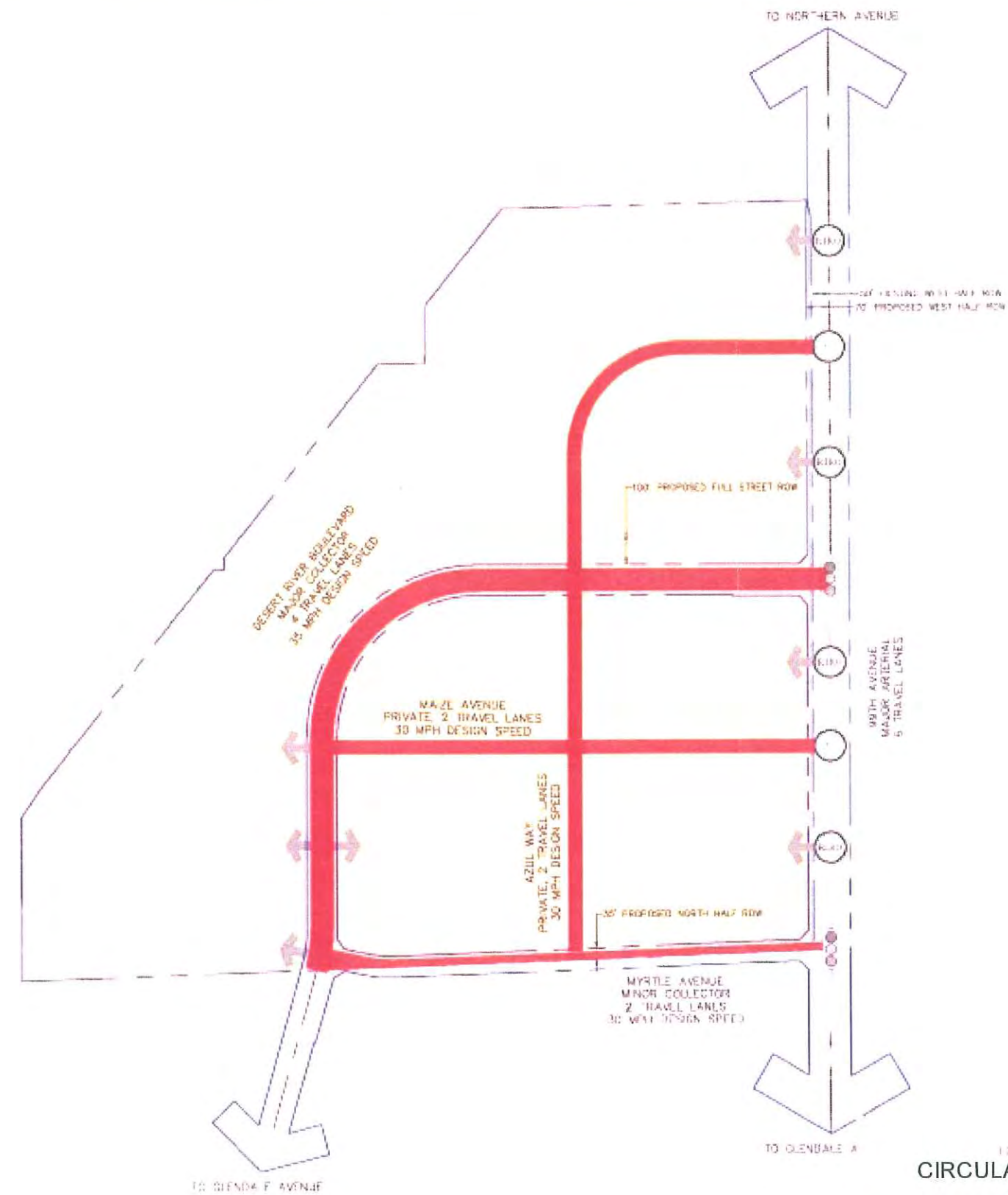
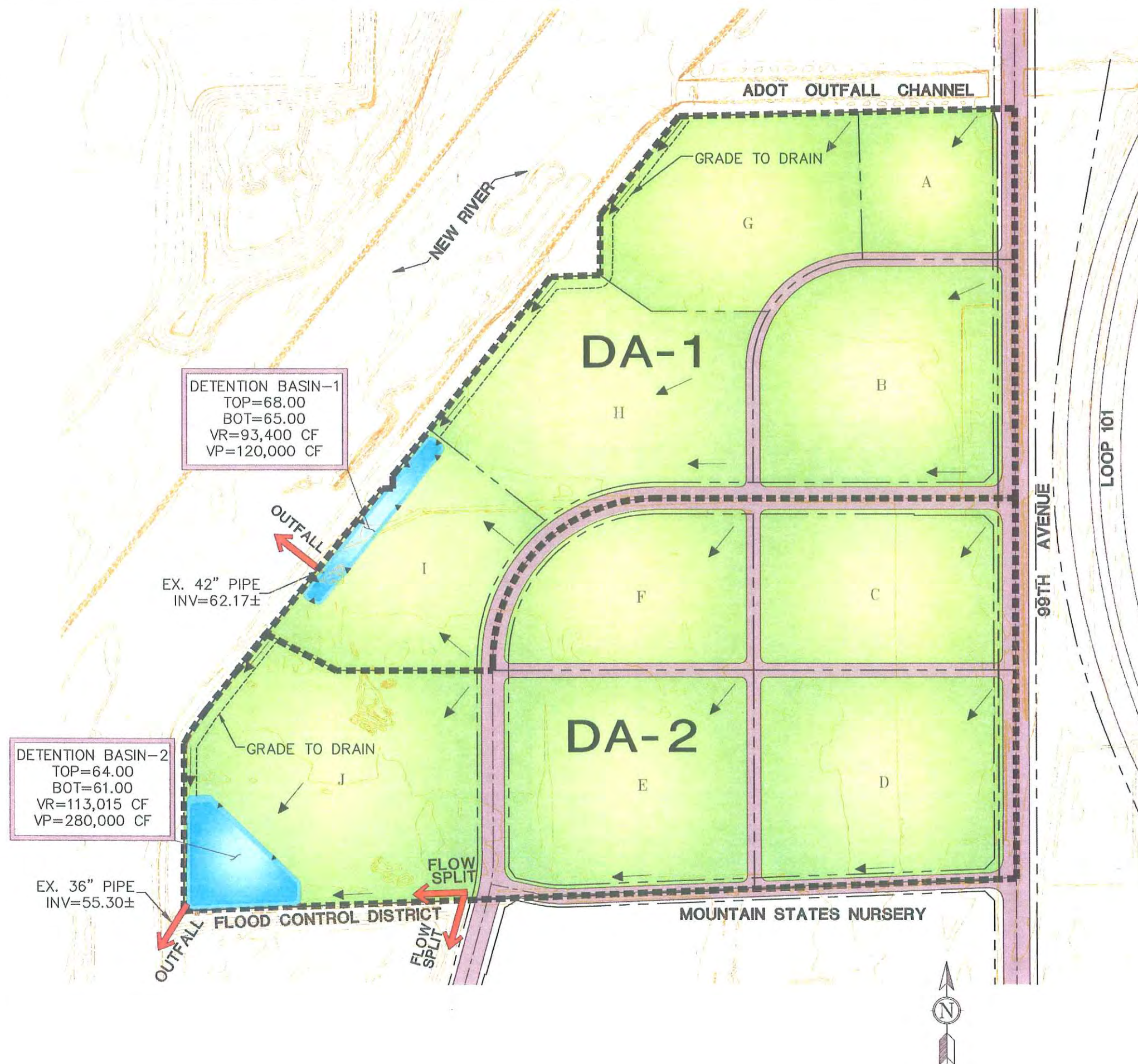


EXHIBIT O CIRCULATION MASTER PLAN



1302 N. GLENDALE AVENUE
GLENDALE, AZ 85301



FLOOD ZONE

THIS PARCEL LIES WITHIN TWO FLOOD ZONES BOTH DEPICTED AS ZONE 'X' IN FEMA FLOOD MAPS 04013C1620H REVISED SEPTEMBER 30TH, 2005. FLOOD ZONE 'X' IS MORE SPECIFICALLY DESCRIBED AS AREAS OF 0.2% ANNUAL CHANCE OF FLOOD; AREAS OF 1% ANNUAL CHANCE OF FLOOD WITH AVERAGE DEPTHS LESS THAN 1 FOOT OR WITH A DRAINAGE AREA LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED FROM LEVEES FROM 1% ANNUAL CHANCE OF FLOOD.

