

GATEWAY CENTER

9970 West Glendale Avenue

A Mixed Use Project

Location:

Northwest Corner of 99th Avenue and Glendale Avenue, excepting the AM/PM Market

Case Numbers:

ZON06-03

Planned Area Development

**Rezoning from Agriculture/A-1 to
PAD/Planned Area Development**

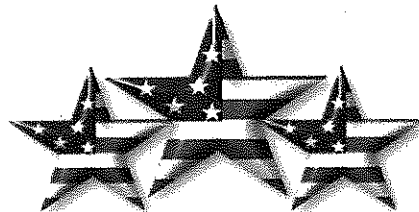
Applicant: Louis Cassise

May 1, 2007

Prepared by

Matthew Schwartz

Project Representative for Lou Cassise



General Engineering Support, LLC

PO Box 662 / Avondale, AZ 85323

Phone: (623) 374-2590

Fax: (623) 388-4574

DEVELOPMENT TEAM

MAIN PROJECT CONTACT:

Matthew Schwartz
General Engineering Support, LLC
P.O. Box 662
Avondale, AZ 85323
623-374-2590

OWNER:

Lou Cassise
Glendale 13.5, LLC
2912 W. Sierra St.
Phoenix, AZ 85029
602-548-7177

PLANNING/CIVIL ENGINEERING:

Matthew Schwartz/Thomas Johnson
General Engineering Support, LLC
P.O. Box 662
Avondale, AZ 85323
623-374-2590

ARCHITECT:

Brian Stimatze
Architecture Plus
29756 N Desert Willow Blvd
Queen Creek, Arizona 85242
480-882-9833

LANDSCAPE ARCHITECT:

Anthony Sumner/Daniel Chambers
Sandbox Development Consultants, Inc.
5009 E. Washington St., #100
Phoenix, AZ 85034
602-275-5445

LIGHTING:

Aaron Kutchinsky
Wright Engineering Corporation
165 E. Chilton Dr.
Chandler, AZ 85225
480-497-5829

SIGNAGE:

Charlie Gibson
Bootz & Duke Sign Co.
4028 W. Whitton Ave.
Phoenix, AZ 85019
602-272-9356

CONSTRUCTION:

Jeff Butler
Arizona Builders, Inc.
13216 N. Scottsdale Rd.
Scottsdale, AZ 85254
480-315-9100

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INTRODUCTION

Gateway Center is a Planned Area Development consisting of approximately 13.5 acres, which is designed to include a mixture of uses within the context of common circulation, landscape and design theme. Gateway Center is a proposed hotel/office/office condominium/restaurant development located at the northwest corner of 99th Avenue and Glendale Avenue, except the existing AM/PM Market.

The subject property is currently zoned for Agriculture (A-1). The applicant is requesting to rezone Gateway Center from Agricultural/A-1 to PAD/Planned Area Development. Once rezoned, Gateway Center will include a mixture of uses with consideration of safe pedestrian walkways, lush landscaping, creative hardscape materials and interesting design features.

In order to provide the greatest potential for success, Gateway Center will incorporate hotels, office buildings, restaurants and office condominiums. The buildings will include one 120 room medium range hotel of approximately 70,380 square feet, one 120 room medium range hotel of approximately 84,456 square feet, one "Class A" office building with approximately 47,216 square feet of office space, three sit-down restaurants of approximately 5,800 square feet each, and seven single level office condominiums of approximately 6,200 square feet each.

Gateway Center is designed to offer a location for professional offices as well as lodging facilities and an entertainment venue in this rapidly growing area. With its location, being just west of the Loop 101 Freeway, Gateway Center will be one of the first developments west of the freeway to offer an extension to the Westgate, and surrounding amenities.

PROJECT DEVELOPMENT

Gateway Center is being designed to provide an office campus environment with attractive amenities including hotels and restaurants. Gateway Center will offer convenient access as well as parking and provides great visibility, which will attract large scale users. Gateway Center will compliment the other area projects such as Westgate and Zanjero, and will be the first to make the stretch of Glendale Avenue west of the Loop 101 freeway part of the premier locale in the West Valley.

The buildings will include one 120 room medium range hotel of approximately 70,380 square feet, one 120 room medium range hotel of approximately 84,456 square feet, one "Class A" office building with approximately 47,216 square feet of office space, three sit-down restaurants of approximately 5,800 square feet each, and seven single level office condominiums of approximately 6,200 square feet each.

The site organization sets the office condominiums circled around the rear northwest portion of the site, back from Glendale Avenue. The four-story "Class-A" office building will be designed to be seen prominently from the freeway and the surrounding properties and is visible from Glendale Avenue, as it sets in the most south-westerly part of the property. Both hotels will be located adjacent to each other and will be able to share amenities, such as parking and open grounds. They are located on the east side of the property and will provide visibility for Glendale Avenue and 99th Avenue. The 3 restaurant pads serve as somewhat of a buffer between the office buildings and the hotels, as they are situated on Glendale Avenue in the south part of the property.

The entire development will share common architectural themes, pedestrian links, some parking, road access, signage, and landscaping elements. The design promotes an efficient circulation system which includes the separation of pedestrian from vehicular traffic. Furthermore, due to the development of mixed uses, the design reduces off-site trip generation.

In the event of the sale of a pad, all shared parking agreements will remain in place as stated in this document.

GENERAL PLAN CONFORMANCE

The subject property is designated as Business Park (BP) and Planned Commercial (PC) in the City of Glendale 2025 General Plan. In order to provide an integrated project, Gateway Center proposes to include some restaurants and hotels along with the professional office buildings. By providing this mixture of uses, Gateway Center will accomplish the City's goal of providing professional office complexes on the site, while creating a synergy that will generate an active atmosphere as is common with the surrounding amenities

Gateway Center will play an integral role in assisting the City of Glendale with its General Plan goals and objectives of attracting corporate and institutional development and will also provide entertainment value to other area tenants, surrounding residents and potential visitors.

DESIGN STANDARDS

ARCHITECTURAL THEME

The overall look of Gateway Center is intended to attract the corporate minded office tenant while embracing the dynamic and energetic mixed use character of the areas to the west. The office buildings will share common design elements and details while the restaurants and hotels will provide unique facades, which will compliment the primary architectural statements of the offices and also provide a bold and vibrant facade to Glendale Avenue.

The forms of the buildings are strong and forthright to read well from Glendale Avenue with numerous changes of planes, both vertically and horizontally, to create interest and a sense of quality reflective of this prominent West Valley location.

As such, the theme will follow a southwestern design and will include a palette of colors indigenous with the surrounding designs and desert patterns already established. However, the obvious diversity of building types will be monitored to retain design standards relative to colors, earth tones with accents where appropriate, building themes consistent with the preliminary designs submitted for elevation contours, materials, creation of deep shadows, window niches, changes of planes, roof and parapet integration and varying the heights of buildings wherever possible and includes the control of all site planning, lighting and signage throughout the Gateway Center.

COLOR PALETTE FOR BUILDINGS AND SIGNAGE

Color and material selections are derived from the five color groups of the color palette established for the entire development. The color palette will also provide guidance for all signage, which is minimal for the office buildings, but requires a higher degree of identification for the two hotels and potential restaurants.

The primary building material for the office buildings will be painted concrete wall panels, articulated with architectural reveals. Recesses and accent details provide the benefit of a long term, substantial building material with a smooth, clean finish that provides a pleasing contrast to more textural materials used as compliments. Smooth and split-faced masonry piers and accent walls will provide further depth and articulation to the building skin, enrich entries and provide textural diversity to the overall look and feel of the buildings.

The desert-based color palette will include varying shades of neutral browns and tans for the primary building masses, responding to the corporate character of the targeted tenant marker. Reddish-brown and grey masonry will be used to provide

contrast not only in texture but also in color. The palette will be complimented well by the desert green landscape palette and blue Arizona sky.

LANDSCAPE THEME

The landscape palette for Gateway Center will consist of softscape and hardscape elements that will work to bind the development together in an attractive and unified way. The Gateway Center landscape theme will feature a lush desert palette that combines shade, color and accent. Canopy trees will be used throughout the parking areas and along pedestrian pathways to provide needed shade relief. Site entries will be articulated by accent canopy trees and further punctuated by the use of dramatic date palms, relating to the surrounding mixed-use developments and providing vertical accents that help identify points of entry. Landscaped themed corners and common driveway entry treatments will make the entire project read as a cohesive, well planned development. Furthermore, palms and canopy trees will be used at building entries, spaced closely together to create a shaded landscape canopy that creates both scale and a sense of coolness.

Both entryways will receive dramatic, semi-formal arrangements of palms, accent canopy trees, colorful shrubs and groundcovers, as well as visually exciting water features, to further announce the development and beautify the Glendale Avenue Corridor.

The use of water conserving principles and plantings will occur throughout the site, with strategically spotted locations and grouping of plant materials to add color and interest along the entryways and open space areas between buildings. There will only be a small limited use of turf on site, with much of the landscaping being watered with a low water-use emitter system.

Additional pedestrian refuge locations, with shade and seating, will be placed near the entrances of the office buildings. Accent concrete will be utilized at all site entrances and pedestrian crossings to encourage a calming of traffic speed and movement as well as define a clear separation for cars and pedestrians.

Entry monuments and signs will match the architectural style of the rest of the site, and will also use the same color and material palette. Planting beds with landscaping will also be integrated into the site identification signs as well as monument signs. The property owner will maintain these planting beds, as well as the remainder of the site landscaping, with a high standard of quality.

The new low walls to be constructed will provide screening for the parking areas of the development, and will keep with the building construction theme. These low walls will be built along Glendale Avenue at the south side of the site. The style of the wall will incorporate a 3'-6" high stucco-covered CMU construction with a range of desert color tones to match the building construction.

The design intention of the landscaping and walls for this development is to blend together the different types of buildings and their uses as part of this development by keeping a similar theme through the different areas, and to provide a developed park-like experience within the developed site.

LAND USE

The Gateway Center provides a functionally integrated mixture of uses that encompasses approximately 13.5 gross acres of land use. The PAD plan targets space for different types of services.

Permitted Uses:

- Full Service Restaurants
- Professional, Administrative and Business Offices
- Medical Offices
- Laundry and Dry-cleaning Establishments
- Laboratories for Research and Product Development
- Business Support Services
- Full Service Hotels

Uses Subject to Conditional Use Permits

- Wireless Communication Facilities
- Alternative Tower Structures
- Free Standing Child Care Centers

Prohibited Uses

- All uses not specifically listed above are strictly prohibited.

DEVELOPMENT STANDARDS

Gateway Center is to be developed in accordance with the City of Glendale BP district standards except as modified below:

Building Setbacks

Front: 40 feet
Rear: 15 feet
Side: 15 feet

Landscape Setbacks

There shall be a minimum 20 foot landscape buffer on the south boundary of the property and a minimum 5 foot landscape buffer on the north, east and west boundaries of the property.

Maximum Building Height

Building heights shall be a maximum of 90 feet from finished grade to top of parapet.

Parking Space Dimensions

All parking spaces shall be at least 10 feet wide and 18.5 feet deep (with 1.5 feet of overhang). Regardless of site location, all handicapped accessible parking shall be at least 8 feet wide and 18.5 feet deep (with 1.5 feet of overhang), with an 8 foot wide access aisle.

Parking Area Landscaping

A landscape planter shall be provided at least every 10 consecutive parking spaces in all areas, excluding handicapped accessible spaces. Each landscape planter shall be 180 square feet in area, with a minimum width of 5 feet.

Parking Canopies

Covered parking canopies for employee parking shall include finished fascias and be painted with a color scheme matching that of the office buildings.

Loading Areas

All permanent loading areas shall be screened from view.

Signage

All signage for the project shall be developed in accordance with the standards set in the Master Sign package.

Retention Basins

All retention basins shall utilize a maximum slope of 4:1, pursuant to section 5.32B.2.B of the City of Glendale Engineering Standards.

Salt River Project Irrigation Ditch

The existing irrigation ditch will require underground relocation.

Regional Storm Water Flooding

The site is located within the Maryvale Area Drainage Master Study performed by the Flood Control District of Maricopa County. The Technical Data Notebook, which includes the existing drainage conditions, was finalized in March of 1997. This study indicates that the channel along Northern Avenue diverts most of the flows from the north to the New River. However, the study indicates that along Glendale Avenue there are significant flows (490 CFS) that are conveyed past the ADOT freeway (Loop 101). These flows are conveyed westerly along the Glendale Avenue road alignment to the river as shown in and on, "Exhibit 6 – Summary of Computed Peak Discharges 100-Year, 6-Hour Event, Sheet 1 of 3, by Wood / Patel & CH2M Hill, dated Oct 1996 – Attachment 3" of said study.

PHASING*

Phase I

Clear and grub site and prepare for site work.

Site work for all buildings, pads for all buildings and offsite infrastructure.

Phase II

Hotels, office condos, 4 story office building

Phase II can start as portions of Phase I are complete (when pads for Hotels are ready, Hotel construction will begin).

Phase III

Restaurants will most likely be built during Phase III, but may begin construction anytime after Phase I is complete.

Timeline

Phase I

Clear and grub

February, 2007

Site Work

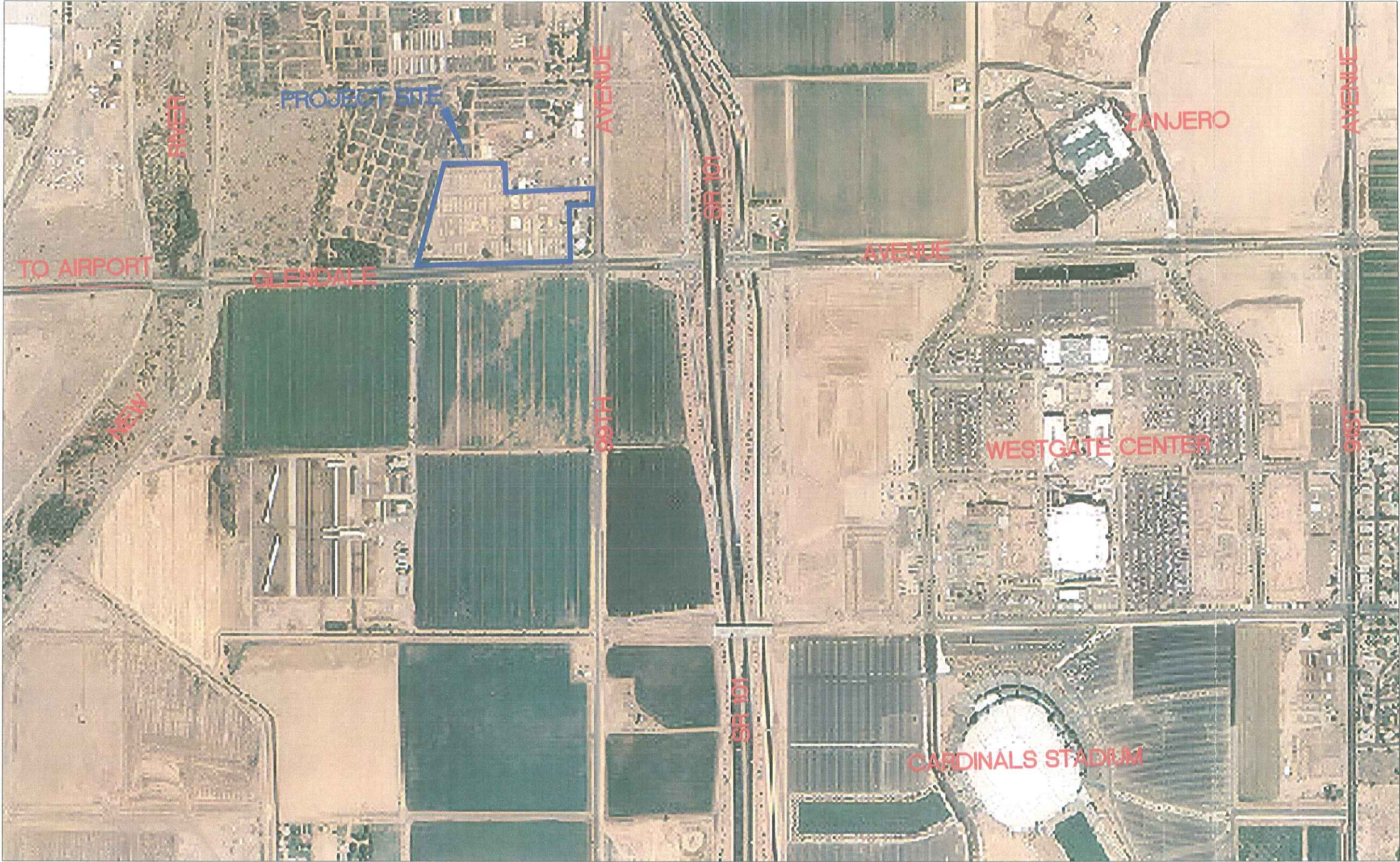
April, 2007

Vertical Construction

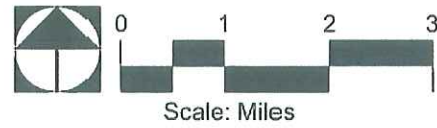
July, 2007

*The phasing and timeline indicates current desires of property owners, and is provided for clarification only. Due to factors such as market conditions, construction cost and contractor availability, owner reserves the right to adjust the project phasing and timeline as needed.