RETENTION VOLUME REQUIRED

(VR) FIRST FLUSH RETENTION

$$VR = (P/12)(A)$$

$$P = 0.5 \text{ INCHES}$$

$$A = 4,953,915$$

$$VR=206,415 \text{ CF}$$

RETENTION/DETENTION VOLUME PROVIDED

RETENTION/DETENTION CALCULATIONS

DRAINAGE AREA			DETENTION BASIN		
ID	AREA (SF)	VOLUME REQUIRED Vr (CF)	ID	VOLUME PROVIDED Vp (CF)	ELEVATION
					HW BOT
DA 1	2,241,563	93,400	DET-1	120,000	68.00 65.00
DA 2	2,712,352	113,015	DET-2	280,000	64.00 61.00
TOTAL	4,953,915	206,415	TOTAL	400,000	

ADDITIONAL VOLUME PROVIDED TO MAINTAIN EXISTING STORM WATER OUTFALL CONDITIONS. (SEE DRAINAGE REPORT).

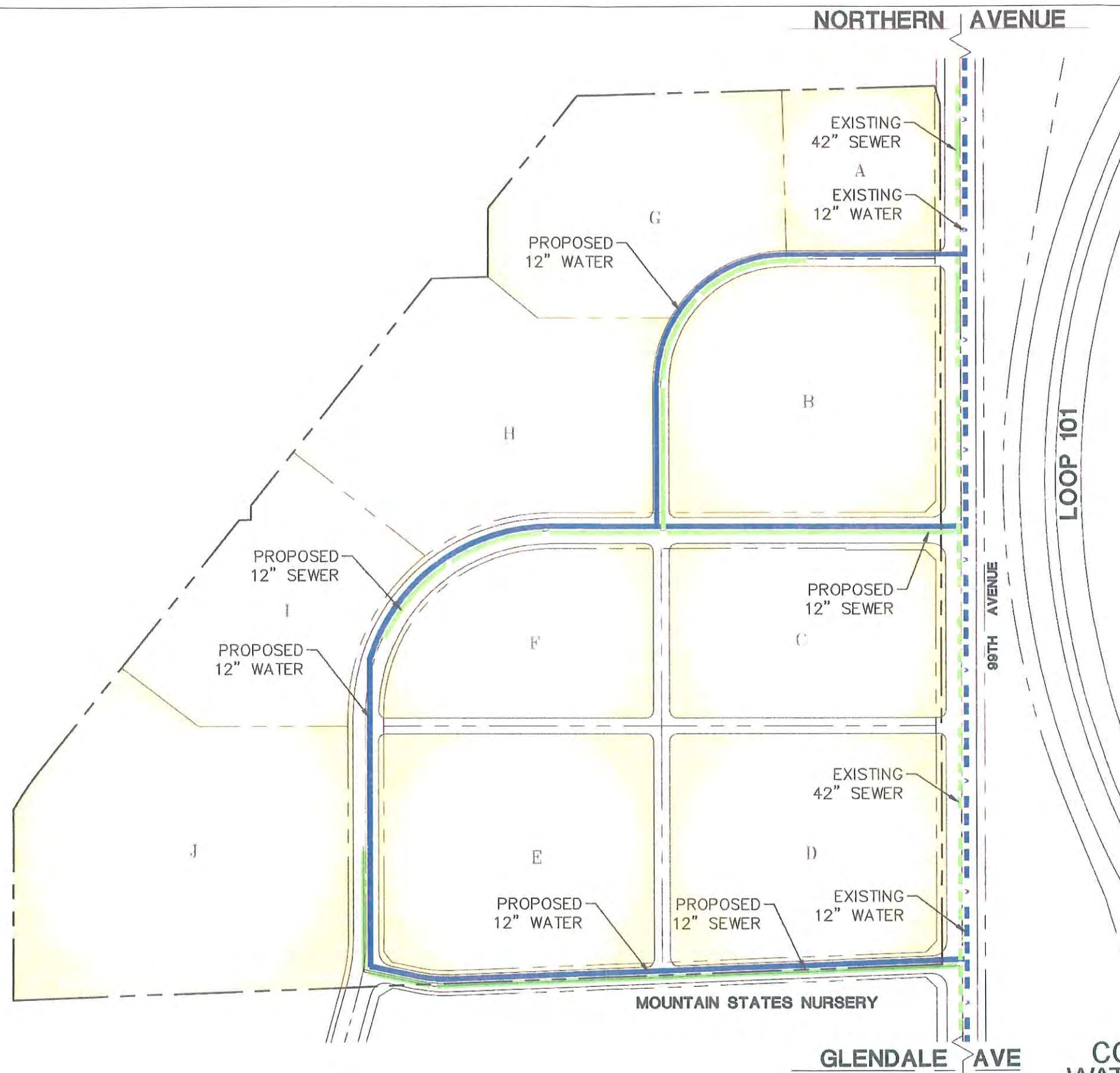
LEGEND

- ← DRAINAGE FLOW ARROW
- DRAINAGE AREA DELINEATION
- ← OVERALL SITE OUTFALL

EXHIBIT P CONCEPTUAL GRADING & DRAINAGE



7302 N 99th Avenue
 ZON07-20



LEGEND

- PROPOSED WATER LINE
- PROPOSED SEWER LINE
- EXISTING WATER LINE
- EXISTING SEWER LINE



EXHIBIT Q CONCEPTUAL WATER & SEWER



7302 N 99th Avenue
ZON07-20

1. ADDITIONAL ACCESS POINTS ALONG INTERNAL COLLECTORS WILL BE PERMITTED. LOCATIONS TO BE DETERMINED AS SPECIFIC SITE PLANS BECOME AVAILABLE.
2. FURTHER ACCESS POINTS SHOULD BE LIMITED TO 400 FOOT SPACING ALONG COLLECTOR ROADWAYS.
3. ACCESS POINTS ON THE COLLECTORS SHOULD NOT BE LOCATED ALONG THE INSIDE SIDE OF A ROADWAY CURVE.

- $R_{GH} = K/R_{GH} = \text{BUT NOT IN QW}^*$ AND IN QW
- $R_{GH} = K/R_{GH}^*$ BUT ONLY ACCESS POINT
- INTERNAL FAILURE SERIALIZED INTERSECTIONS
- ✗ R_{GH}
- $R_{GH} = 1$
- $R_{GH} = 2$
- $R_{GH} = 3$
- $R_{GH} = 4$
- $R_{GH} = 1$ SIDEWAY IMPROVEMENT
- $R_{GH} = 2$ SIDEWAY IMPROVEMENT
- $R_{GH} = 3$ SIDEWAY IMPROVEMENT



Appendices

Appendix A.	Design Review
Appendix B.	Performance Standards
Appendix C.	Landscaping, Buffering, Walls
Appendix D.	Accessory Buildings and Uses
Appendix E.	Off-Street Parking
Appendix F.	Standards for Uses Subject to Conditions
Appendix G.	Wireless Communication Facilities
Appendix H	Landscaping
Appendix I.	Outdoor Light Controls

Appendix A. Design Review.

I. Purpose.

- A. To promote development consistent with the City's goals of high quality.
- B. To ensure that development is compatible with the surrounding area.
- C. To ensure that on-site and off-site circulation is safe for both motorists and pedestrians.
- D. To ensure that all necessary public utilities and services are provided in an efficient and aesthetic manner.

II. When Review is Required.

Design Review is required for single residence, multi-residence, office, commercial, and industrial projects if any one (1) of the following requirements is met:

- A. Any new development or construction.
- B. Any change in occupancy as classified by the Uniform Building Code.
- C. Any expansion of an existing site or building.
- D. Any remodeling of an existing use that alters at least twenty (20) percent of the floor area or site area.
- E. Any remodeling or improvement valued at fifty (50) percent or more of the value of the existing improvements on the site.
- F. Prior to occupancy or use of any commercial or industrial building or site which has been vacant for one (1) year or more.
- G. Any amendment to an approved design review plan.

III. Minor Design Reviews and Waiver of Design Review.

The Planning Director may waive full Design Review if it is determined that such review will not further that purpose of this section.

IV. Submittal Requirements.

A Design Review application shall contain:

- A. Completed application form and fee.
- B. A site plan.
- C. Building elevations.
- D. A conceptual landscape plan and grading and drainage plan.
- E. Materials and colors exhibit board.
- F. Proposed signage.

The technical information to be included with these items along with the appropriate number of copies of each is described in the application guidelines provided by the Planning Department. Additional information may be required depending on the scale and scope of the project.

V. Review and Approval.

The City staff shall make the following findings in its evaluation of a project:

- A. The proposed development complies with all provisions of this section and all other ordinances, master plans, general plans, goals, objectives and standards of the City of Glendale.
- B. The proposed site development plan's building heights, building locations, access points, and parking areas will not negatively impact adjacent properties or the surrounding neighborhood.
- C. The proposed development promotes a functional relationship of structures to one another, to open spaces, and to topography both on the site and in the surrounding neighborhood.
- D. The height, location, materials, color, texture, area, setbacks, and mass, as well as parts of any structure (buildings, walls, signs, lighting, etc.) and landscaping, is appropriate to the development, the neighborhood, and the community.
- E. Ingress, egress, internal and external traffic circulation, off-street parking facilities, loading and service areas, and pedestrian ways, is so designed as to promote safety and convenience.
- F. The architectural character of the proposed structures is in harmony with, and compatible to, structures in the neighboring environment and the architectural character desired for the city; avoiding excessive variety or monotonous repetition.

G. All mechanical equipment, appurtenances and utility lines are concealed from view and integral to the building and site design.

VI. Administrative Relief.

City development standards may be modified during the design review process by up to ten (10) percent of the required standard upon a finding that all of the following are met:

- A. The proposed improvement is compatible with the character of the property requesting relief and the adjacent property;
- B. The proposed improvement requiring relief will not be detrimental to the property requesting relief, any adjacent property or the City;
- C. The relief granted is the minimum required to meet the needs of the proposed improvement; and
- D. The relief shall not be contrary to the purpose and intent of this section.

VII. Denial and Appeal Procedure.

A. If the Planning Director or his designee finds that the proposed project has not properly addressed one (1) of the review criteria listed in Section V of this article or there are other technical deficiencies identified by other City staff reviewers, and adequate resolution of the issue(s) can not be ensured by the applicant, the Planning Director or his designee shall deny the Design Review Application and state the reasons for the denial in a letter to the applicant.

B. The applicant may appeal the Planning Director's decision to the Planning Commission if that appeal, including appeal fee, is made in writing to the Planning Director within fifteen (15) days of the decision. The appeal letter shall describe the unresolved issues and describe what design solutions are proposed by the applicant. The applicant shall be notified of the date of the Planning Commission meeting to consider the appeal, a minimum of fifteen (15) days prior to the public meeting.

C. The decision of the Planning Commission shall be final unless an appeal to the City Council is made by the applicant in writing to the Planning Director within fifteen (15) days of the Planning Commission's decision. The appeal letter shall state the reasons for the appeal and be accompanied by the required fee. The applicant shall be notified of the date of the City Council meeting to consider the appeal a minimum of fifteen (15) days prior to the public meeting.

VIII. Period of Approval.

Design review approval shall be valid for a period of one (1) year from the date of approval and shall become invalid if a building permit has not been issued in that time. Up to an additional one (1) year may be granted by the Planning Director upon written request by the applicant. The Planning Director shall grant the extension only upon a finding that special circumstances prevented the applicant from obtaining a building permit, and that no changes in City ordinances have occurred which would significantly alter the previous design review approval.

Appendix B. Performance Standards.

The following restrictions shall apply to all properties within this district:

- A. Outdoor sales and display are prohibited, except where one (1) or more of the following conditions are present:
 - 1. Products and services displayed outdoors are customary, accessory, and incidental to those sold and displayed in a primary business being conducted in a permanent building on the property.
 - 2. Outdoor sales and displays do not interfere with pedestrian access ways, fire lanes, required parking spaces, driveways, landscape areas, or traffic visibility at driveway entries and street intersections.
- B. All retail and service activities must be within an enclosed building except automotive service stations, parking lots, drive-ins or drive-thru facilities, amusement and recreational uses, and plant material nurseries.
- C. There shall be no manufacturing, compounding, processing or treatment of products other than that which is clearly incidental to a retail store or business, and where all such completed products are sold at retail on the premises.

Appendix C. Landscaping, Buffering, Walls.

I. Walls.

A. The developer of property in SC, C-1, NSC, C-2, CSC, C-3, B-P, M-1, or M-2 districts which abuts any residential district must provide a wall with a minimum height of eight (8) feet along the abutting property line. The wall must be at least eight (8) inches thick and constructed of decorative block or other finish approved by the Planning Director, consistent with the project and the adjoining residential area.

1. Any loading docks within one hundred (100) feet of a residential district must have a separate eight (8) foot high wall of similar materials to screen the dock area.
2. Any wall or fence exceeding six (6) feet in height requires approval of fence construction plans to ensure structural stability.

B. The developer of properties in R-O, C-O, or G-O districts, or of any nonresidential use in any residential district which abuts any residential district, must provide a wall with a minimum height of six (6) feet along the abutting property line. The wall must be constructed of decorative block or other finish approved by the Planning Director, consistent with the project and the adjoining residential district.

C. The developer of properties in the R-2, R-3, R-4, or R-5 districts which abut any A-1, SR, or R-1 districts must provide a wall with a minimum height of six (6) feet along the abutting property line. The wall must be constructed of decorative block or other finish approved by the Planning Director, consistent with the project and the adjoining residential district.

II. Landscaping and Buffering.

A. Minimum on-site landscaping as a percentage of total site area.

1. Thirty (30) percent in R-2, R-3, R-4, R-5, R-O districts and for any nonresidential use in SR or R-1 districts.
2. Twenty (20) percent in C-O, G-O, C-1, NSC, SC, CSC, C-2, C-3, and B-P districts.
3. Five (5) percent in M-1 and M-2 districts.

B. Landscape Buffers.

1. Fifteen (15) feet where any multi-family or nonresidential use abuts a single-family district.
2. Fifteen (15) feet where any nonresidential use abuts a multifamily district.
3. Twenty-five (25) feet where any loading docks and service drives abut residential districts.

Appendix D. Accessory Buildings and Uses.

I. Accessory Buildings.

A. All detached buildings, structures, or satellite earth stations must be located behind the front wall plane of the residence with the following additional setbacks:

1. Buildings, structures, or satellite earth stations less than seven (7) feet high, unless otherwise permitted, shall maintain a minimum of three (3) feet to a side or rear property line.
2. R-1 Districts-For each foot over seven (7) feet in height, the setback for that portion of the building height over seven (7) feet in height shall be increased by two (2) feet.
3. SR Districts-For each foot over seven (7) feet in height, the setback for that portion of the building height over seven (7) feet in height shall be increased by one (1) foot.
4. Maximum height of residential accessory buildings is fifteen (15) feet except in A-1 and SR districts which have a maximum building height of twenty (20) feet.
5. Any accessory building or structure, unless otherwise permitted, must maintain a minimum of ten (10) feet set back from the principal building or any other accessory structure.
6. Maximum height of an amateur radio tower is seventy-five (75) feet.
7. Fireplaces may encroach into the front, side, and rear setbacks a maximum of two-and-one-half (2 1/2) feet.
8. Bay windows may encroach into front, side, and rear setbacks a maximum of two-and-one-half (2 1/2) feet for a distance not to exceed ten (10) feet on any building elevation. The bay window must maintain a minimum of five (5) feet separation between it and any property line.

Appendix E. Off-Street Parking.

I. Purpose.

- A. To provide adequate parking to meet the needs of residents, employees, and business patrons.
- B. To prevent excess unused parking areas which encourage reliance on the automobile and discourage pedestrian use.
- C. To reduce the scale of parking areas through landscaping and by breaking them into smaller areas.

II. General Requirements.

- A. Each parking space shall be at least ten (10) feet wide and twenty (20) feet deep, except that parking spaces at an angle of sixty (60) degrees or less may be nine (9) feet wide.
- B. Other requirements of aisle widths are contained in the City of Glendale Engineering Design Guidelines.
- C. All parking spaces and driveway areas serving such parking spaces shall be surfaced with concrete, asphalt, or paving blocks.
- D. Required parking shall be provided on-site or on contiguous lots.
- E. Square feet shall mean the gross floor area of the building.
- F. No part of any vehicle may overhang into a public sidewalk or within five (5) feet of a street curb where no sidewalk exists.
- G. All parked vehicles must comply with unobstructed view easement and sight distance requirements as identified in the City of Glendale Engineering Design Guidelines.
- H. Parking of commercial vehicles in residential districts is limited to one (1) commercial vehicle with a one (1) ton chassis, having a capacity of not more than ten thousand (10,000) pounds gross vehicle weight rating (GVWR).
- I. Landscaping and screening of parking lots shall be in accordance with the City of Glendale Landscape Ordinance.
- J. Parking lots shall be designed in groupings no larger than 200 spaces. Larger lots shall be divided by buildings, plazas, or significant landscaped area oriented for pedestrian use.

K. The parking or storage of construction related equipment, such as dump trucks, utility trailers, flatbed hauling trailers, cement mixers, ditch diggers, etc., shall be permitted for forty-eight (48) hours in a thirty (30) day period in a residential district, unless prohibited by City ordinances. It is prohibited to have more than two (2) pieces of equipment on the property at one (1) time or to bring such equipment in for repairs or preventative maintenance. The only exception to this regulation would be when on-site construction is being performed by such equipment.