AERIAL MAP



DRAWING SHEET OF	GATEWAY CENTER 9970 W. GLENDALE	AERIAL MAP	ACCOUNT: 175-08-08 DESIGNED BY: MAS (06-100) CHECKED BY: TM APPROVED BY: TM	GENERAL ENGINEERING SUPPORT, LLC 2008 S. LITCHFIELD RD. / GROUNDWATER, ARIZONA 85306 / 602-374-2500	PROJECT MANAGER: T. D. Johnson PE 11790 SUPERVISOR: T. D. Johnson RLS 11790 REG. NO.: 16557	1
						2
						3



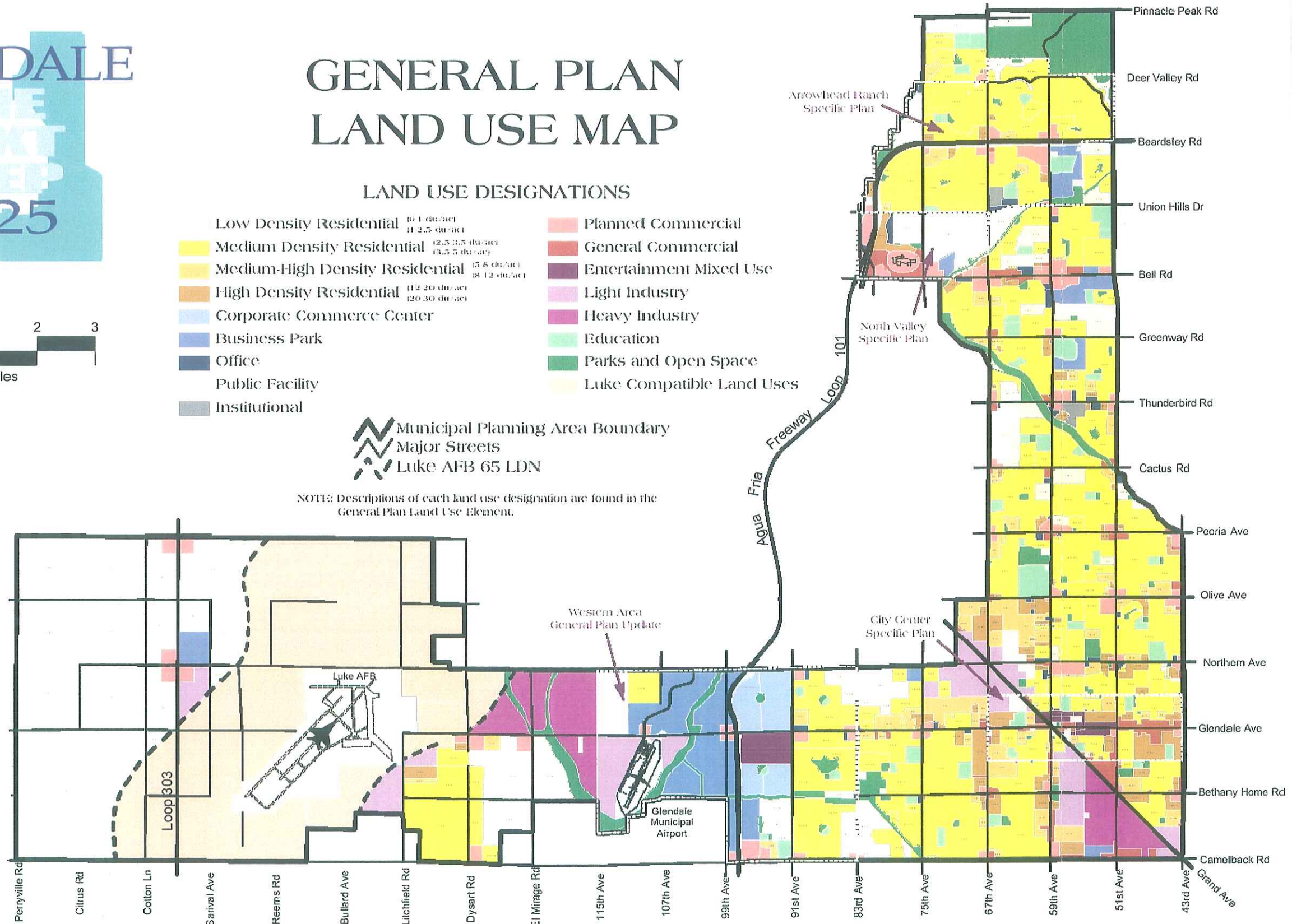
GENERAL PLAN LAND USE MAP

LAND USE DESIGNATIONS

- | | |
|---|---------------------------|
| Low Density Residential (10.1 du/acre)
(1.25 du/acre) | Planned Commercial |
| Medium Density Residential (2.5 du/acre)
(3.5 du/acre) | General Commercial |
| Medium-High Density Residential (5.8 du/acre)
(8.12 du/acre) | Entertainment Mixed Use |
| High Density Residential (12.20 du/acre)
(20.30 du/acre) | Light Industry |
| Corporate Commerce Center | Heavy Industry |
| Business Park | Education |
| Office | Parks and Open Space |
| Public Facility | Luke Compatible Land Uses |
| Institutional | |

- Municipal Planning Area Boundary
- Major Streets
- Luke AFB 65 LDN

NOTE: Descriptions of each land use designation are found in the General Plan Land Use Element.



PROJECT MANAGER:
T.D. Johnson PE
ENGINEER:
T.D. Johnson PE
DRAWN BY:
T.D. Johnson RLS
CHECKED BY:
T.D. Johnson RLS
APPROVED BY:
T.D. Johnson RLS
REG. NO.: 11792
REG. NO.: 16557

GENERAL ENGINEERING SUPPORT, LLC
2608 S. LITCHFIELD RD / GOODYEAR, ARIZONA 85338 / 623-374-2590

DATE:
12-5-2006
DESIGNED BY:
M.A.S. (64-108)
DRAWN BY:
M.A.S. (64-108)
CHECKED BY:
J.T.U.
APPROVED BY:
J.T.U.

2025 GENERAL PLAN

GATEWAY CENTER
9970 W. GLENDALE

EXHIBIT B

DRAWING

SHEET
OF

GATEWAY CENTER 9970 W GLENDALE AVENUE

ALL OF THAT PART OF THE SOUTH HALF OF THE SOUTHEAST QUARTER OF
SECTION 5, TOWNSHIP 2 NORTH, RANGE 1 EAST OF THE GILA RIVER BASE
AND MERIDIAN, MARICOPA COUNTY, ARIZONA

LAND USE SUMMARY

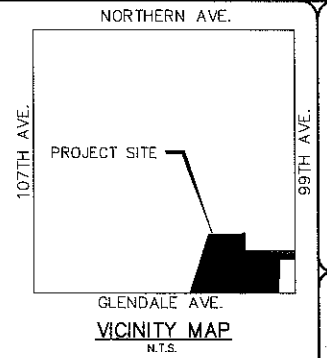
USE	#/BLDGS.	FLOORS	SQ. FT.	% CVR.
OFFICE CONDO	7	1	43,400	7.4%
CLASS "A" OFFICE	1	4	11,804	1.7%
HOTEL	2	5	29,424	5.1%
RESTAURANT	3	1	17,400	2.8%
PARKING/PAVEMENT			321,403	54.8%
OPENSACE/RETENTION			184,624	28.1%
TOTAL SITE AREA			586,251	100%

PARKING SUMMARY

USE	#/BLDGS.	FLOORS	TOTAL SF	SPACES REQ.
OFFICE CONDO	7	1	43,400	145
CLASS "A" OFFICE	1	4	47,216	133
HOTEL	2	5	147,120	240 (1 PER ROOM)
RESTAURANT	3	1	17,400	174
TOTAL SPACES REQ.				692
SPACES PROVIDED				658 + 14HC = 672

NOTES

1. FIRE DEPARTMENT ACCESS AND WATER SUPPLY REQUIREMENTS SHALL BE IN PLACE PRIOR TOT HE START OF VERTICAL CONSTRUCTION.
2. ALL NEW AND EXISTING UTILITIES WITHIN OR CONTIGUOUS TO THIS SITE SHALL BE PLACED UNDERGROUND.
3. ALL UTILITY BOXES, VAULTS AND BACKFLOW PREVENTION DEVICES SHALL BE PAINTED TO MATCH THE BUILDING AND SCREENED FORM PUBLIC VIEW BY A MASONRY WALL OR A ROUND-TOPPED WIRE MESH ENCLOSURE.
4. SIGHT DISTANCE REQUIREMENTS ARE MET FOR ALL DRIVEWAYS AND STREETS.
5. STREETLIGHTS INSTALLED BY THE DEVELOPER MAY BE REQUIRED FOR CONSTRUCTION PLAN APPROVAL.
6. ON SITE LIGHTING SHALL MEET OUTDOOR LIGHT CONTROL ORDINANCE.
7. MAXIMUM NOISE LEVEL SHALL NOT EXCEED 55 DECIBLES (NORMAL SPEAKING VOICE) AT PROPERTY LINE.
8. THE PROPERTY OWNER IS RESPONSIBLE FOR MAINTAINING LANDSCAPING IN ALL PUBLIC RIGHTS-OF-WAY ADJACENT TO THE PROJECT.



VICINITY MAP
N.T.S.

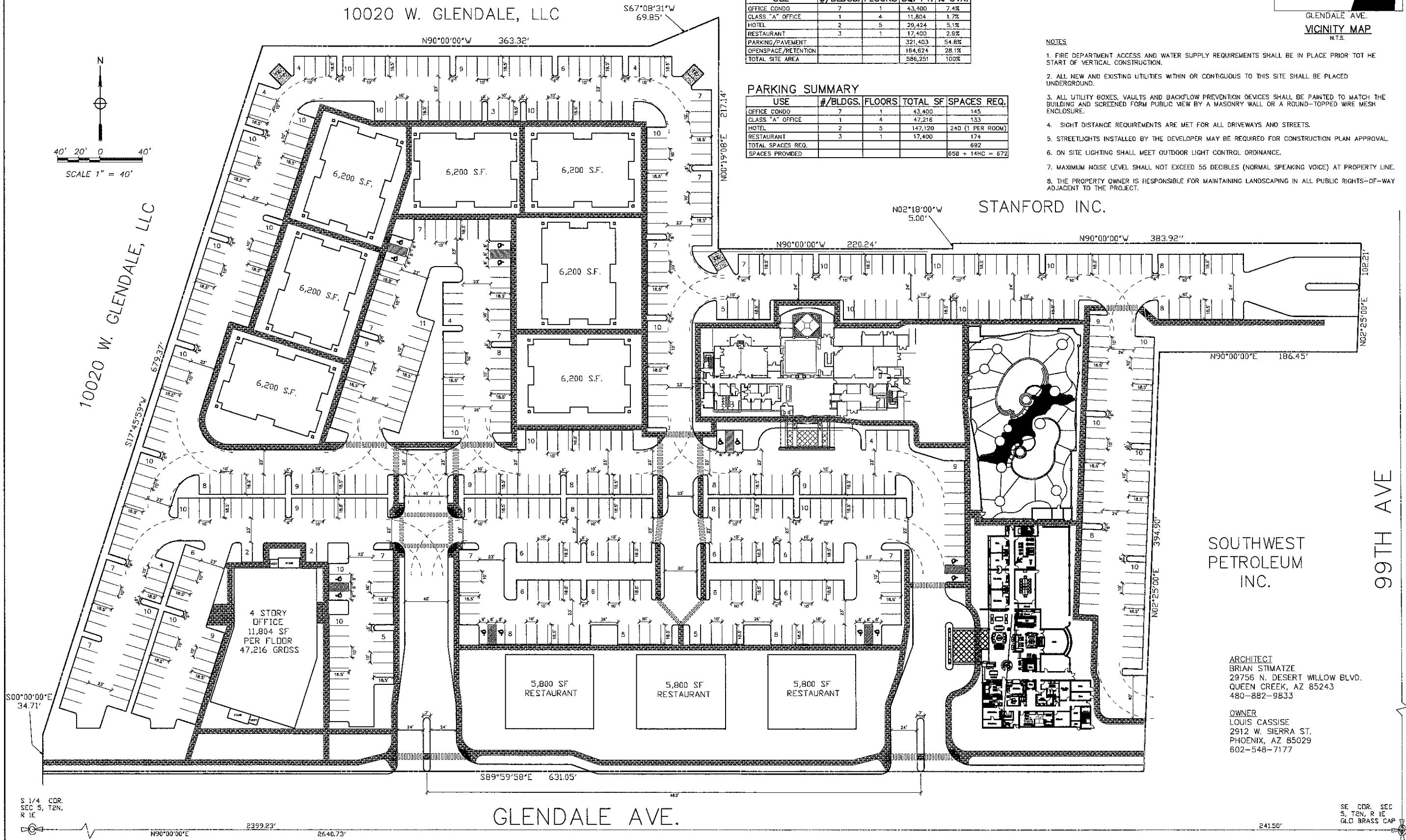
GENERAL ENGINEERING SUPPORT, LLC
2808 S. LITCHFIELD RD. / GROUND, ARIZONA 85028 / 602-371-2809

SITE PLAN

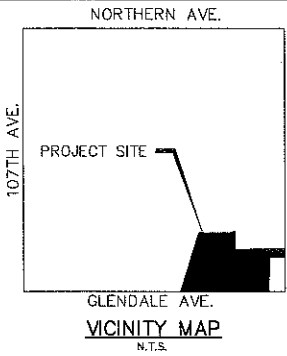
GATEWAY CENTER
9970 W. GLENDALE

DRIVING
SHEET 1

EXHIBIT C



PEDESTRIAN LINK
GATEWAY CENTER
9970 W GLENDALE AVENUE



PROJECT MANAGER: T. D. Johnson PE
ENGR. of RECORD: T. D. Johnson PE
REG. NO: 11792
SRVR of RECORD: T. D. Johnson RLS
REG. NO: 16557