III. Parking Requirements by Use.

USE	MINIMUM # OF SPACES	MAXIMUM # OF SPACES
Auditorium, Stadium, Public Assembly, Private Clubs, Health Clubs, Theaters	1:100 sq. ft. or 1:5 seats	no maximum
Banks, Financial Institutions	1:250 sq. ft.	1:200 sq. ft.
Barber Shop or Beauty Shop	1:100 sq. ft.	no maximum
Churches	1:5 seats or 90 lineal inches of pew space	no maximum
Cocktail Lounge	1:100 sq. ft.	no maximum
Home Furnishings, Major Appliances	1:500 sq. ft.	1:400 sq. ft.
Manufacturing/Assembly Wholesale/Warehouse	1:600 sq. ft.	1:300 sq. ft.
Mixed Uses	To be determined by Planning Director.	
Motels/Hotels Restaurant/Bar Banquet/Meeting Rooms	1:room 1:200 sq. ft. 1:200 sq. ft.	no maximum no maximum no maximum
Office, General, Professional Medical/Dental	1:300 sq. ft. 1:150 sq. ft.	no maximum no

		maximum
Indoor Recreation Facility Amusement Center, Arcades Batting Cages Bowling Alley	1:100 sq. ft. 1:cage 4:lane plus accessory uses if separate outside entrances are provided.	no maximum no maximum no maximum
Outdoor Recreation Golf Driving Ranges Miniature Golf Courses Skating Rinks	1:tee space (10 lineal feet) 1:hole 1:200 sq. ft. 1:200 sq. ft.	no maximum no maximum no maximum no maximum
Regional Malls	1:225 sq. ft.	1:180 sq. ft.
Restaurant-freestanding	1:100 sq. ft.	no maximum
Retail/Shopping Center (including up to 10% restaurant, health club, beauty shops . . . additional percentages calculated at rate for each use)	1:250 sq. ft.	1:200 sq. ft.
Retirement/Senior Housing/ Convalescent/Nursing/Congregate Care Home	.4:unit	no maximum
Schools Elementary Jr. High High School College Vocational/Technical	2:classroom or largest single public assembly area, whichever is greater. 3:classroom or largest single public assembly area, whichever is greater. 7:classroom or largest single public assembly area, whichever is	no maximum no maximum no maximum no maximum no

	greater. 10: classroom or largest single public assembly area, whichever is greater. 1:2 students	maximum
--	---	---------

IV. Drive-Thru Requirements.

Notwithstanding any other provision of this section, additional vehicle storage spaces shall be provided for all uses having vehicle pick-up windows as follows:

- A. A drive-thru lane with a minimum storage for six (6) vehicles shall be provided at twenty (20) feet per vehicle for all convenience uses except pharmacy related drive-thru lanes
- B. A pharmacy related drive-thru lane shall have a minimum storage for three (3) vehicles within twenty (20) feet per vehicle.
- C. The drive-thru lane shall not encroach upon or block driveways or parking spaces.

Appendix F. Standards for Uses Subject to Conditions.

I. Generally.

Applications for administrative reviews as authorized in the Zoning Ordinance or Amendments thereto, shall be filed on an application form with the required documentation specified on guidelines provided by the Planning Department with appropriate fees.

II. Seasonal Sales and Special Events.

Temporary sales or display of goods or special events are allowed only if they are related to a particular seasonal, cultural, traditional, or community activity or event for a period not to exceed thirty (30) calendar days, as determined by the Planning Director. In making a determination, the Planning Director shall consider the following criteria:

A. The nature, scope, location, and manner of operation of the activity or event does not constitute a health or safety hazard to the public.

B. The goods or services displayed are customarily and traditionally related to a widely celebrated or observed seasonal or other activity, event, or holiday.

C. The goods and services are displayed in connection with fund raising or other activities by a school, church, social agency, or other community or nonprofit organization.

D. The activity or event is consistent with other uses permitted in the zone district.

E. The use does not interfere with pedestrian access-ways, fire lanes, driveways, landscape areas, or traffic visibility at driveway entries and street intersections.

F. Parking on the property is adequate to serve any existing permanent uses and the seasonal sale or special event use.

III. Wireless Communication Facilities.

A. Rooftop Mounted Antennas.

1. Roof mounted antennas may exceed the maximum height of the zoning district but shall not extend more than ten (10) feet above the existing building height.

2. The antenna array scale and visibility shall be minimized.

3. Equipment shelters may locate on the building roof if screened from view of surrounding properties.

B. Building Mounted Antennas.

1. Antennas shall not extend above the height of the wall on which they are located or integrated.

2. Antennas shall not project more than twelve (12) inches from the existing building wall.

3. Equipment shelters may locate on the building roof if screened from view of surrounding properties.

C. Alternative Tower Structure.

1. The maximum additional height permitted by extension of an existing pole or by replacement pole is fifteen (15) feet.

2. The maximum increase in pole diameter from the existing pole by the replacement pole is fifty (50) percent.

3. The maximum width of the antenna array shall be four (4) feet.

Appendix G. Wireless Communication Facilities.

I. General Provisions.

A. All wireless communication facilities shall have an identification plaque no larger than 12 inches by 12 inches permanently affixed which clearly identifies the name, address, and emergency phone number of the provider. No other identification or sign as defined by the Zoning Ordinance is permitted on monopoles or related facilities.

B. The minimum setbacks for the zoning district shall apply to all towers, equipment shelters, and accessory buildings. The dimensions of the entire lot or parcel shall apply and not the dimensions of the leased area.

C. Adequate screening from off-site views shall be required as determined at the time of Design Review.

D. Any monopole, tower, or alternative tower structure which is not in use for six (6) months shall be removed by the property owner. The removal shall occur within ninety (90) days of the end of such six (6) month period. If the alternative tower structure includes an extension or replacement of the original structure, the structure shall be returned to the original height and condition.

II. Monopoles.

A. New monopoles must be separated by a minimum distance of one-quarter ($\frac{1}{4}$) mile from any other monopole.

B. Monopole must be setback from residential zoned properties a minimum distance of twice the height of the height of the tower.

C. Monopoles must be setback from any arterial or major arterial street a minimum of one hundred and fifty (150) feet.

D. Monopole towers and antennas shall not be illuminated or display warning lights unless required by the Federal Aviation Administration or other federal or state authority.

E. Any access road to a monopole site shall be paved.

F. One (1) paved parking space shall be provided on site unless otherwise provided on adjacent property.

G. All new monopoles over fifty (50) feet in height shall be constructed to allow for collocation by other wireless providers. The applicant shall demonstrate that the engineering of the tower and the placement of ground mounted facilities will

not preclude other providers. The owner of the proposed tower must certify in writing that the tower will be available for use by other wireless communication providers on a economically reasonable and non-discriminatory basis.

III. Amendments to Existing Monopoles.

A. Existing monopoles include all wireless related monopoles or towers approved or amended through the special use district (SUD) prior to May 28, 1998.

B. An amendment to existing monopole is required to add additional antennas, add height to the monopole, replace the monopole with a larger pole, or add additional ground equipment to the facility.

C. Any amendment to an existing monopole requires approval of a conditional use permit..

Appendix H. Landscaping.

I. Definitions.

The following words, terms and phrases, when used in this chapter, shall have the meanings ascribed to them in this section, except where the context clearly indicates a different meaning:

Director: The planning director within the community development department, or his designated representative.

Landscape materials: Any materials used for the purpose of landscape improvement which may include, but shall not be limited to, the following: trees, shrubs, groundcovers, turfs, vines, walkways, berms, stone groundcover materials, sculptures, foundations, irrigation equipment, street furniture, outdoor lighting, fences and walls.

Landscape plan: A graphic representation of the development site indicating the location of all existing and proposed landscape improvements to be present on the site at the completion of the construction of the project. Such landscaping plan shall consist of preliminary and final plans as set forth herein.

Landscaping: An exterior improvement of property in accordance with an approved landscape plan and utilizing approved landscape materials.

Screening wall: A solid wall designed and constructed so as to conceal areas used for refuse, mechanical equipment, parking, and service and loading bays from street and public view, and to separate potential incompatible land uses.

Turf-related facility: A school, park, cemetery, golf course or common area of a housing development that applies water from any source, including effluent, to a water-intensive landscaped area of ten (10) acres or more.

Water-intensive landscaped area: An area of land that is watered with a permanent water application system and planted primarily with plants not listed on the Arizona Department of Water Resources, Phoenix Active Management Area Low Water Using Plant List and the total surface area of all bodies of water filled or refilled with water from any source, including effluent, that are an integral part of the landscaped area. Bodies of water used primarily for swimming purposes are not an integral part of a landscaped area.

II. Purpose and intent; regulations authorized.

The purpose of this chapter is to provide standards and requirements for the installation of landscaping and screening walls for all new and expanded development within the city in order to promote the general welfare of the community; to effectuate attractive and logical development; to aid in the enhancement of property values; to create an attractive appearance along city streets; to compliment the visual effect of buildings; to provide appropriate buffers between incompatible land uses and protection from intense activities; and to aid in conserving water by encouraging the use of varieties of plants, trees and shrubs indigenous to arid regions which are characterized by low-water

consumption. The standards and regulations of this chapter shall be held to be the minimum requirements necessary for the promotion of the foregoing objectives of this chapter. In those instances where the minimum standards and requirements are not sufficient to achieve the purpose and objectives of this chapter, the director may impose such other reasonable requirements as may be deemed appropriate.

III. Scope.

The provisions of this chapter shall apply to all development or construction, all building remodeling, alterations, additions, or expansions, and to all changes of occupancy in the use or development of land which requires the approval of a development site plan or subdivision plat by the city. Agricultural uses and single-family and two-family residences and their accessories shall be exempt from the requirements of this chapter.

IV. Compliance.

Preliminary and final landscape plans shall be prepared in accordance with the standards and requirements set forth in this chapter, and shall be submitted and approved in accordance with the procedures set forth in this chapter.

V. Variances.

Where, in the opinion of the director, there exists extraordinary conditions of topography, land ownership, site boundaries and dimensions, adjacent development characteristics or other circumstances not provided for in this chapter, the director may modify or vary the strict provisions of this chapter in such a manner and to such an extent as is deemed appropriate to the public interest, provided that the purpose and intent of this chapter is maintained with such modification or variance.

VI. Enforcement and notice of violations.

This chapter shall be enforced by the director or his duly authorized representative. The director shall have the authority to enter upon the premises, or any part thereof, at any and all reasonable times, for the purposes of performing his official duties. It is unlawful to refuse the director entry upon such premises. When any condition which would constitute a violation of the provisions of this section comes to the director's attention, he shall cause a notice thereof to be served upon the owner, lessee or other person in control of the premises. The notice shall specify the nature of the violation and shall order the responsible party to correct the violation within thirty (30) days.

VII. Penalties.

Any person in control of any premises who fails to correct a violation of this chapter within thirty (30) days after notice thereof by the director shall be liable to the city for a civil fine in the amount of one thousand dollars (\$1,000.00) for each and every day beyond such thirty-day period for which the violation remains uncorrected. The city attorney shall collect such fines by complaint filed in the city court pursuant to the procedures prescribed in the city charter.

VIII. Landscape inspections.

(a) All projects required by this chapter to be landscaped shall pass a landscape inspection prior to a certificate of occupancy being issued by the city. Such inspections shall be requested by the applicant at least twenty-four (24) hours prior to being performed.

(b) The city shall have the right to refuse to pass any project not meeting the provisions of this chapter. The city shall also have the right to reject landscape materials as being substandard as to size, condition or appearance including a pre-inspection of materials at the supplier if deemed necessary.

IX. Required landscape maintenance.

(a) With respect to every lot, parcel, or tract of land within the city containing a use for which the provisions of this chapter apply, every owner, lessee, or any other person having the lawful right to possession and control of such premise shall:

(1) Maintain all landscape materials and landscaped areas in accordance with the approved landscape plan, including the required frontage street right-of-way landscaping. Such landscaped areas shall be kept free of trash, debris, weeds, and dead plant material, and shall in all respects be maintained in a neat and clean fashion.

(2) Replace all dead or removed plants with plants of the same variety, and in the size and quality as those removed.

(b) The city shall accept responsibility for the maintenance and operation of all required landscaping and appurtenances for reverse street frontage landscaping or any landscaping and appurtenances installed within other street rights-of-way, which rights-of-way are described by one of the following categories:

(1) Arterial and/or secondary street rights-of-way adjacent to single-family residential areas that back onto the arterial and/or secondary street, and have a screening wall constructed on the rear property line.

(2) Arterial street rights-of-way adjacent to single-family residential areas that side onto the arterial street, and which have a screening wall constructed on the side property line.

(3) Bridle trails, bicycle paths and multi-use recreational facilities within city limits.

(4) Median islands on arterial and secondary public streets within the city.

(5) All alleys within city limits.

- (6) Street rights-of-way abutting municipal public facilities.
- (7) Street landscaping within districts specially approved or created by city council.
- (8) Flood control facilities which have been accepted for operation and maintenance by the city.
- (c) Prior to the city accepting for maintenance any reverse street frontage landscaping or other street right-of-way landscaping described in the foregoing subparagraph (b), the following conditions shall have been satisfied:
 - (1) The landscaping shall be inspected and approved by the city for compliance with the approved landscape plan.
 - (2) The subsequent completion of a sixty-day maintenance period wherein the developer shall be responsible for all watering, weeding, and replacement of all dead or dying plant materials.
 - (3) A final inspection called by the developer or his representative at the completion of the sixty-day maintenance period resulting in final approval and acceptance by the city.

X. LANDSCAPE PLAN

1. Generally.

- (a) A landscape plan consisting of a preliminary plan and a final plan shall be prepared, submitted, and approved for all applicable development projects in accordance with the procedures and requirements set forth in this article.
- (b) All changes in landscape plans before, during, or after preliminary or final landscape plan approval shall be approved by the director prior to the installation of any such landscape change.
- (c) All changes in the landscaping of a site before, during or after final landscape plan approval and landscape installation shall be approved by the director as set forth in this article.

2. Preliminary landscape plan.

- (a) Two (2) copies of a preliminary landscape plan shall be submitted along with the required development site plan for review by the director. The preliminary landscape plan may be shown on the development site plan drawings. The preliminary landscape plan shall be a conceptual plan and shall include the following information in generalized form:
 - (1) The location and identification of all proposed landscape area (on-site, street right-of-way, parking area, landscape buffers and others.)
 - (2) Preliminary data pertaining to the amount of net site area, the ground floor areas of all proposed industrial buildings, the number of required and proposed parking spaces, and the amount of all proposed landscaped areas, required and provided.
 - (3) The approximate location of all proposed trees, shrubs, and other landscape materials and improvements.

(4) Notes or graphical representations adequately showing the intent of the proposed plans and materials and indicating how those plans will comply with this chapter.

(5) The location, height, type, and general design and finish of all proposed screening walls.

(6) The location of all proposed stormwater retention areas.

(b) The preliminary landscape plan shall be reviewed and approved by the director as part of the development site plan review, and may be approved with stipulated changes or additions.

3. Final landscape plan.

(a) Two (2) copies of a final landscape plan shall be submitted along with all other required site improvement and building plans at the time of application for a building permit. The final landscape plan shall contain the final calculations, data, and specific details and information of all proposed landscaped areas, landscape materials, screening walls, irrigation system, and other items that were required and identified in conceptual form on the preliminary landscape plan. The final landscape plan shall contain a specific schedule of all trees and shrubs identified by common and botanical name, and shall clearly indicate the quantity and size of each tree and shrub to be installed.

(b) The final landscape plan shall be in conformance with the approved preliminary plan and any stipulated changes or additions, and shall be approved by the director prior to the issuance of a building permit.

XI. Design Standards and Requirements

A. Generally

1. Installation of landscape improvements prerequisite to certificate of occupancy; bond to secure installation.

All landscape improvements (landscape materials, irrigation system, screening walls, et.) shall be installed by the developer on the site in accordance with the approved final landscape plan prior to the issuance of a certificate of occupancy for the building or use. When considered advisable, upon presentation of a cash bond, cash deposit, or assured letter of credit in an amount sufficient to guarantee installation of the landscaping and irrigation system, the director may approve a delay in the immediate installation of the required landscape improvements for a period of time not to exceed six (6) months. In those instances where the director approves a delay in the installation of the required landscape improvements, a temporary certificate of occupancy shall be issued for the building or use conditioned upon the satisfactory installation of the required landscape improvements within the time period approved by the director.

2. Minimum size of trees, shrubs, etc., and substitution of cover for shrubs.

(a) Unless otherwise specified herein, all required trees shall be a minimum of fifteen (15) gallons in size and at least fifty (50) percent of those trees must be twenty-four (24) inch box or larger size. All shrubs shall be a minimum of five (5) gallon in size. All fifteen-gallon trees must be a minimum of eight (8) feet in height, four (4) feet in spread and one and one-quarter-inches trunk caliper at the ground level. All twenty-four-inch box and larger trees shall be a minimum of ten (10) feet in height, six (6) feet in spread and two-inch trunk caliper at the ground level. Upon approval of the director, the installation of twenty (20) square feet of vegetative groundcover in any landscaped area shall substitute for one (1) required shrub, up to a maximum of thirty (30) percent of the required shrubs in any particular landscaped area.