GENERAL ENGINEERING SUPPORT, LLC
2808 S. LITCHFIELD RD. / COOIDEAR, ARIZONA 85328 / 623-374-2590

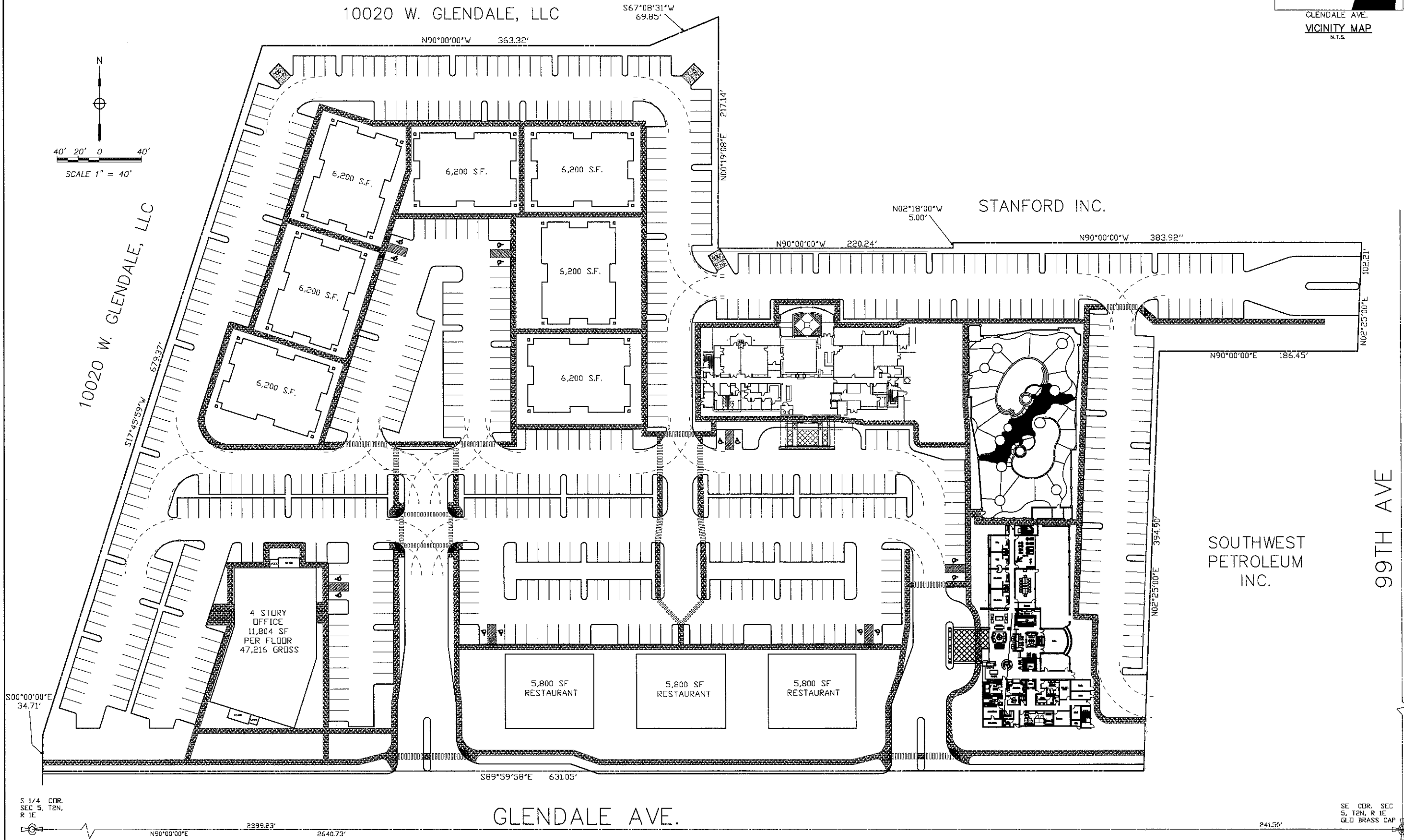
ACCOUNT: 5-1-107
DATE: 5-1-207
DESIGNED BY: MAS
DRAWN BY: T.D.J.
APPROVED BY: T.D.J.

PEDESTRIAN LINK

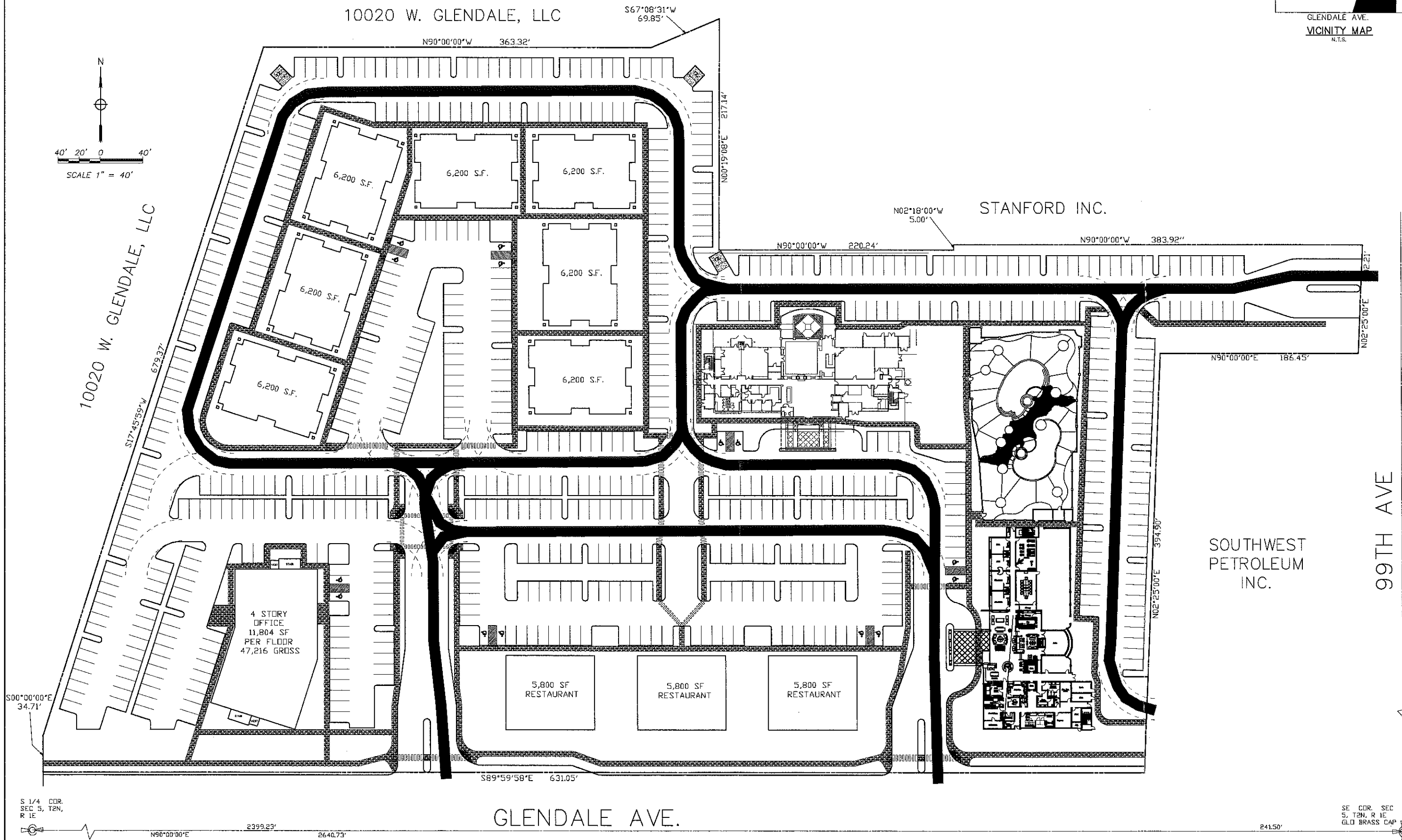
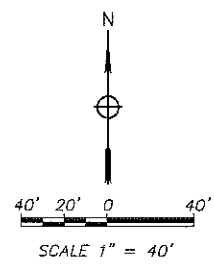
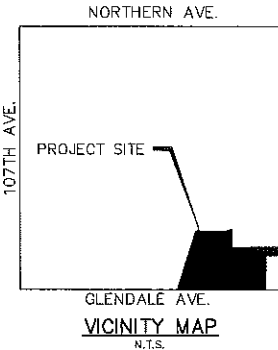
GATEWAY CENTER
9970 W. GLENDALE

DRAWING
SHEET 1

EXHIBIT D



FIRE LANE
GATEWAY CENTER
9970 W GLENDALE AVENUE



PROJECT MANAGER: T.D. Johnson PE ENGINEER OF RECORD: T.D. Johnson PE DRAWN BY: T.D. Johnson RLS CHECKED BY: T.D. Johnson RLS APPROVED BY: T.D. Johnson RLS REG. NO.: 11792 REG. STATE: IL	
GENERAL ENGINEERING SUPPORT, LLC 2008 S. LITCHFIELD RD / GROUNDWATER ARIZONA 85308 / 923-374-2590	
ACCOUNT: 5-1-207 DATE: 5-1-207 DESIGNED BY: MAS DRAWN BY: MAS CHECKED BY: MAS APPROVED BY: MAS	FIRE LANE
GATEWAY CENTER 9970 W. GLENDALE	
DRAWING	SHEET 1 OF 1

EXHIBIT E

LEGEND

F/L	FLOW LINE
FG	FINISH GRADE
FF	FINISH FLOOR
---	EASEMENT AS NOTED
BSL	BUILDING SETBACK LINE
SW	SIDEWALK
DE	DRAINAGE EASEMENT
1183.97	EXISTING GRADE
GTD	GRADE TO DRAIN
BSBL	BUILDING SETBACK LINE
TRW	TOP RETAINING WALL
TSW	TOP OF SCREEN WALL

UTILITY REVIEW

1. THESE PLANS HAVE BEEN SUBMITTED TO THE FOLLOWING UTILITY COMPANIES. WHERE THE WORK TO BE DONE CONFLICTS WITH ANY OF THESE UTILITIES, THE CONFLICTS SHALL BE RESOLVED AS SPECIFIED IN THE SPECIAL PROVISIONS AND/OR AS OTHERWISE NOTED ON THESE PLANS. CONFLICTS ARISING DURING THE COURSE OF CONSTRUCTION FROM UNFORESEEN CIRCUMSTANCES SHALL BE REPORTED TO THE INTERESTED UTILITY COMPANY AND BE RESOLVED BY THEM AND THE DESIGN ENGINEER.

SOUTHWEST GAS (602) 484-5306	GERARDO LOPEZ COMPANY REPRESENTATIVE	DATE	
U.S. WEST COMMUNICATIONS (602) 630-0500	COMPANY REPRESENTATIVE	DATE	
SALT RIVER PROJECT-ELECTRIC (602) 236-6309	GEORGE MROCKIEWICZ COMPANY REPRESENTATIVE	DATE	
COX COMMUNICATIONS (602) 322-7210	SCOTT GUSO COMPANY REPRESENTATIVE	DATE	

ALL RETENTION BASINS MUST DRAIN ANY STORM EVENT UP TO AND INCLUDING THE 100-YEAR 2 HOUR STORM WITHIN 36 HOURS. THE OWNER'S RESPONSIBLE FOR ANY BASIN FAILING TO MEET THIS REQUIREMENT MUST TAKE CORRECTIVE ACTION TO BRING THE BASIN INTO COMPLIANCE.

ALL DRYWELLS SHOWN ON THIS PROJECT SHALL BE MAINTAINED BY THE OWNER'S AND ARE TO BE REPLACED BY THE OWNER'S WHEN THEY CEASE TO DRAIN THE SURFACE WATER IN A 36 HOUR PERIOD. REGULAR MAINTENANCE OF THE DRYWELL SILLING CHAMBER IS REQUIRED TO ACHIEVE THE BEST OPERATION OF THE DRYWELL.

THE CONTRACTOR SHALL BE REQUIRED TO INSTALL A NIGHT TIE IN FOR ANY NEW WATERLINE THAT WILL AFFECT EXISTING SERVICE SUFFICIENT TO WARRANT SAME IN THE OPINION OF THE TOWN OFFSITE INSPECTOR.

A DRILLERS LOG (INCLUDING STRATA ENCOUNTERED AND DEPTH) WILL BE REQUIRED ON ALL DRYWELLS PRIOR TO THE TOWN WRITING LETTERS OF ACCEPTANCE.

BENCH MARK

BRASS CAP IN HAND HOLE AT INTERSECTION
OF 99TH AVE AND GLENDALE AVENUE
EL = 1136.74 CITY OF GLENDALE DATUM

PROJECT TEAM

DEVELOPER GLENDALE 13.5 LLC 2912 W. SIERRA ST. PHOENIX, AZ 85029 602-548-7177 ARCHITECT ARCHITECTURE PLUS BRIAN STIMATZE 29756 N. DESERT WILLOW BLVD. QUEEN CREEK, AZ. 85242 480-882-9833	ENGINEER GENERAL ENGINEERING SUPPORT 2608 SO. LITCHFIELD ROAD GOODYEAR, ARIZONA 85338 TEL (623) 374-2590 FAX (623) 388-4574
---	--

ONSITE IMPROVEMENT PLANS

GATEWAY CENTER

9970 W. GLENDALE
GLENDALE, AZ

GENERAL NOTES

A. ALL CONSTRUCTION SHALL CONFORM WITH THE LATEST MAG STANDARD DETAILS AND SPECIFICATIONS AND THE CITY'S CURRENT ENGINEERING DESIGN AND CONSTRUCTION STANDARDS.

B. THIS SET OF PLANS HAS BEEN REVIEWED FOR COMPLIANCE WITH CITY REQUIREMENTS PRIOR TO ISSUANCE OF CONSTRUCTION PERMITS. HOWEVER, SUCH REVIEW SHALL NOT PREVENT THE CITY FROM REQUIRING CORRECTION OF ERRORS IN PLANS FOUND TO BE IN VIOLATION OF ANY LAW OR ORDINANCE. REVIEW AND APPROVAL OF PLANS DOES NOT RELEASE ANY DEVELOPER OR ENGINEER FROM RESPONSIBILITY FOR ERRORS OR OMISSIONS ON SAID PLANS.

C. THE CITY DOES NOT WARRANT ANY QUANTITIES SHOWN ON THESE PLANS.

D. THE CITY APPROVAL IS FOR GENERAL LAYOUT IN THE RIGHT-OF-WAY ONLY. THIS APPROVAL IS VALID FOR A PERIOD OF SIX MONTHS. CONSTRUCTION PERMITS SHALL BE OBTAINED DURING THIS PERIOD OR THE PLANS SHALL BE RESUBMITTED FOR REVIEW AND APPROVAL. THE CITY'S REVIEW OF ALL NPDES SUBMITTALS INCLUDING NOI, NOT, AND SWPPP IS INTENDED AS REVIEW ONLY AND DOES NOT CONSTITUTE APPROVAL OF THE METHODS OF PLANS FOR CLEANING THE STORM WATER AND PROTECTING THE WATERS OF THE UNITED STATES. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE INSURING THAT ALL REQUIREMENTS OF THE CLEAN WATER ACT ARE STRICTLY ENFORCED.

E. AN APPROVED SET OF PLANS SHALL BE AVAILABLE ON THE JOB SITE AT ALL TIMES.

F. THE CITY SHALL BE NOTIFIED 24 HOURS PRIOR TO ANY CONSTRUCTION WORK. CONSTRUCTION WORK CONCEALED WITHOUT INSPECTION BY THE CITY SHALL BE SUBJECT TO EXPOSURE AT THE CONTRACTOR'S EXPENSE.

G. A RIGHT-OF-WAY CONSTRUCTION PERMIT IS REQUIRED FOR ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY. A 100% PERFORMANCE BOND OR EQUIVALENT FORM OF FINANCIAL SURETY IS REQUIRED FOR ALL WORK WITHIN THE RIGHT-OF-WAY PRIOR TO THE ISSUANCE OF ANY RIGHT-OF-WAY CONSTRUCTION PERMIT(S). ALL CONTRACTORS WORKING WITHIN THE RIGHT-OF-WAY SHALL PROVIDE THE CITY WITH A PROOF OF INSURANCE FORM AND WITH LIMITS OF COVERAGE ACCEPTABLE TO THE CITY. THE CITY SHALL BE NAMED AS ADDITIONAL INSURED. ALL WORK WITHIN THE RIGHT-OF-WAY SHALL BE INSPECTED AND APPROVED BY THE ENGINEERING DEPARTMENT OF THE CITY.

H. IMPROVEMENTS SHALL NOT BE ACCEPTED UNTIL "AS-BUILT" PLANS HAVE BEEN SUBMITTED AND APPROVED BY THE CITY.

I. THE DEVELOPER IS RESPONSIBLE FOR THE REMOVAL OR RELOCATION IF ALL OBSTRUCTIONS WITHIN THE RIGHT-OF-WAY PRIOR TO STARTING NEW CONSTRUCTION.

J. THE DEVELOPER IS RESPONSIBLE FOR ARRANGING THE RELOCATION AND ASSOCIATED COST OF ALL UTILITIES. A UTILITY RELOCATION SCHEDULE SHALL BE SUBMITTED PRIOR TO THE ISSUANCE OF PERMITS.