(b) All Mexican Fan Palms (Washington Robusta), California Fan Palms (Washingtonia Filifera), and Queen Palms (Cocos Plumosa) shall have a minimum five-foot trunk height measured from the base of the trunk to the base of the fronds when located within the public right-of-way or within fifty (50) feet of the street property line.

3. Natural topping of landscaped areas.

All landscaped areas shall be finished with a natural topping material which may include, but not limited to, the following: turf, groundcover, planting, decomposed granite (two (2) inches minimum depth), river run rock, expanded shale, or bark. A pre-emergent herbicide shall be applied to the ground prior to the placement of natural surface materials (decomposed granite, river run rock, etc.) in any landscaped area to prevent weed growth.

4. Landscaped area along street frontage.

Landscaped areas along street frontages shall be contoured or bermed to provide variations in grade, visual relief, parking lot screening, and a more pleasing aesthetic value. All on-site parking areas shall be screened from street view by a landscaped berm or decorative wall not less than four (4) feet in height. The required height of the berm or wall shall be measured from the highest finished grade of the adjacent on-site parking area or adjacent finished grade of the street, whichever is greater.

5. Irrigation standards.

All landscaped areas shall be supported by an automatic irrigation system which may be a spray, flood, soaker, or drip type system. A pressure-type vacuum breaker shall be required with the installation of all sprinkler systems. All irrigation systems and landscaped areas shall be designed, constructed, and maintained so as to promote water conservation and prevent water overflow or seepage into the street, sidewalk, or parking areas.

6. Obstructions to visibility on public right-of-way.

All landscaping and landscaping materials installed on public right-of-way or on private property in proximity to a driveway or street intersection shall be installed and maintained in compliance with the sight visibility requirements set forth in the City Code and the City of Glendale Design Guidelines for Site Development and Infrastructure Construction

7. Protection of landscaped areas from vehicular damage.

Permanent containment barriers (concrete curbs or bumper guards) shall be installed and properly secured within or adjacent to all proposed parking areas and along all driveways and vehicular access ways to prevent the destruction of landscape materials by vehicles.

8. Compliance with street landscape master plan.

All street right-of-way landscaping shall conform to the city's street landscape master plan, and shall contain plant materials listed in that master plan.

9. Screening walls.

(a) A screening wall constructed to a minimum height of six (6) feet from the finished grade of the site and designed and constructed in accordance with the provisions of this section shall be required along all property lines of a site developed for multiple-family residential, commercial, or industrial uses when such property lines are contiguous with or separated only by an alley from a residential development or a residential zoning district; except that no such screening wall shall be required for multiple-family residential contiguous with other multiple-family development or a multiple-family residential zoning district.

(b) All outdoor storage areas for materials, refuse containers, mechanical equipment, or vehicles, and all loading/unloading areas or service bays shall be screened from street view by a screening wall constructed to a minimum height of six (6) feet and designed in accordance with the provisions of this section.

(c) All screening walls located along streets in accordance with sections A.4 and C.6 shall be designed and constructed in accordance with the provisions of this section.

(d) All screening walls required by the provisions of this article shall be designed and constructed:

(1) Of brick, slump block, or masonry with a stucco finish of a suitable color and design as approved by the director;

(2) To break up the lineal expanse of such walls with a staggered centerline, pilasters, three-wall enclosures, varying heights, the installation of extra plant materials, or varying the landscaped area contours to improve the visual impact of the wall; and

(3) In accordance with the height, location, and sight visibility at street intersection requirements set forth in the zoning ordinance and the City Code.

B. Required Landscaped Areas

1. Use of landscape areas for other purposes.

No part of any landscape area shall be used for any other use such as parking, signs, or display; except for required on-site retention areas or when such use is shown on the approved final landscape plan.

2. On-site landscaped areas.

All development projects covered by section XI hereof shall provide on-site landscaped areas located in accordance with the following standards and requirements:

(1) For all development within the industrial zoning districts, landscaped areas shall be provided on the site in an amount equal to or greater than ten (10) percent of the ground floor area of all buildings, or five (5) percent of the net site area, whichever is greater.

(2) For all developments within the multi-family residential zoning district, landscaped areas shall be provided on the site in an amount equal to or greater than twenty (20) percent of the net site area; and shall be increased by ten (10) percent for each additional floor over one story high to a maximum of fifty (50) percent of the net site area.

(3) For all development within all other zoning districts, landscaped areas shall be provided on the site in an amount equal to or greater than twenty (20) percent of the net site area.

(4) A landscaped area not less than an average width of twenty (20) feet throughout a particular street frontage in width shall be established and maintained along all street frontages between any building, on-site parking area or outdoor storage area and the nearest point of the existing or future required street/sidewalk improvements (the back of an existing sidewalk, the line equal to the back of a future required sidewalk, or the back of the street curb where no sidewalk is required). However, for reverse street frontage the landscape widths shall be in accordance with adopted street cross-section designs. The area of this landscape strip may be used to satisfy, to the extent provided, the on-site landscaped area and street right-of-way landscaping area requirements set forth in this section.

(5) All portions of a development site not occupied by buildings, structures, vehicle access and parking areas, loading/unloading areas, and approved storage areas shall be landscaped in accordance with the provisions of division 3 of this article. Future building pads within a phased development shall be improved with temporary landscaping, or otherwise maintained weed-free in such a manner as may be approved by the director.

3. Street right-of-way landscaping.

The landscaping of all street rights-of-way contiguous with the proposed development site not used for street pavement, curbs, gutters, sidewalks, or driveways shall be required in addition to the on-site landscaped areas required in section B.2 hereof.

4. Landscape buffers.

A minimum ten-foot-wide landscape buffer shall be required along those property lines of a site developed for multiple-family residential, commercial, or industrial uses when such property lines are contiguous with, or are separated only by an alley, from any residential development or residential zoning district; except that no such landscape buffers shall be required for multiple-family residential contiguous with other multiple-family development or a multiple-family zoning district. The area of this landscape buffer shall not be used to satisfy the landscape area requirements of section B.2.

5. Parking area landscaping.

On-site parking areas for all applicable development projects shall contain at least one (1) landscaped planter, not less than two hundred (200) square feet in area and with a minimum width of five (5) feet measured from back of curb to back of curb, for every ten (10) parking spaces provided on the site. No shrubs within a planter island of an on-site parking area shall be maintained to a height in excess of three (3) feet, and all trees within such planters shall maintain a minimum clearance of five (5) feet from the lowest branch to the adjacent grade elevation. The required number of landscape planters shall be distributed or located within the parking areas to enhance the proposed development project. The landscaped area within these planters may be used to satisfy, to the extent provided, the landscaped area requirements set forth in section B.2.

6. Non-residential landscaping.

(a) The amount of water-intensive landscaped area in new non-residential facilities, other than schools, parks, cemeteries or golf courses shall be limited to no more than twenty percent (20%) of the landscaped area in excess of ten thousand (10,000) square feet for facilities other than hotels and motels, and to no more than twenty percent (20%) of the landscaped area in excess of twenty thousand (20,000) square feet for hotels and motels. This requirement is waived if the new non-residential facility applies water which is one hundred percent (100%) effluent to the landscaped area.

(b) All turf-related facilities that apply water from any source, including effluent, to a water-intensive landscaped area of ten (10) acres or more are subject to the water conservation requirements of the second management plan for the Phoenix Active Management Area administered by the Arizona Department of Water Resources.

C. REQUIRED LANDSCAPE IMPROVEMENTS

1. Street frontages.

(a) The installation of street trees, shrubs, and vegetative groundcover shall be required for all applicable projects in an amount equal to or greater than one (1) tree and three (3) shrubs for each thirty (30) feet of street frontage, and

vegetative groundcover occupying a minimum of sixty (60) percent of the total street frontage landscaped area. This minimum quantity of trees, shrubs, and vegetative groundcover shall be located in the street right-of-way landscaped area required in section B.3 hereof, or within the front twenty-five (25) feet of the on-site landscaped areas required in section B.2 hereof, and shall be designed and located to enhance the proposed development project and the streetscape.

(b) All street frontage landscaping located adjacent to driveway exits and street intersections shall be designed, installed, and maintained in accordance with the height, location, and sight visibility at street intersection requirements as set forth in the City Code.

2. Multiple-family residential developments.

All multiple-family residential developments shall contain a minimum of one (1) tree and two (2) shrubs for each dwelling unit. For two-story buildings and above, seventy-five (75) percent of all required trees shall be twenty-four (24) box or larger in size. In addition to the foregoing requirement, one (1) tree and two (2) shrubs shall be required within each planter island established within an open parking area as required by section B.5.

3. Industrial developments.

All development within the industrial zoning districts shall contain a minimum of one (1) tree and three (3) shrubs for every five (5) parking spaces provided on the site.

4. Commercial and other developments.

All developments within the commercial zoning districts and all other applicable development projects not specified in sections C.2 and C.3 hereof shall contain a minimum of two (2) trees and five (5) shrubs for every three (3) parking spaces provided on the site.

5. Landscape buffers.

The landscape buffer areas required in section B.4 hereof shall be improved with a minimum of one (1) screening tree spaced at each fifteen-foot interval of the property boundary being screened.

6. Reverse street frontage landscaping.

All developments that back or side onto a street and which have a six-foot screening wall constructed on the property line shall install within the street right-of-way contiguous with the property three (3) water conserving variety shrub and one (1) water conserving variety tree for every thirty (30) feet of such reverse street frontage. All such trees and shrubs shall be provided with an automatic drip or soaker irrigation system. Ground cover shall be one-quarter inch minus decomposed golden granite without plastic liners. A pre-emergent herbicide shall be applied to the ground prior to and after the placement of natural surface materials (decompose granite, river run rock, etc.) in any landscaped area to prevent weed growth. The foregoing requirement shall apply in lieu of the street

frontage landscape improvements required in section C.1 for those applicable street frontages.

7. Cumulative totals.

Quantities of plants required by each of the sections C.1 through C.6 which apply to that project submitted to the city for landscape approval shall be added together to calculate the minimum total quantity of plant materials required for that particular project.

D. Urban Forestry

1. Findings.

Trees provide a benefit to the community by assisting in the abatement of particulates and other air pollutants, enhancing the visual image of the community and abating noise pollution.

2. Purpose.

This is intended to promote and protect the public health, safety and general welfare by providing guidelines for the protection, maintenance and management of tree resources within the City of Glendale.

3. Administration.

This article shall be administered by the deputy city manager of public works with the assistance and advice of the city's interdepartmental urban forestry committee.

4. Applicability.

This article provides authority for the maintenance of trees located within the rights-of-way, parks, and public places of the city, and trees located on private property which constitute a hazard or threat as described herein.

5. Definitions.

The following words, terms and phrases, when used in this article, shall have the meanings ascribed to them in this section, except where the context clearly indicates a different meaning:

Administrator: The deputy city manager for public works of the City of Glendale.

Committee: The City of Glendale interdepartmental urban forestry committee which shall be comprised of city staff members appointed by the city manager.

Park trees: Trees in public parks, or areas to which the public has free access as a park, and all other areas owned by the city other than right-of-way.

Street trees: Trees on public lands lying within the rights-of-way of all streets, avenues, boulevards, roads or ways within the city.

Urban forestry plan: The City of Glendale community urban forestry plan adopted by the city council.

6. Urban forestry plan.

The committee shall develop and submit to the administrator an urban forestry plan. The administrator shall forward the urban forestry plan to the city council for review and adoption by resolution. The urban forestry plan shall not conflict, or be inconsistent, with other ordinances of the city and shall contain the following:

- (a) International Society of Arboriculture specifications for street trees and park trees.
- (b) The type and kind of trees which may be planted within city rights-of-way and parks.
- (c) Requirements for the care, preservation, pruning, planting, replanting, removal or disposition of street trees and park trees.
- (d) Guidelines for the location and spacing of street trees and park trees.
- (e) A plan for fostering community support for the urban forestry plan and encourage good tree management on privately-owned property.

7. Maintenance-Street trees and park trees.

The city shall have the right to plant, prune, replace and maintain all street trees and park trees as may be necessary to insure public safety or to preserve or enhance the symmetry and beauty of public grounds. The administrator may remove or order to be removed, on city-owned property, any tree or part thereof which is in an unsafe condition or which is injurious to sewers, sidewalks, electric power lines, gas lines, water lines, or other public improvements, or is infected with any injurious insect, pest or disease.

8. Planting, removing or cutting trees on public property.


No person shall plant, remove, cut above the ground, or disturb any tree within any city right-of-way, park or other public place without first obtaining a permit from the administrator. The person obtaining the permit shall abide by the standards set forth in this article.

9. Posting of signs, letters, reflectors or other items.

It shall be unlawful for any person to nail, or affix by stapling, gluing, or any other manner, any sign, letter, reflector, number or other item to, or on, any street tree or park tree within the city limits.

10. Pruning of trees on private property.

Every owner of any tree overhanging any street or right-of-way within the city shall prune the branches so that such tree shall not obstruct the view of any street intersection or interfere with persons utilizing the sidewalk or street. Said owners shall remove all dead, diseased or dangerous trees or broken or decaying limbs which the administrator determines constitutes a hazard or danger to the safety of the public. If the owner fails to remove such trees or limbs




within the time period provided in the notice by the city, or if an immediate hazard exists by virtue of such tree or limbs, the city shall have the right, at the expense of the property owner, to prune or remove any tree or shrub upon private property when it interferes with the proper spread of light along the street from a street light, interferes with the visibility of any traffic control device or sign, or otherwise poses a threat to the public safety as determined by the administrator. The costs of pruning or removing such hazardous tree or limbs from the public property or right-of-way shall be assessed against the property owner and shall constitute a lien on the property until paid.

11. Penalties.

Any person found guilty of violating any provision of this article shall be guilty of a misdemeanor and, upon conviction, shall be punishable by a fine and/or imprisonment not to exceed the maximum set for class one misdemeanors by the Arizona Legislators in Title 13 of the Arizona Revised Statutes.

12. Severability.

If any section, subsection, sentence, clause, phrase or portion of this article or any part of the Code adopted herein by reference is for any reason held to be invalid or unconstitutional by the decision of any court of competent jurisdiction, such decision shall not affect the validity of the remaining portions thereof.



Appendix I. Outdoor Light Controls.

I. Purpose and intent.

This chapter is intended to restrict the permitted use of outdoor artificial illuminating devices, control light trespass, minimize the detrimental effect artificial outdoor lighting has on astronomical observations and encourage good lighting practices such that lighting systems are designed to conserve energy and costs, while providing for nighttime safety, utility, security and productivity.

II. Conformance with applicable codes; conflict.

(a) All outdoor artificial illuminating devices shall be installed in conformance with the provisions of this chapter and any building code now in effect or which may hereafter be enacted.

(b) If any provision of this chapter conflicts with any other section of this Code or any other ordinance of the city, the provisions of this chapter shall govern.

III. Approved materials and methods of installation; new technology.

(a) The provisions of this chapter shall not prevent the use of any alternate material or method of installation not specified in this chapter, or new lighting technology. The alternate must be approved by the city engineer prior to its use within the city.

(b) The city engineer may approve any alternate material or method of installation or new lighting technology if he finds such material, method or technology:

(1) Provides approximate equivalence to those specific requirements of this chapter; or

(2) Satisfactorily complies with the intent of this chapter.

IV. Definitions.

The following words, terms and phrases, when used in this chapter, shall have the meanings ascribed to them in this section, except where the context clearly indicates a different meaning:

Filtered: The use of an outer lens which services to control the spectral distribution from a light source. The outer lens shall be glass, acrylic or some other translucent enclosure. Quartz glass does not comply with this requirement.

Individual: Any private individual, tenant, lessee, owner, or any commercial entity, including but not limited to companies, partnerships, joint ventures or corporations.

Installed: The initial installation of outdoor light fixtures defined herein.

Outdoor light fixtures: Outdoor artificial illuminating devices, lamps and other devices, permanent or portable, used for illumination or advertisement. Such devices shall include, but shall not be limited to, search, spot or flood lights for buildings and structures, recreational areas, parking lot lighting, landscape lighting, billboards and other signage and street lighting.

Shielded fully (fixtures): Fixtures that are shielded in such a manner that light rays emitted by the fixture, either directly from the lamp or indirectly from the

fixture, are projected below a horizontal plane running through the lowest point on the fixture where light is emitted.

Shielded, partially (fixtures): Fixtures that are shielded in such a manner that the bottom edge of the shield is below the plane of the center line of the lamp reducing light above the horizontal.

V. General requirements for shielding and filtration.

(a) All outdoor illuminating devices, except those exempt from this section by Section VII, shall be shielded as set forth below:

(1) High pressure sodium, metal halide, fluorescent, tungsten, halogen, incandescent and mercury vapor type lamp fixtures shall be fully shielded.