K. THE DEVELOPER IS RESPONSIBLE FOR OBTAINING OR DEDICATING ALL REQUIRED RIGHT-OF-WAY AND EASEMENTS TO THE CITY PRIOR TO ISSUANCE OF PERMITS.

L. THE CONTRACTOR SHALL CONTACT BLUE STAKE (602-263-1100) 48 HOURS PRIOR TO CONSTRUCTION.

M. THE CONTRACTOR SHALL BARRICADE CONSTRUCTION SITES AT ALL TIMES PER THE CITY OF PHOENIX TRAFFIC BARRICADE MANUAL WHEN REQUIRED BY THE CITY. A TRAFFIC CONTROL PLAN SHALL BE SUBMITTED FOR APPROVAL A MINIMUM OF 72 HOURS IN ADVANCE OF CONSTRUCTION.

N. THE CONTRACTOR MAY OBTAIN A FIRE HYDRANT METER FOR CONSTRUCTION WATER FROM THE UTILITIES DEPARTMENT. THIS METER SHOULD BE ORDERED TWO WORKING DAYS PRIOR TO THE START OF CONSTRUCTION. THE UNLAWFUL REMOVAL OF WATER FROM A FIRE HYDRANT IS A VIOLATION OF THE MUNICIPAL CODE, PUNISHABLE BY A FINE AND/OR IMPRISONMENT.

O. PRIVATE ON SITE WATER AND SEWER LINES SHALL BE CONSTRUCTED IN ACCORDANCE WITH UNIFORM PLUMBING CODE AS ADOPTED BY THE CITY.

ENGINEER NOTES:

A. NOTHING CONTAINED IN THE CONTRACT DOCUMENTS SHALL CREATE, NOR SHALL BE CONSTRUCTED TO CREATE CONTRACTUAL RELATIONSHIP BETWEEN THE ENGINEER AND CONTRACTOR OR ANY SUBCONTRACTOR.

B. THE ENGINEER MAKES NO REPRESENTATION OR GUARANTEE REGARDING EARTHWORK QUANTITIES OR THAT THIS PROJECT WILL BALANCE DUE TO VARYING FIELD CONDITIONS, CHANGING ALLOWABLE CONSTRUCTION TOLERANCES, AND CONSTRUCTION METHODS THAT ARE BEYOND THE CONTROL OF THE ENGINEER.

C. CONTRACTOR TO VERIFY ELEVATIONS IN THE FIELD.

D. ENGINEER IS NOT RESPONSIBLE FOR MEANS OR METHODS OF CONSTRUCTION WORK BY CONTRACTOR OR SUBCONTRACTOR FOR SAFETY.

E. ALL GRADING, CONSTRUCTION OF DRAINAGE, RIPRAP & CUTOFF WALLS SHALL BE COMPLETED PRIOR TO FOOTING CONSTRUCTION.

F. PAVEMENT BASED ON RECOMMENDATION FROM SOILS REPORT BY ACURA ENGINEERING PROJECT # A07-00026 DATED 2-13-07

LEGAL

ALL OF THAT PART OF THE SOUTH HALF OF THE SOUTHEAST QUARTER OF SECTION 5, TOWNSHIP 2 NORTH, RANGE 1 EAST OF THE GILA RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF SAID SECTION 5;

THENCE WEST, ALONG THE SOUTH LINE OF SAID SECTION 5, A DISTANCE OF 241.50 FEET TO A POINT;

THENCE NORTH 02 DEGREES 25 MINUTES 00 SECONDS EAST A DISTANCE OF 55.05 FEET TO THE TRUE POINT OF BEGINNING;

THENCE CONTINUING NORTH 02 DEGREES 25 MINUTES 00 SECONDS EAST A DISTANCE OF 394.90 FEET TO A POINT;

THENCE EAST A DISTANCE OF 186.45 FEET TO A POINT;

THENCE NORTH 02 DEGREES 25 MINUTES 00 SECONDS EAST, PARALLEL TO AND 55.00 FEET WEST OF THE EAST LINE OF SAID SECTION 5, A DISTANCE OF 102.21 FEET TO A POINT;

THENCE WEST A DISTANCE OF 383.92 FEET TO A POINT;

THENCE SOUTH 02 DEGREES 18 MINUTES 00 SECONDS WEST A DISTANCE OF 5.00 FEET TO A POINT;

THENCE WEST A DISTANCE 220.24 FEET TO A POINT;

THENCE NORTH 00 DEGREES 19 MINUTES 08 SECONDS EAST A DISTANCE OF 217.14 FEET TO A POINT;

THENCE SOUTH 87 DEGREES 08 MINUTES 30 SECONDS WEST A DISTANCE OF 69.85 FEET TO A POINT;

THENCE WEST A DISTANCE OF 363.32 FEET TO A POINT;

THENCE SOUTH 17 DEGREES 46 MINUTES 00 SECONDS WEST A DISTANCE OF 679.37 FEET TO A POINT;

THENCE SOUTH A DISTANCE OF 34.71 FEET TO A POINT;

THENCE EAST, PARALLEL TO AND 55.00 FEET NORTH OF THE SOUTH LINE SAID SECTION 5, A DISTANCE OF 1030.73 FEET TO THE TRUE POINT OF BEGINNING.

PERMIT FEE FORMS (PRIVATE DEVELOPMENT PLANS)

UTILITY PERMIT FOR WATER (WITHIN R/W ONLY)

TRENCH:	_____ LF AT \$ _____ /LF	= \$ _____
WET TAPS:	_____ EA AT \$ _____ /EA	= \$ _____
BASE FEE:	EACH PERMIT AT \$ _____ /EA	= \$ _____
	TOTAL PERMIT FEE	= \$ _____

UTILITY PERMIT FOR SEWER (WITHIN R/W ONLY)

TRENCH:	_____ LF AT \$ _____ /LF	= \$ _____
WET TAPS:	_____ EA AT \$ _____ /EA	= \$ _____
BASE FEE:	EACH PERMIT AT \$ _____ /EA	= \$ _____
	TOTAL PERMIT FEE	= \$ _____

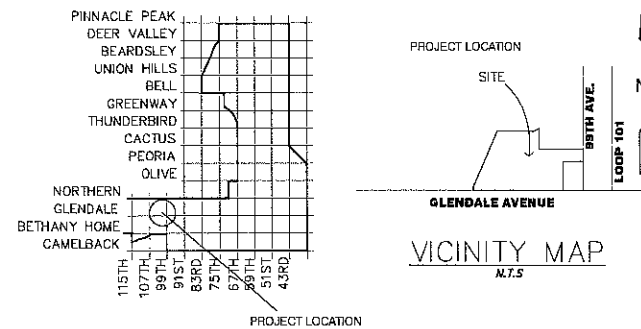
STREET IMPROVEMENT FEE (CONCRETE)

SIDEWALK	_____ SF AT \$ _____ /SF	= \$ _____
DRIVEWAY	_____ SF AT \$ _____ /SF	= \$ _____
SAWCUTS IN EX. CURB	_____ EA AT \$ _____ /EA	= \$ _____
BASE FEE:	EACH PERMIT AT \$ _____ /EA	= \$ _____
	TOTAL PERMIT FEE	= \$ _____

GRADING/ON-SITE PAVING PERMIT FEE

ONSITE PAVING	_____ SF AT \$ _____ /SF	= \$ _____
STORM DRAIN MANHOLE/DRYWELL	_____ EA AT \$ _____ /SF	= \$ _____
STORM DRAIN PIPE	_____ EA AT \$ _____ /EA	= \$ _____
BASE FEE:	EACH PERMIT AT \$ _____ /EA	= \$ _____
	TOTAL PERMIT FEE	= \$ _____

*(ASPHALT AND CONCRETE COMBINED)



SHEET INDEX

1	COVER
2	NOTES/DETAILS
3-7	GRADING PLANS
8	DRAINAGE RETENTION PLAN
9	RETENTION DETAILS
W1-W2	WATER PLANS
S1-S2	SEWER PLANS
OSS1-OSS2	OFFSITE SEWER PLANS

DRYWELL CERTIFICATION

I CERTIFY THAT ALL DRYWELLS HAVE BEEN REGISTERED WITH AND CONFORM TO ALL REQUIREMENTS OF THE ARIZONA DEPARTMENT OF ENVIRONMENTAL QUALITY (ADEQ) AND THAT A COPY OF ALL DRILLING LOGS HAVE BEEN SUBMITTED TO THE CITY OF GLENDALE.

NAME: _____ DATE: _____

REVD. BY: _____
CONSTRUCTION ENGINEERING (GRADING AND DRAINAGE)

CERTIFICATION

"I HEREBY CERTIFY THAT THIS DESIGN IS BASED ON ACCURATE FIELD DATA WHICH HAS BEEN CHECKED IN THE FIELD WITHIN 180 DAYS PRIOR TO SUBMISSION FOR CITY APPROVAL."

BY: _____ DATE: _____

WATER AND SEWER CERTIFICATION

BY: MARICOPA COUNTY DEPARTMENT OF ENVIRONMENTAL SERVICES DATE: _____

AS BUILT CERTIFICATION

I CERTIFY THAT THE "AS-BUILT" INFORMATION SHOWN HEREON WAS OBTAINED UNDER MY DIRECT SUPERVISION AND IS CORRECT AND COMPLETE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

NAME: _____ DATE: _____

REGISTRATION NO. _____ DATE: _____

REVD. BY: _____
CONSTRUCTION ENGINEERING (GRADING AND DRAINAGE)

REVD. BY: _____
CONSTRUCTION ENGINEERING

ENGINEER CERTIFICATION

I CERTIFY THAT ALL DRYWELLS HAVE BEEN REGISTERED WITH AND CONFORM TO ALL REQUIREMENTS OF THE ARIZONA DEPARTMENT OF ENVIRONMENTAL QUALITY (ADEQ) AND THAT A COPY OF ALL DRILLING LOGS HAVE BEEN SUBMITTED TO THE CITY OF GLENDALE

NAME: _____ DATE: _____

APPROVED BY: _____
LAND DEVELOPMENT ENGINEER



PROJECT MANAGER: T.D. Johnson
ENGINEER: T.D. Johnson
CHECKED BY: T.D. Johnson
DATE: 11/15/07
REG. NO. 16557

ACCOUNT: 06-01-01
DATE: 11/15/07
CHECKED BY: T.D. Johnson
DATE: 11/15/07
APPROVED BY: T.D. Johnson

COVER

ONSITE IMPROVEMENT PLANS
GATEWAY CENTER
GLENDALE, ARIZONA

DRAWING
1
SHEET
OF 14

EXHIBIT F-1

GRADING NOTES

A. AN ON-SITE GRADING PERMIT IS REQUIRED

B. A SEPARATE PERMIT IS NECESSARY FOR ANY OFF-SITE CONSTRUCTION.

C. AN NPDES PERMIT IS REQUIRED FOR ALL CONSTRUCTION THAT DISTURBS LAND OVER (1) ACRE IN SIZE. PRIOR TO START OF ANY CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT A COPY OF THE NOTICE OF INTENT (NOI) TO THE ENVIRONMENTAL PROTECTION AGENCY (EPA) AND TO THE CITY OF GLENDALE AND HAVE A COPY OF THE SWPPP ON SITE AT ALL TIMES.

D. PRIOR TO THE START OF ANY ON-SITE GRADING OR PAVING OPERATIONS, THE CONTRACTOR SHALL NOTIFY THE CITY GRADING AND DRAINAGE INSPECTOR AT LEAST 24 HOURS PRIOR TO COMMENCING WORK BY CALLING 625-930-3822. ADDITIONAL INSTRUCTIONS CONCERNING GRADING AND PAVING INSPECTIONS WILL BE PROVIDED AT THAT TIME BY THE GRADING AND DRAINAGE INSPECTOR.

E. STAKING PAD AND OR FINISHED FLOOR ELEVATIONS ARE THE RESPONSIBILITY OF THE DEVELOPER OR HIS ENGINEER. IN NON-CRITICAL AREAS, THE DEVELOPER'S ENGINEER SHALL SUBMIT CERTIFICATIONS OF CONSTRUCTION BUILDING PAD ELEVATIONS PRIOR TO THE CITY'S ACCEPTANCE OF PROJECT. IN A CRITICAL DRAINAGE AREA, CERTIFICATION OF THE FINISHED BUILDING FLOOR OR STEM WALL ELEVATION SHALL BE SUBMITTED AND APPROVED PRIOR TO ANY VERTICAL CONSTRUCTION.

F. THE GRADING CONTRACTOR SHALL DESIGNATE THE LOCATION FOR WASTING SPOIL MATERIALS AND A LETTER FROM THE OWNER GIVING PERMISSION FOR SAID DISPOSAL PRIOR TO STARTING ON-SITE CONSTRUCTION.

G. AN APPROVED GRADING AND DRAINAGE PLAN SHALL BE ON THE JOB SITE AT ALL TIMES. DEVIATIONS FROM THE PLAN MUST BE PRECEDED BY AN APPROVED PLAN REVISION.

H. GRADING AND DRAINAGE PLAN APPROVAL INCLUDES: CONSTRUCTION OF ALL SURFACE IMPROVEMENTS SHOWN ON THE APPROVED GRADING AND DRAINAGE PLAN INCLUDING, BUT NOT LIMITED TO RETENTION AREAS AND/OR OTHER DRAINAGE FACILITIES, SURFACE GRADING, WALLS, CURBS, ASPHALT PAVEMENT, AND BUILDING FLOOR ELEVATIONS.

I. DRYWELLS MUST BE DRILLED A MINIMUM OF 10 FEET INTO PERMEABLE POROUS STRATA.

J. THE CONTRACTOR SHALL PROVIDE ALL RETENTION BASINS AT ELEVATIONS AS SHOWN ON THE PLANS. RETENTION BASINS SIDE SLOPE SHALL NOT EXCEED 4:1 ON PRIVATE PROPERTY OR 6:1 ADJACENT TO PUBLIC RIGHT-OF-WAY. RETENTION BASIN WATER DEPTH SHALL NOT EXCEED 3 FEET ON PRIVATE PROPERTY OR 1.5 FEET DEPTH WITHIN 10' OF PUBLIC RIGHT-OF-WAY.

K. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND CONFIRMING DEPTH OF ALL EXISTING UTILITY LINES WITHIN PROPOSED RETENTION BASIN AREAS. IF THE BASIN CANNOT BE CONSTRUCTED PER PLAN AS A RESULT OF CONFLICT WITH UNDERGROUND UTILITIES, THE CONTRACTOR SHALL CONTACT THE CITY AND DESIGNER AND REQUEST MODIFICATION OF BASIN DESIGN.

L. REPRODUCABLE "AS-BUILT" PLANS, CERTIFIED BY THE DEVELOPER'S REGISTERED ENGINEER OR REGISTERED LAND SURVEYOR, SHALL BE SUBMITTED TO THE CITY AND APPROVED PRIOR TO ISSUANCE OF A BUILDING "CERTIFICATE OF OCCUPANCY".

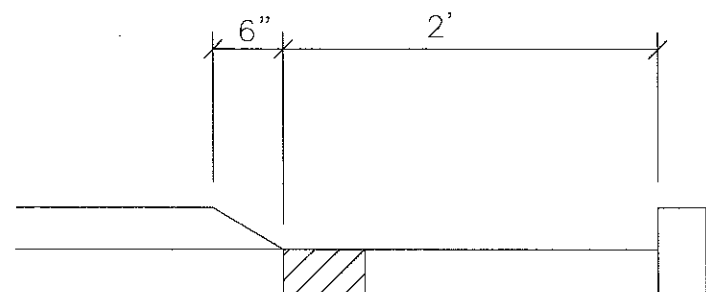
M. THIS SET OF PLANS HAS BEEN REVIEWED FOR COMPLIANCE WITH CITY REQUIREMENTS PRIOR TO THE ISSUANCE OF CONSTRUCTION PERMITS AND SHALL BE KEPT AT THE CONSTRUCTION SITE. SUCH REVIEW SHALL NOT PREVENT THE CITY FROM REQUIRING CORRECTION OF ERRORS IN PLANS WHICH ARE FOUND TO BE IN VIOLATION OF ANY LAW OR ORDINANCE.

N. YOU ARE HEREBY ADVISED THAT NO PERSON SHALL USE ANY MECHANICAL EQUIPMENT FOR LEVELING OR CLEARING, ROAD CONSTRUCTION, TRENCHING, EXCAVATING, DEMOLITION OR ENGAGE IN ANY EARTHMOVING ACTIVITY WITHOUT FIRST OBTAINING A PERMIT FROM AIR POLLUTION CONTROL, MARICOPA COUNTY DEPARTMENT OF ENVIRONMENTAL SERVICES, 1001 NORTH CENTRAL AVENUE, PHOENIX, AZ 85004, PHONE 602-506-8010.

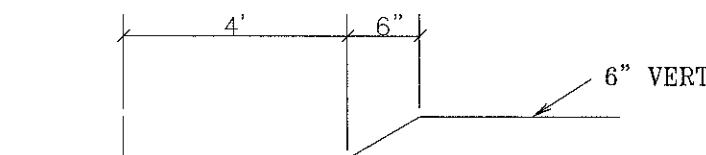
O. FOR EACH PROJECT WHICH INCLUDES DRYWELLS, THE FOLLOWING IS REQUIRED:

1. AN ENGINEER'S (OR DRILLING COMPANY) CERTIFICATION THAT THE DRYWELLS HAVE BEEN REGISTERED WITH ARIZONA DEPARTMENT OF ENVIRONMENTAL QUALITY (ADEQ), AND THAT THE INSTALLATION WILL CONFORM WITH ADEQ'S REQUIREMENTS.

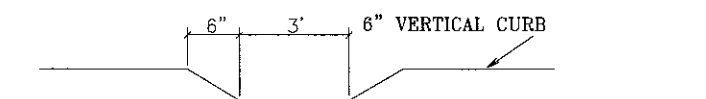
2. A COPY OF EACH DRYWELL DRILLING LOG AND AN ENGINEER'S "AS-BUILT CERTIFICATION" THAT EACH DRYWELL WAS INSTALLED IN ACCORDANCE WITH THE PLANS, AND SPECIFICATIONS AND ADEQ REQUIREMENTS SHALL BE PROVIDED TO THE CITY OF GLENDALE DEVELOPMENT SERVICES CENTER.



2' CURB OPENING



4' CURB OPENING



3' CURB OPENING

WATER NOTES

A. THE DEVELOPER IS RESPONSIBLE FOR MAKING PROPER APPLICATION AND PAYING THE PREVAILING FEES PRIOR TO CONSTRUCTION OF ALL SERVICES.

B. BUTTERFLY VALVES ARE NOT ALLOWED IN LINES 12" AND SMALLER.

C. GATE VALVES SHALL BE RESILIENT SEATED, SOLID WEDGE GATE, FULLY ENCAPSULATED AND OPEN LEFT.

D. TAPPING VALVES SHALL BE FLANGE BY MECHANICAL JOINT TO ALLOW TAPPING BY CONTRACTOR.

E. TAPS TO EXISTING MAINS SHALL BE DONE BY A CITY APPROVED CONTRACTOR. NO TAP SHALL BE MADE UNTIL THE CITY INSPECTOR HAS APPROVED THE INSTALLATION OF THE TAPPING SLEEVE, THRUST BLOCK AND VALVE PLACEMENT. NO TAP SHALL BE MADE WITHOUT A CITY UTILITIES DEPARTMENT REPRESENTATIVE PRESENT.

F. CONSTRUCTION SURVEY STAKES SHALL BE IN PLACE AND CUT SHEETS SHALL BE PROVIDED TO THE CITY CONSTRUCTION ENGINEERING INSPECTOR PRIOR TO STARTING CONSTRUCTION.

G. CONFLICTS WITH EXISTING UTILITIES DISCOVERED DURING CONSTRUCTION SHALL BE CALLED TO THE ATTENTION OF THE CITY AND RESOLVED PRIOR TO PROCEEDING.

H. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR/DEVELOPER TO HAVE THE SERVICE LINE VISIBLE AND ACCESSIBLE WHEN REQUESTING THE INSTALLATION OF A WATER METER OR A PRE-FINAL INSPECTION.

I. ONLY CITY FORCES ARE AUTHORIZED TO OPEN AND CLOSE EXISTING WATER VALVES.

J. ALL ASBESTOS CEMENT PIPE FITTINGS SHALL BE RINGTITE.

K. ALL WATER LINES SHALL BE STAKED PRIOR TO TRENCHING AT A MAXIMUM STAKING INTERVAL OF 50', EXCEPT WHEN CITY ENGINEER APPROVES THE USE OF LASER.

L. LOCATION OF ALL WATE VALVES MUST BE REFERENCED AT ALL TIMES DURING CONSTRUCTION AND MADE AVAILABLE TO THE UTILITIES DEPARTMENT.

M. ALL MATERIALS WHICH MAY COME IN CONTACT WITH DRINKING WATER SHALL CONFORM TO THE NATIONAL SANITATION FOUNDATION STANDARDS 60 AND 61.

N. THRUST BLOCKS SHALL BE INSTALLED AT ALL VALVES, FIRE HYDRANTS AND FITTINGS WHERE THERE IS A CHANGE IN SIZE OR DIRECTION UNLESS APPROVAL IS OBTAINED FROM THE CITY.

SEWER NOTES

A. THE DEVELOPER IS RESPONSIBLE FOR MAKING PROPER APPLICATION AND PAYING THE P REVAILING FEES PRIOR TO CONSTRUCTION OF ALL SERVICES.

B. MAG STANDARD DETAIL 404 SHALL APPLY.

C. CONSTRUCTION SURVEY STAKES SHALL BE IN PLACE AND CUT SHEETS SHALL BE PROVIDED TO THE CITY'S CONSTRUCTION ENGINEERING INSPECTOR PRIOR TO STARTING CONSTRUCTION.

D. CONFLICTS WITH THE EXISTING UTILITIES DISCOVERED DURING CONSTRUCTION SHALL BE CALLED TO THE ATTENTION OF THE CITY AND RESOLVED PRIOR TO PROCEEDING.

E. ALL SEWER LINES SHALL BE STAKED PRIOR TO TRENCHING AT A MAXIMUM STAKING INTERVAL OF 50', EXCEPT WHEN THE CITY ENGINEER APPROVES USE OF LASER.

F. LOCATION OF ALL MANHOLES AND CLEANOUTS MUST BE REFERENCED AT ALL TIMES DURING CONSTRUCTION AND MADE AVAILABLE TO THE UTILITIES DEPARTMENT.

G. ALL NEW SEWER MAINS SHALL BE INSPECTED BY CLOSED CURCUIT TELEVISION METHODS ACCEPTABLE TO THE CITY. ANY DEFECTS DISCOVERED DURING TELEVIEWED INSPECTION SHALL BE CORRECTED AND RE-TELEVIEWED AT NO COST TO THE CITY. VIDEO TAPES OR CDS OF ALL TELEVIEWED INSPECTIONS SHALL BE PROVIDED TO THE CITY PRIOR TO FINAL ACCEPTANCE OF THE SEWER MAIN.

REQUIRED RETENTION

The required on-site retention is as follows:

$$V = C \cdot I \cdot A = .90 \cdot .24 \cdot 566,251 = 126,830 \text{ CF}$$

The required retention from the half street is as follows:

$$V = C \cdot I \cdot A = .95 \cdot .24 \cdot 53,880 = 13,151 \text{ CF}$$

The total retentions required

$$V = V(\text{on-site} + \text{off-site}) = 139,781 \text{ CF}$$

FORVISED RETENTION

Surface Retention

Basin 1 = 2,906 CF

Basin 2 = 954 CF

Basin 3 = 1,836 CF

Basin 4 = 1,306 CF

Basin 5 = 936 CF

Basin 6 = 8,822 CF

Basin 7 = 5,189 CF

Basin 8 = 3,504 CF

Total Surface Retention = 25,453 CF

Underground Retention

Basin A-1 = 7,852 CF

Basin A-2 = 5,988 CF

Basin A-3 = 21,721 CF

Basin A-4 = 40,460 CF

Basin A-5 = 19,174 CF

Basin A-6 = 7,115 CF

Basin A-7 = 10,411 CF

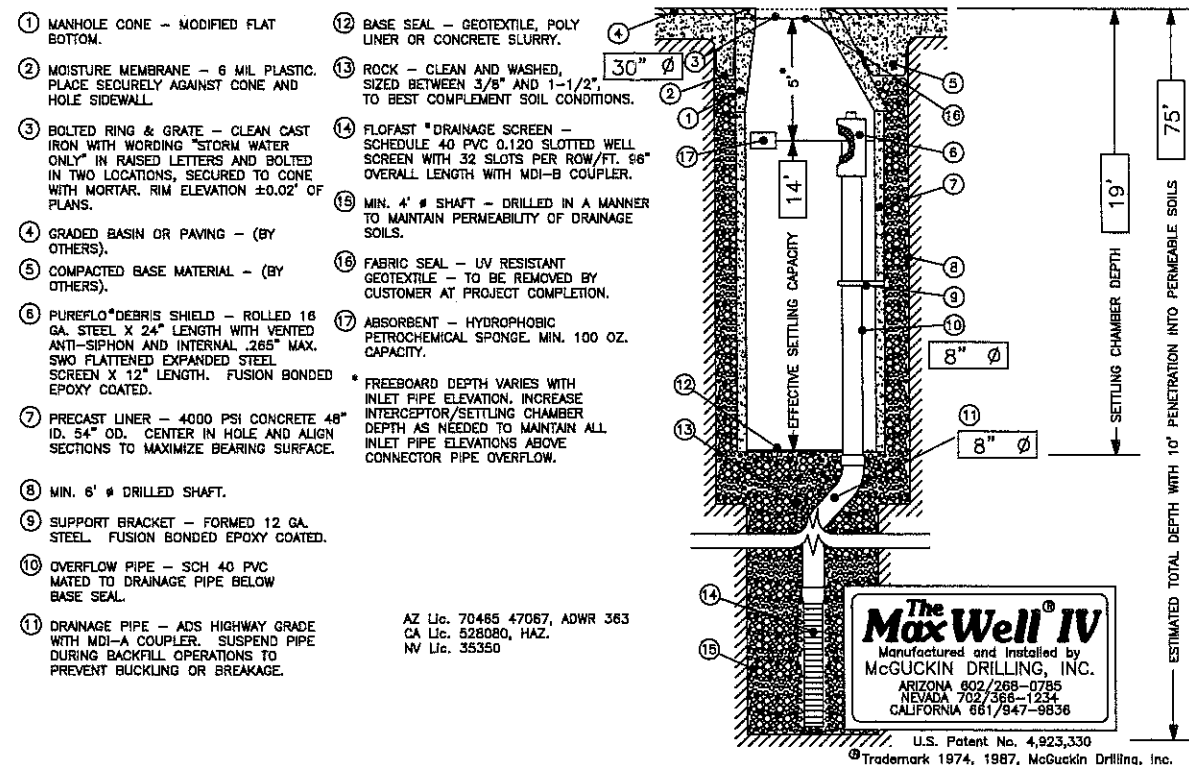
Basin A-8 = 2,546 CF

Total Underground

Retention = 119,267 CF

TOTAL RENTION PROVIDED = 143,720 CF

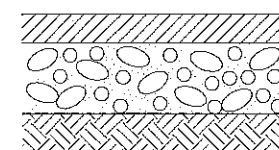
MaxWell®IV Drainage System Detail And Specifications



The MaxWell®IV
Manufactured and Installed by
McGUCKIN DRILLING, INC.
ARIZONA 602/268-0785
NEVADA 702/368-1234
CALIFORNIA 661/847-8836

U.S. Patent No. 4,923,330
©Trademark 1974, 1987, McGuckin Drilling, Inc.

PER ACURA ENGINEERING
GEOTECHNICAL REPORT A07-0002G



MINIMUM PAVEMENT SECTION

PARKING AREAS

2" AC

6" A.B.C.

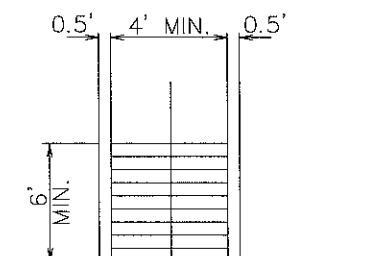
SUBGRADE AT 95%
SUBGRADE AT 100% 5' OR MORE
RELATIVE COMPACTION

TRAFFIC AREAS

3" AC

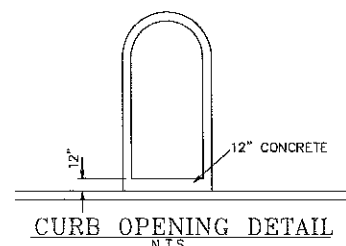
6" A.B.C.

05' FILL



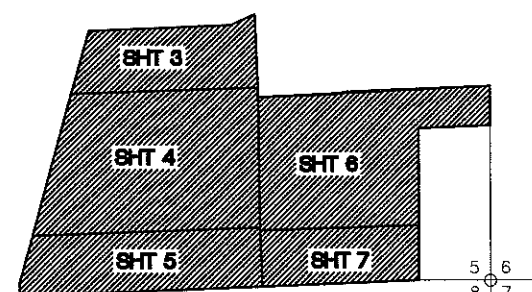
ACCESS RAMP TYPICAL

N.T.S.



CURB OPENING DETAIL

N.T.S.



KEY MAP
N.T.S.



CALL TWO WORKING DAYS
BEFORE YOU DIG
602-263-1190
1-800-STAKE-IT
(OUTSIDE MARICOPA COUNTY)

PROJECT MANAGER: T. D. Johnson, P.E.
ENGINEER: T. D. Johnson, P.E.
REG. NO.: 11792
SEAL NO.: 11792
SEAL NO.: 11792
SEAL NO.: 11792

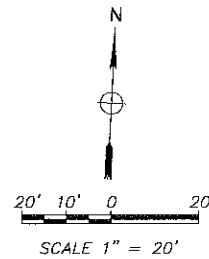
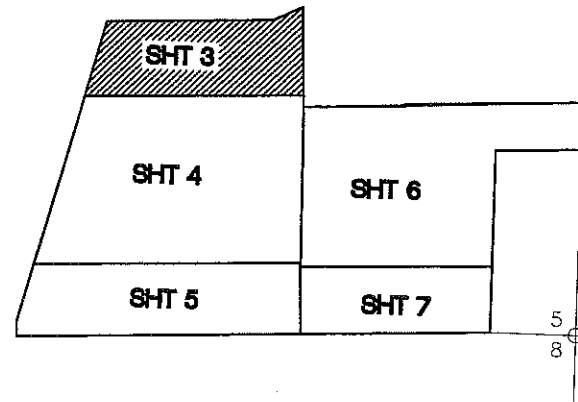
ACCOUNT: 06-01-01
DESIGNED BY: BAS
DRAWN BY: STS
CHECKED BY: JMS
APPROVED BY: JDU