(2) Fluorescent type lamp fixtures used to illuminate outdoor advertising signs shall be mounted at the top of the sign structure and shall be partially shielded.

(b) A filter shall be used for all metal halide, fluorescent and mercury vapor type lamp fixtures.

(c) Other types of lamp fixtures not specified in this section, and not specifically exempt from this section by Section VII shall be shielded and/or filtered as determined by the city engineer.

VI. Restrictions and prohibitions on use of specific outdoor light fixtures.

(a) Except for emergency purposes, no person shall operate a search light within the city without obtaining a permit to do so from the city. No search light shall be operated between the hours of 11:00 p.m. and sunrise.

(b) No shielded fixture, fully or partially, shall be directed upward toward the sky.

(c) No outdoor recreational facility, public or private, shall be illuminated after 11:00 p.m. by lighting fixtures which do not comply with the provisions of this chapter, except to conclude a recreational or sporting event or other activity in progress prior to 11:00 p.m.

(d) Low wattage, unshielded lighting devices shall not be installed in a manner which will direct light into adjacent properties. Flood and spot lights shall be aimed so the high beam of the light does not exceed a point on the ground adjacent to the structure supporting the flood or spot light, the distance of said point from the structure being equal to the height of the flood or spot light above the ground.

VII. Exemptions.

The shielding and filtration requirements set forth in Section V shall not apply to the following:

(1) Low pressure sodium fixtures.

(2) Outdoor lighting fixtures installed prior to the effective date of this chapter [January 1, 1987]. However, such fixtures, when exempted, shall be extinguished, either automatically or manually, between 11:00 p.m. and sunrise. Street lights and parking lot lights installed prior to the effective date of this chapter are not required to be extinguished between 11:00 p.m. and sunrise.

- (3) Fossil fuel light, produced directly or indirectly by the combustion of natural gas or other utility-type fossil fuels.
- (4) Incandescent fixtures of one hundred fifty (150) watts or less, and other sources of seventy (70) watts or less. Tungsten halogen lamps are not considered an incandescent light source for purposes of this exemption.
- (5) Airport navigational lighting systems.
- (6) Outdoor advertising signs of the type constructed of translucent material and wholly illuminated from within.

VIII. Procedures for compliance with this chapter.

(a) Applications. Any individual applying for an electrical, building or use permit and intending to install outdoor lighting fixtures shall, as a part of said application, submit evidence to the city engineer that the proposed work will comply with the provisions of this chapter.

(b) Contents of application or submission. The submission shall contain, but shall not necessarily be limited to the following (all or part of which may be part of or in addition to the information required elsewhere in the zoning regulations upon application for the required permit):

(1) Plans indicating the location of the outdoor lighting fixture(s) on the premises and the type of illuminating devices, fixtures, lamps, supports, and other devices intended to be used.

(2) Description of the illuminating devices, fixtures, lamps, supports and other devices, etc. This description shall include, but is not limited to, manufacturers' catalog cuts and/or drawings (including sections where required) and shall include detailed photometric data.

(3) These plans and descriptions shall be sufficiently complete to enable the city engineer to determine whether compliance with the requirements of this chapter will be secured. If the city engineer is unable to make such a determination from the plans and descriptions, he may request the applicant to submit evidence of compliance by certified test reports as performed by a recognized testing laboratory. All test reports shall comply with procedures established by the American National Standards Institute (ANSI) and the Illuminating Engineering Society of North America (IES) for testing of luminaries.

IX. Violations.

(a) A violation of this chapter shall be a civil infraction and a fine of three hundred dollars (\$300.00) a day shall be imposed for each day the violation exists after expiration of the abatement period provided for in this section.

(b) When a violation of this chapter is discovered by the city, a notice of violation shall be served upon, or sent by certified mail to, the owner, lessee or other person in control of the premises. The notice shall specify the nature of the violation and shall order the responsible party to abate the violation within thirty (30) days after receipt of the notice.

X. Effective date; application; non-conforming devices.

(a) The provisions of this chapter shall become effective on January 1, 1987.

(b) Outdoor light fixtures installed prior to January 1, 1987, shall not be altered, replaced, relocated or recreated unless brought into compliance with this chapter. This provision shall not apply to reasonable and normal repairs and maintenance to the fixtures which are necessitated by ordinary wear, weather or accident. In addition, no change in use, replacement, structural alteration or restoration shall be permitted for any fixture which has not been used for a period of twelve (12) consecutive months, unless it is brought into compliance with this chapter.



Dignity Health West Valley Medical Facility

Color Site Plan / MOB Location Study

11.07.13

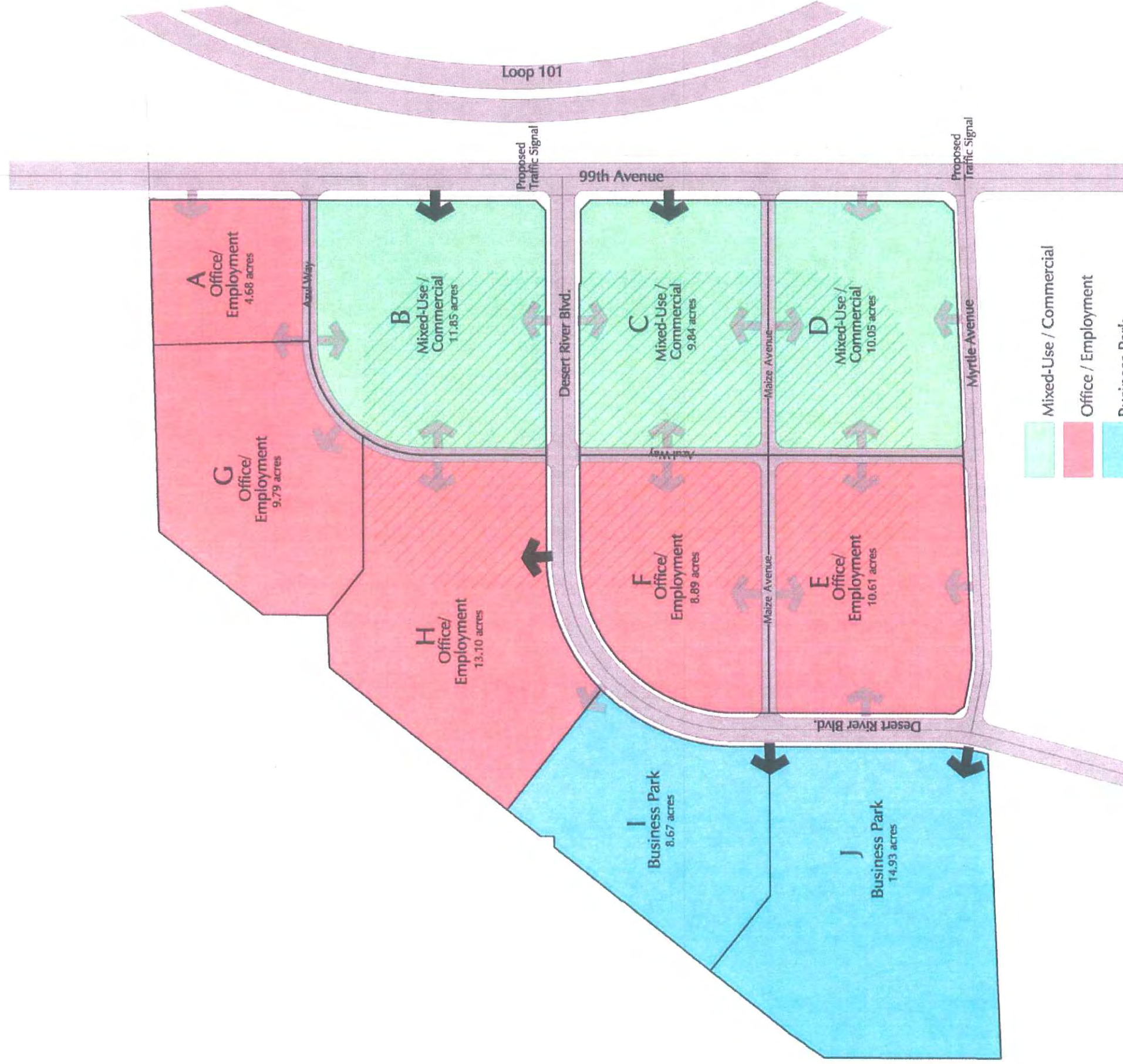
Devenney Group Ltd., Architects
201 W. Indian School Road
Phoenix, Arizona 85013

T 602.943.8950
F 602.943.7645

www.devenneygroup.com

Devenney
GROUP

To Northern Avenue



To Glendale Avenue

To Glendale Avenue



EXHIBIT D
LAND USE MASTER PLAN



7302 N 99th Avenue
ZON07-20