NOTES

ONSITE IMPROVEMENT PLANS
GATEWAY CENTER
GLENDALE, ARIZONA

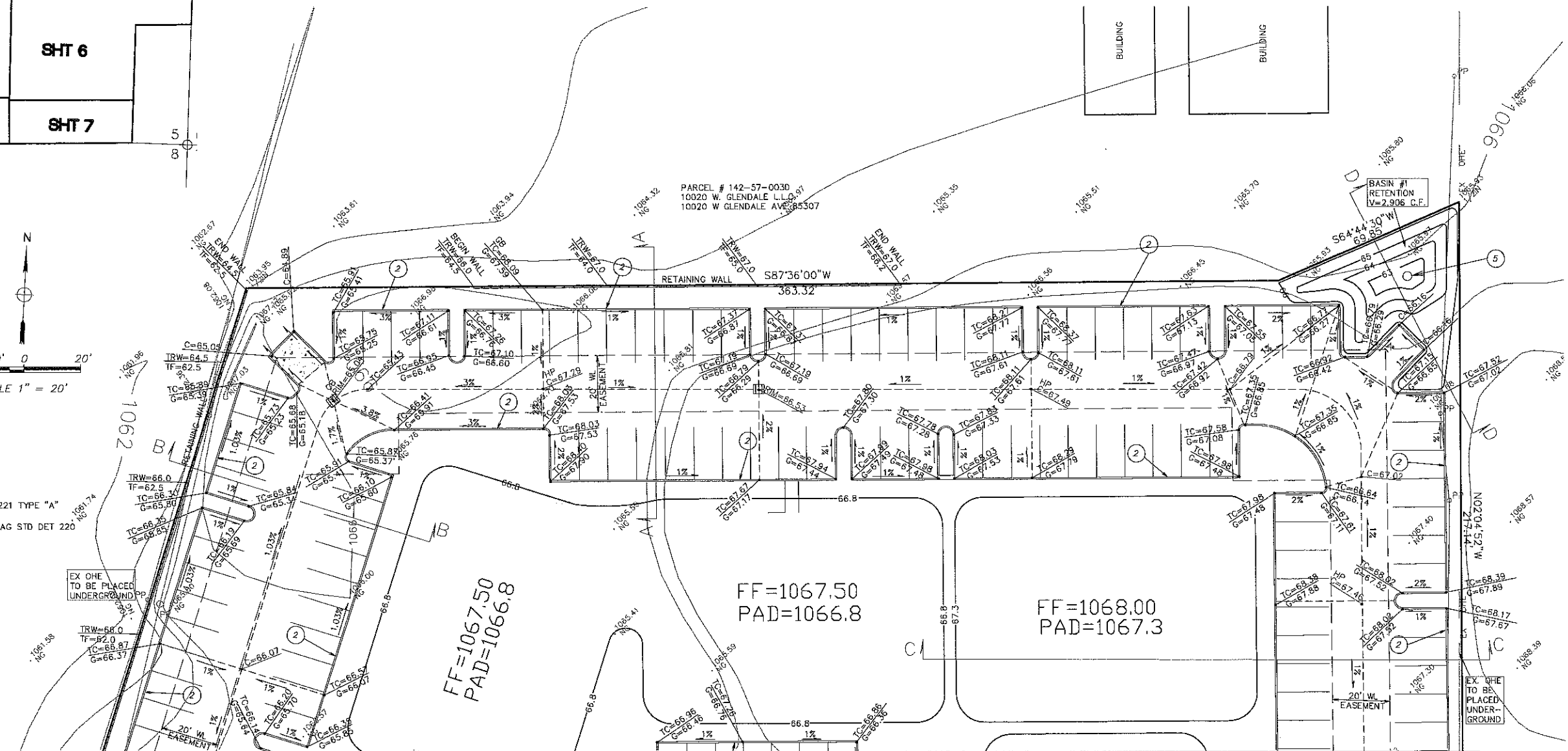
DRAWING
2
SHEET
OF
14

EXHIBIT F-2

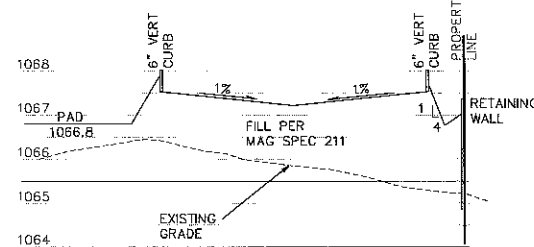


CONSTRUCTION NOTES

- 1 CURB OPENING PER DETAIL ON SHEET 2
- 2 INSTALL 6" VERT CURB PER MAG STD DET 221 TYPE "A"
- 3 INSTALL 6" VERT CURB AND GUTTER PER MAG STD DET 220 TYPE "A"
- 4 4" CONCRETE SIDEWALK
- 5 DRYWELL PER DETAIL ON SHEET 2
- 6 INSTALL SCUPPER PER MAG STD DET 206.2

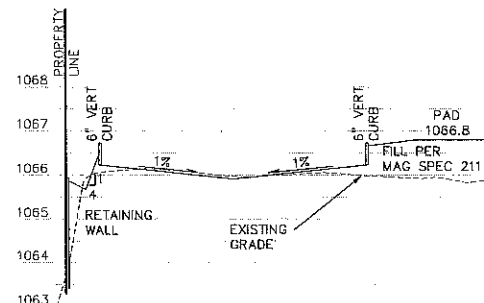


MATCHLINE SEE SHEET 4



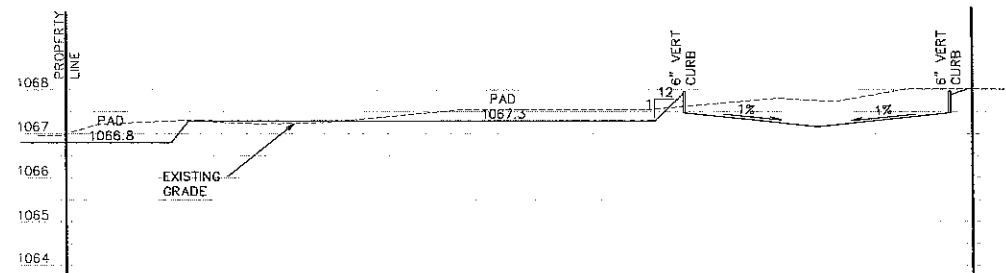
SECTION A-A

1"=20' HORIZ.
1"=2' VERT.



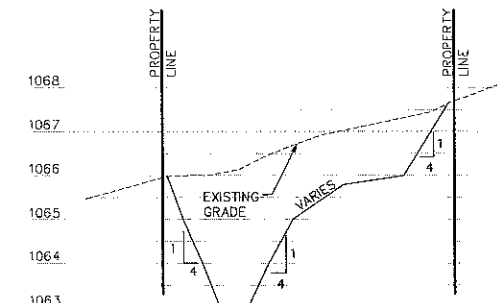
SECTION B-B

1"=20' HORIZ.
1"=2' VERT.



SECTION C-C

1"=20' HORIZ.
1"=2' VERT.



SECTION D-D

1"=20' HORIZ.
1"=2' VERT.



ON-SITE IMPROVEMENT PLANS
GATEWAY CENTER
GLENDALE, ARIZONA

GRADING AND
DRAINAGE PLAN

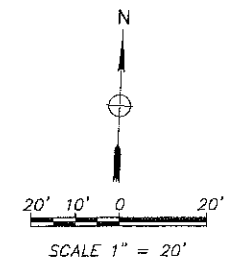
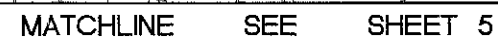
DRAWING
3
SHEET
OF 14

GENERAL ENGINEERING SUPPORT, LLC
2609 S. LITCHFIELD RD., GLENDALE, ARIZ. 85308 / PHONE: 623-374-2599

ACCOUNT: DR. 01
DESIGNED BY: T.D. JOHNSON
DRAWN BY: T.D. JOHNSON
CHECKED BY: T.D. JOHNSON
APPROVED BY: T.D. JOHNSON

PROJECT MANAGER: T.D. JOHNSON
ENGINEER OF RECORD: T.D. JOHNSON
SURVEY OF RECORD: T.D. JOHNSON
REG. NO.: 15557

EXHIBIT F-3



**CALL TWO WORKING DAYS
BEFORE YOU DIG**
602-263-1100
1-800-STAKE-IT
(OUTSIDE MARICOPA COUNTY)

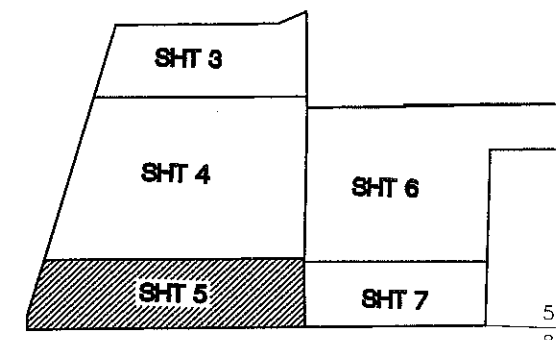
ONSITE IMPROVEMENT PLANS
GATEWAY CENTER
GLENDALE, ARIZONA

GRADING AND DRAINAGE PLAN

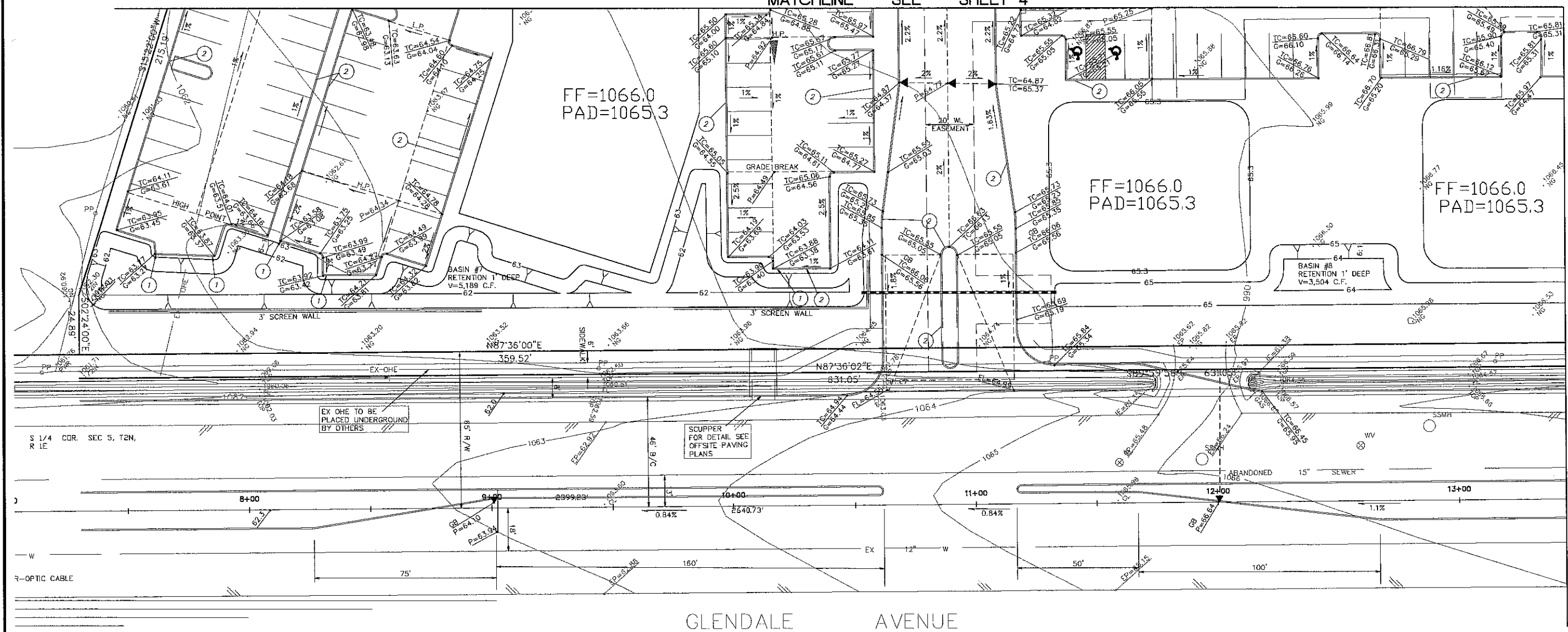
ACCOUNT: 06-01-01
DATE: 1 MAY 2
DESIGNED BY: RAS
DRAWN BY: SLS
CHECKED BY: MAS
APPROVED BY: TDJ

GENERAL ENGINEERING SUPPORT, LLC
1600 S. LITCHFIELD RD. GOODYEAR, ARIZ. 85338 | PHONE: 623-374-2500

PROJECT MANAGER:	T D Johnson	PE	1
ENGR. of RECORD:	T D Johnson	PE	2
REG. NO:	11792		3
SRYR of RECORD:	T D Johnson	RLS	4
REG. NO:	16557		5



MATCHLINE SEE SHEET 4



FF=1066.0
PAD=1065.3

FF=1066.0
PAD=1065.3

FF=1066.0
PAD=1065.3

BASIN #7
RETENTION 1' DEEP
V=5,189 C.F.

BASIN #8
RETENTION 1' DEEP
V=3,504 C.F.

S 1/4 COR. SEC 5, T2N,
R 1E

EX OHE TO BE
PLACED UNDERGROUND
BY OTHERS

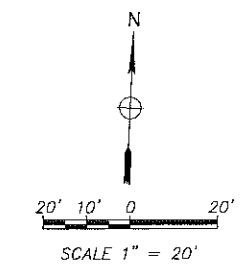
SCUPPER
FOR DETAIL SEE
OFF-SITE PAVING
PLANS

ABANDONED
15" SEWER

NOTE:
OFFSITE IMPROVEMENT SHOWN FOR REFERENCE ONLY SEE
OFFSITE IMPROVEMENT PLANS FOR DETAILS

CONSTRUCTION NOTES

- 1 CURB OPENING PER DETAIL ON SHEET 2
- 2 6" VERTICAL CURB PER MAG STD DETAIL
- 3 6" VERTICAL CURB AND GUTTER PER MAG STD DETAIL
- 4 6" CONCRETE SIDEWALK PER MAG STD DETAIL
- 5 DRYWELL PER DETAIL ON SHEET 2
- 6 INSTALL SCUPPER PER MAG STD DET 206.2



MATCHLINE SEE SHEET 7

GENERAL ENGINEERING SUPPORT, LLC
2608 S. LITCHFIELD RD. GILBERT, ARIZ. 85038 / PHONE: 602-374-2590

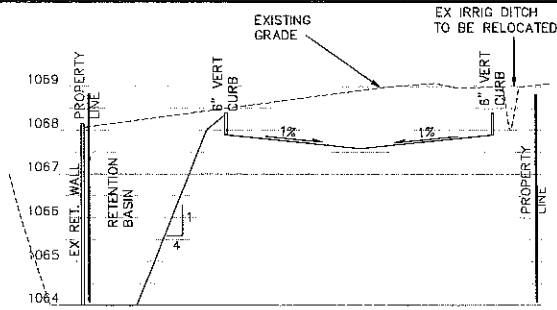
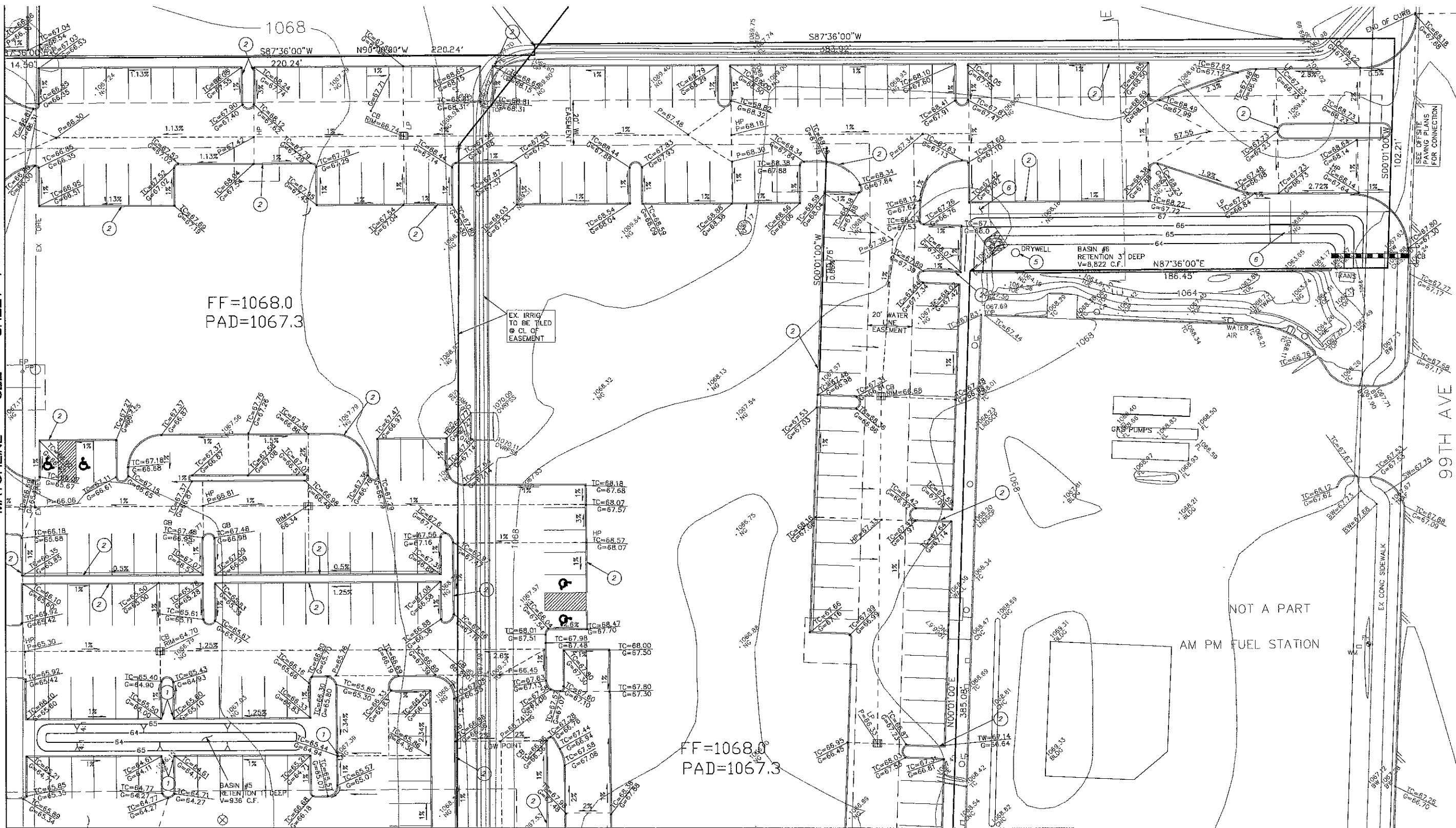
GRADING AND
DRAINAGE PLAN

ONSITE IMPROVEMENT PLANS
GATEWAY CENTER
GLENDALE, ARIZONA

5
SHEET
OF 14

EXHIBIT F-5

MATCHLINE SEE SHEET 4



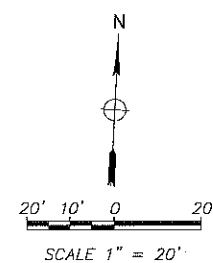
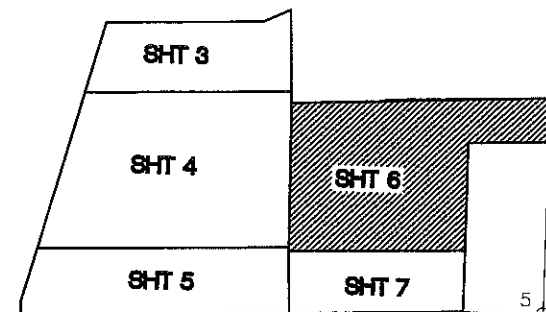
SECTION E-E

1"=20' HORIZ.
1"=2' VERT.

MATCHLINE SEE SHEET 7

CONSTRUCTION NOTES

- 1 CURB OPENING PER DETAIL ON SHEET 2
- 2 6" VERTICAL CURB PER MAG STD DETAIL
- 3 6" VERTICAL CURB AND GUTTER PER MAG STD DETAIL
- 4 4' CONCRETE SIDEWALK
- 5 DRYWELL PER DETAIL ON SHEET 2
- 6 INSTALL SCUPPER PER MAG STD DET 206.2



GENERAL ENGINEERING SUPPORT, LLC
2808 S. LITCHFIELD RD. GROUND, ARIZ. 85308 | PHONE: 623-374-2590

GRADING AND DRAINAGE PLAN

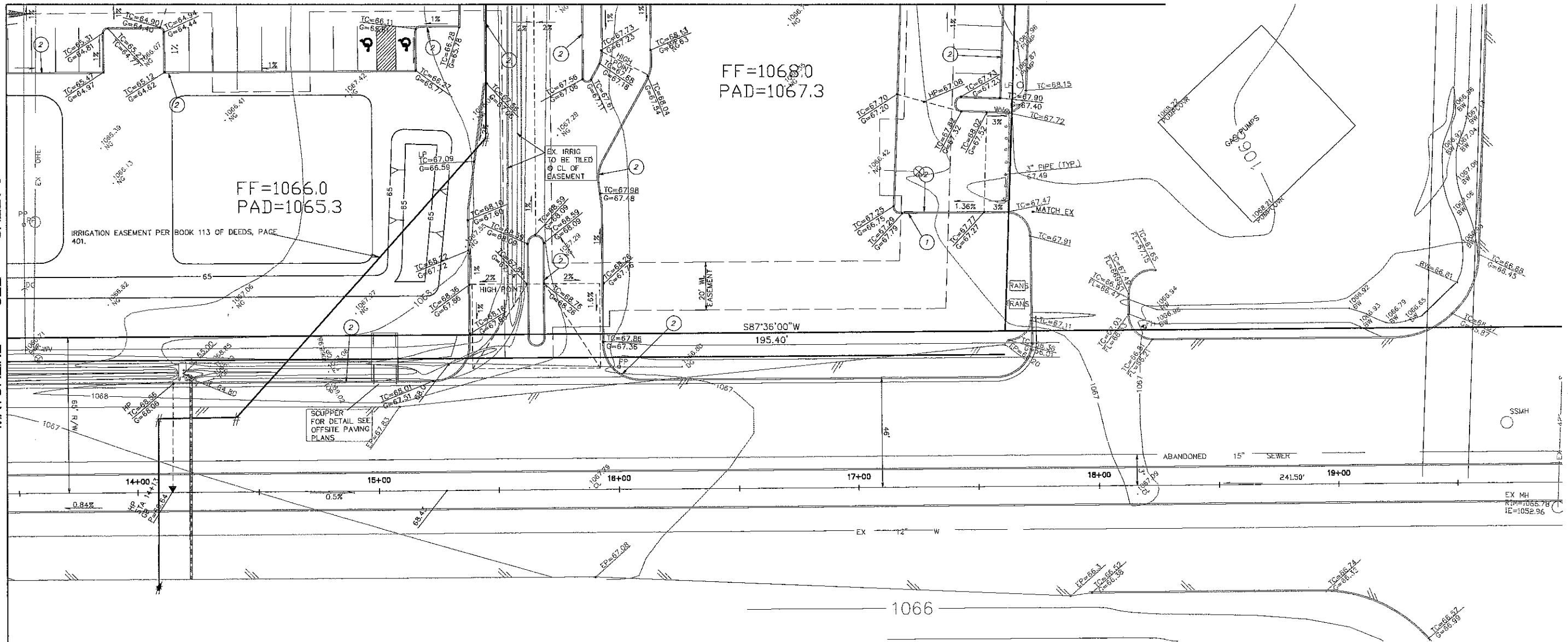
ONSITE IMPROVEMENT PLANS
GATEWAY CENTER
GLENDALE, ARIZONA

SHEET 6 OF 14

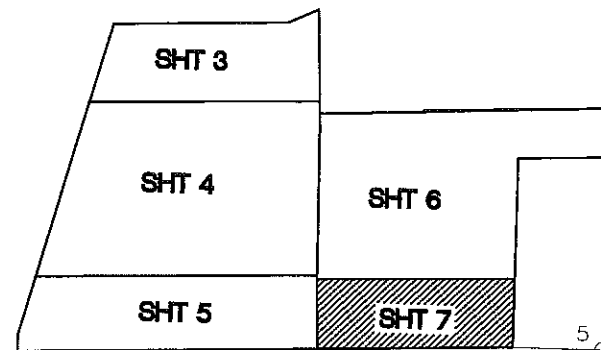
EXHIBIT F-6

MATCHLINE SEE SHEET 5

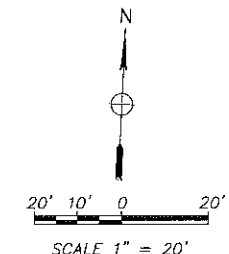
MATCHLINE SEE SHEET 6



NOTE:
OFFSITE IMPROVEMENT SHOWN FOR REFERENCE ONLY SEE
OFFSITE IMPROVEMENT PLANS FOR DETAILS



- CONSTRUCTION NOTES
- 1 CURB OPENING PER DETAIL ON SHEET 2
 - 2 6" VERTICAL CURB PER MAG STD DETAIL
 - 3 6" VERTICAL CURB AND GUTTER PER MAG STD DETAIL
 - 4 4' CONCRETE SIDEWALK
 - 5 DRYWELL PER DETAIL ON SHEET 2
 - 6 INSTALL SCUPPER PER MAG STD DET 206.2



CALL TWO WORKING DAYS
BEFORE YOU DIG
602-283-1100
1-800-STAKE-IT
(OUTSIDE MARICOPA COUNTY)

GENERAL ENGINEERING SUPPORT, LLC
2608 S. LITCHFIELD RD. GODYEAR, ARIZ 85338 | PHONE 602-374-2990

ACCOUNT: 09-01-01
DATE: 1 MAY 2007
DESIGNED BY: JAS
CHECKED BY: WAS
APPROVED BY: DJ

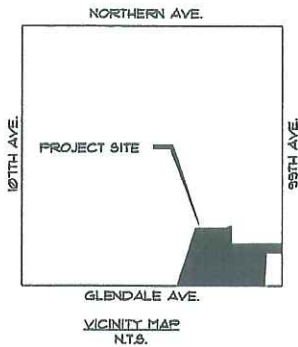
ONSITE IMPROVEMENT PLANS
GATEWAY CENTER
GLENDALE, ARIZONA

GRADING AND
DRAINAGE PLAN

SHEET 7
14

PROJECT MANAGER: T D Johnson PE
ENGINEER OF RECORD: T D Johnson PE
RECORD NO: 11782
SEWER OF RECORD: T D Johnson RLS
RECORD NO: 16527

EXHIBIT F-7



LAND USE SUMMARY

USE	#/BLDG.	FLOORS	SQ. FT.	% CVR.	TOTAL SF
OFFICE CONDO	7	1	43,400	7.4%	43,400
CLASS "A" OFFICE	1	4	10,000	1.7%	40,000
HOTEL	2	5	29,424	5.1%	147,120
RESTAURANT	3	1	17,400	2.9%	17,400
PARKING/PAVEMENT			321,403	54.8%	
OPENSACE/RETENTION			164,624	28.1%	
TOTAL SITE AREA			586,251	100%	

PARKING SUMMARY

USE	#/BLDG.	FLOORS	TOTAL SF	SPACES REQ.
OFFICE CONDO	7	1	43,400	145
CLASS "A" OFFICE	1	4	40,000	133
HOTEL	2	5	147,120	158
RESTAURANT	3	1	17,400	174
TOTAL SPACES REQ.				610
SPACES PROVIDED				630 + 24HC = 654

PLANT LEGEND

TREE SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
	Acacia salicina	Willow Acacia	15 Gallon/ 24" Box
	Dalbergia sissoo	Sissoo Tree	15 Gallon/ 24" Box
	Parkinsonia Hybrid "Desert Museum"	Desert Museum Palo Verde	24" Box
	Phoenix dactylifera	Date Palm	Diamond cut, Matching form
SHRUBS SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
	Convolvulus cneorum	Bush Morning Glory	5 Gallon
	Caesalpinia pulcherrima	Red Bird of Paradise	5 Gallon
	Leucophyllum candidum	"Thunder Cloud"	5 Gallon
	Leucophyllum frutescens	Green Cloud Sage	5 Gallon
	Muhlenbergia rigens	Deer Grass	5 Gallon
	Hesperaloe parviflora	Red Hesperaloe	5 Gallon
	Agave murphyi	Murphy's Agave	5 Gallon
	Bougainvillea "Barbara Karst"	Barbara Karst Bougainvillea	5 Gallon
	Dasylirion wheeleri	Desert Spoon	5 Gallon
	Pedilanthus macrocarpus	Lady Slipper	5 Gallon
	Lantana camara	Gold Mound Lantana	1 Gallon
	Cynodon dactylon	Mid-Iron Lawn-Hybrid Bermuda Grass	6,553 SF.
	DECOMPOSED GRANITE	EXPRESS BROWN 1/2" MINUS	

NOTE: 50% of all trees will be 24" Box.

SANDBOX
SANDBOX CONSULTANTS, INC.
5009 E. WASHINGTON STREET, SUITE 100
PHOENIX, AZ 85034
(602) 275-5445 OFFICE
(602) 388-4172 FAX
WWW.SANDBOXDEVELOPMENT.COM

Revisions
3-29-06 CITY COM.
1-18-07 CITY COM.
4-6-07 LAYOUT REV.
5-4-07 LAYOUT REV.

GATEWAY CENTER
GLENDALE, AZ

PRELIMINARY LANDSCAPE PLAN

263-1100
1-800-STAKE-IT
JOB NUMBER

Designed by: CFL
Drawn by: BA
Checked by: TD
Date: 8-16-06
SHEET

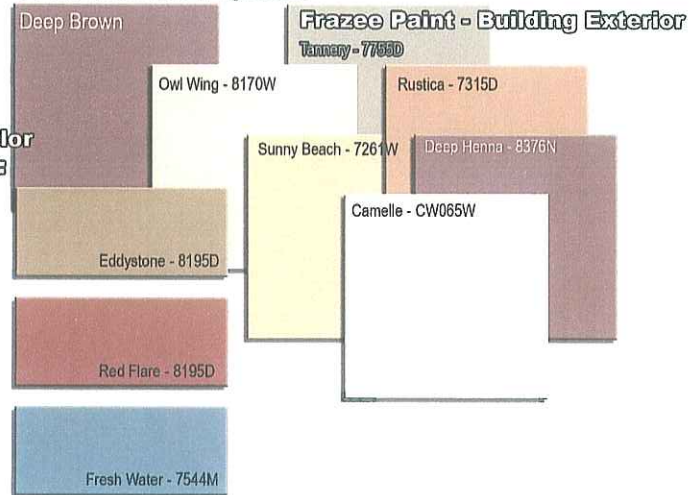
1 OF 1

EXHIBIT G

Color Palette "A"

Prodema Panel System

Optional
Awning Color
Selections:



Color Palette "C"

Frazee Paint - Building Exterior

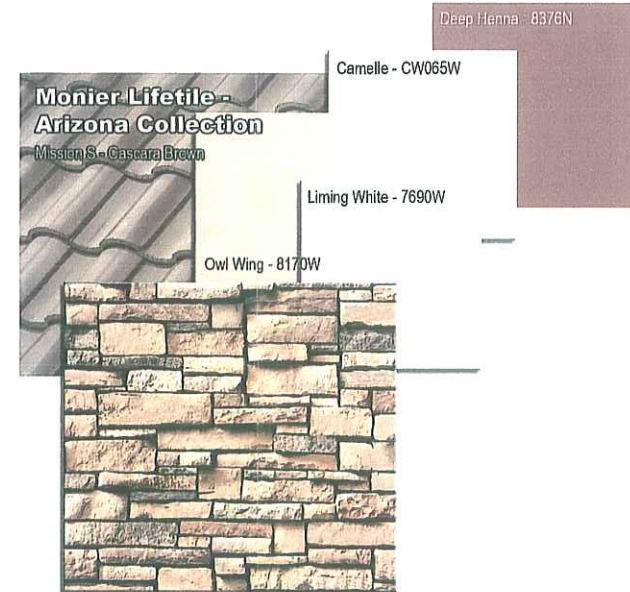


Cultured Stone
Country LedgeStone - Red Rock (Tight-Fit joints)

Color Palette "B"

Alpolic Exterior Cladding System

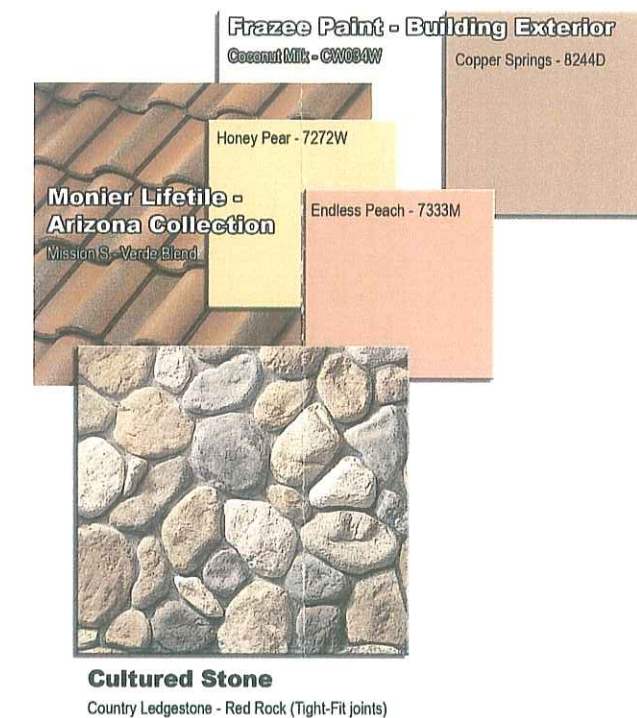
Cultured Stone
Country LedgeStone - Red Rock (Tight-Fit joints)



Cultured Stone
Drystack LedgeStone - Cedar (Tight-Fit joints)

Color Palette "D"

Color Palette "E"



Cultured Stone
Country LedgeStone - Red Rock (Tight-Fit joints)

EXHIBIT H

Gateway Center - Glendale, Arizona

Typical Color Palette



EXHIBIT I

Gateway Center - Glendale, Arizona

Condominium Office Building - Front / Rear Elevation SCALE: 3/8" = 1'-0"



EXHIBIT J-1

Gateway Center - Glendale, Arizona

Office Buidling - Front Elevation SCALE: 1/8" = 1'-0"



EXHIBIT J-2

Gateway Center - Glendale, Arizona

Office Buidling - Rear / Side Elevations SCALE: 1/8" = 1'-0"

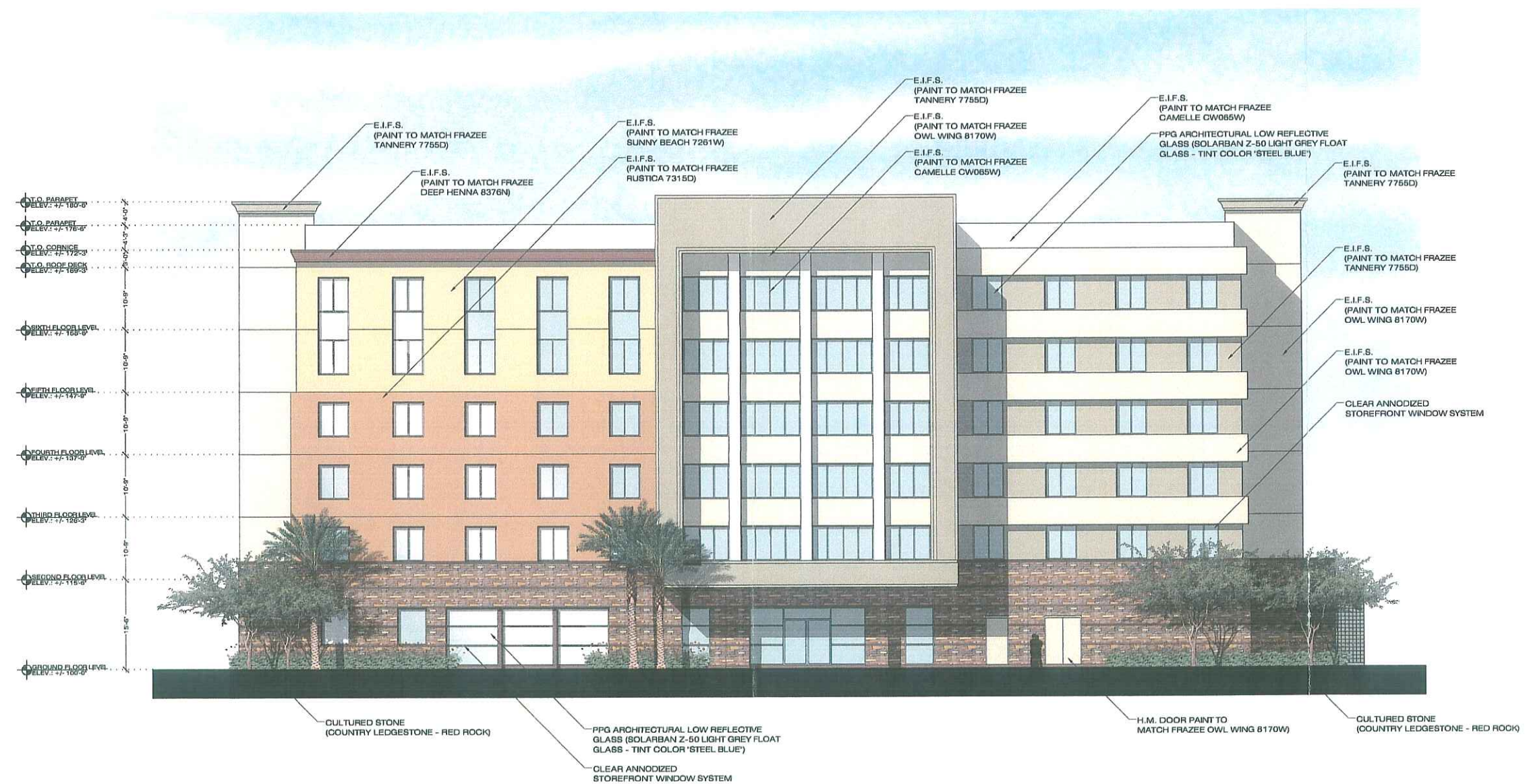


EXHIBIT K-1

Gateway Center - Glendale, Arizona

The Radisson Hotel - Front Elevation

SCALE: 1/8" = 1'-0"

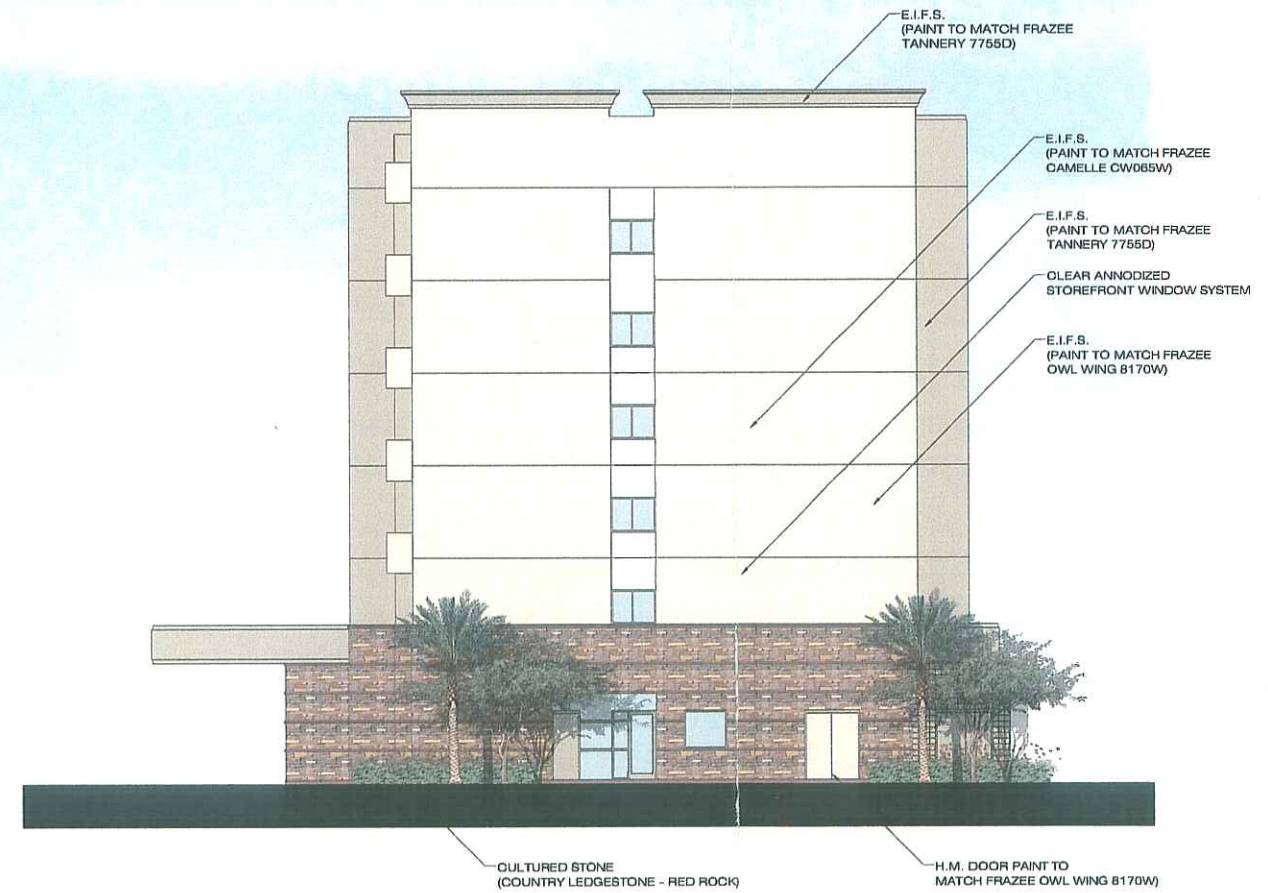
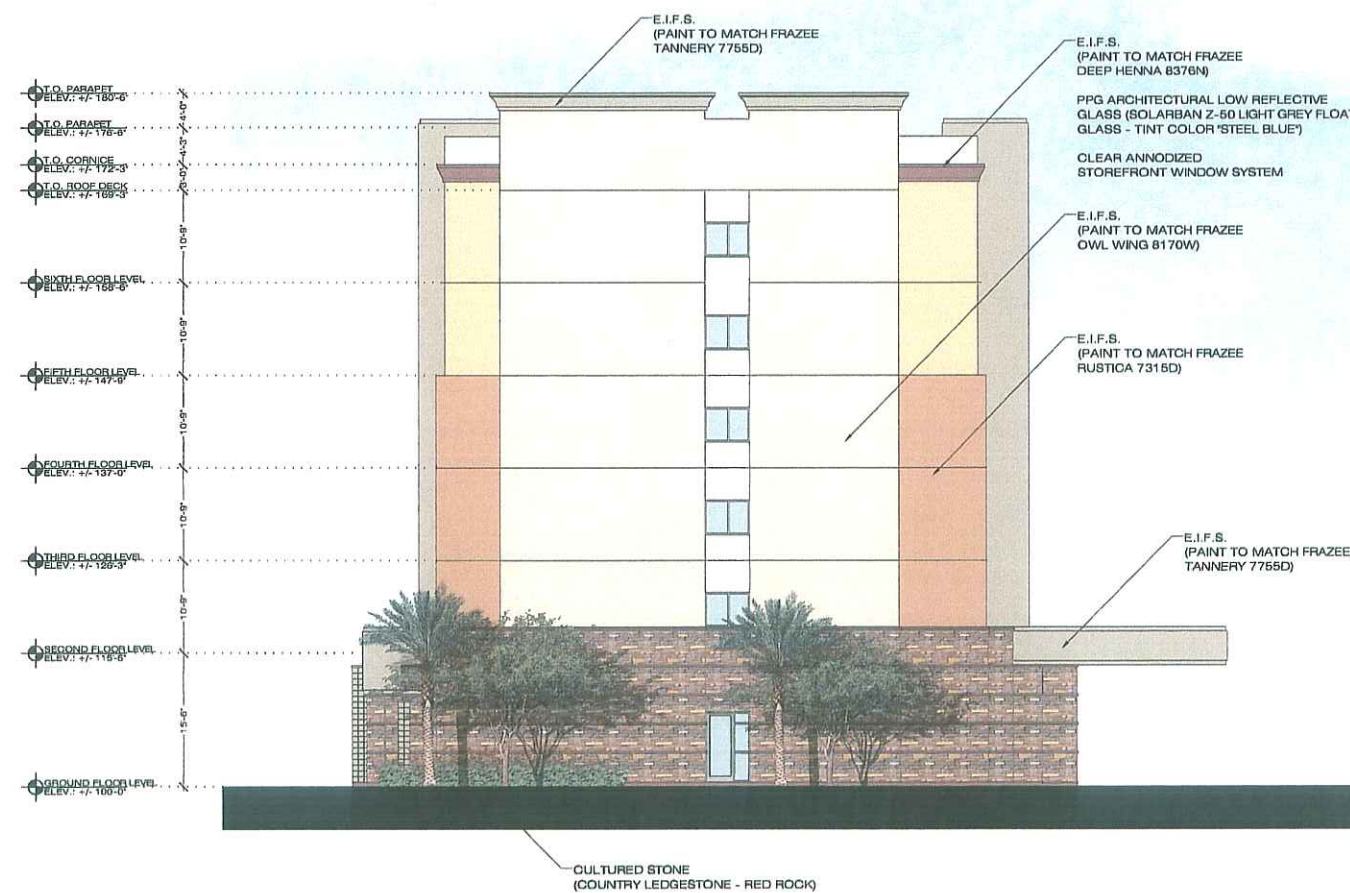


EXHIBIT K-2

Gateway Center - Glendale, Arizona

The Radisson Hotel - Side Elevation

SCALE: 1/8" = 1'-0"

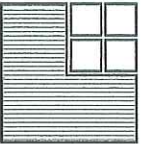


EXHIBIT K-3

Gateway Center - Glendale, Arizona

The Radisson Hotel - Rear Elevation

SCALE: 1/8" = 1'-0"



**GARY NELSON
ARCHITECT**
811 Baymist Avenue
Henderson, Nevada 89052
Ph./Fax: (702) 433-5982
Email: gnaarch@cox.net

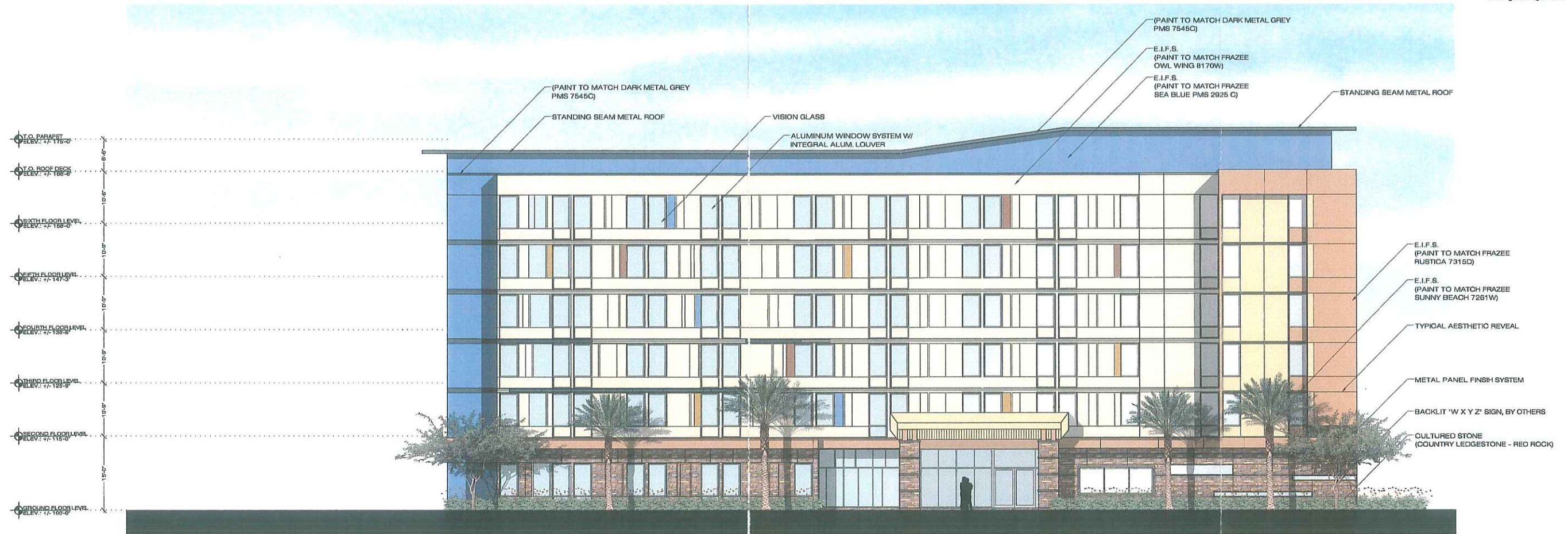


EXHIBIT L-1

Gateway Center - Glendale, Arizona

The Aloft Hotel - Front Elevation

SCALE: 1/8" = 1'-0"



**GARY NELSON
ARCHITECT**
811 Baymist Avenue
Henderson, Nevada 89052
Ph./Fax: (702) 438-8892
Email: gnaarch@cox.net

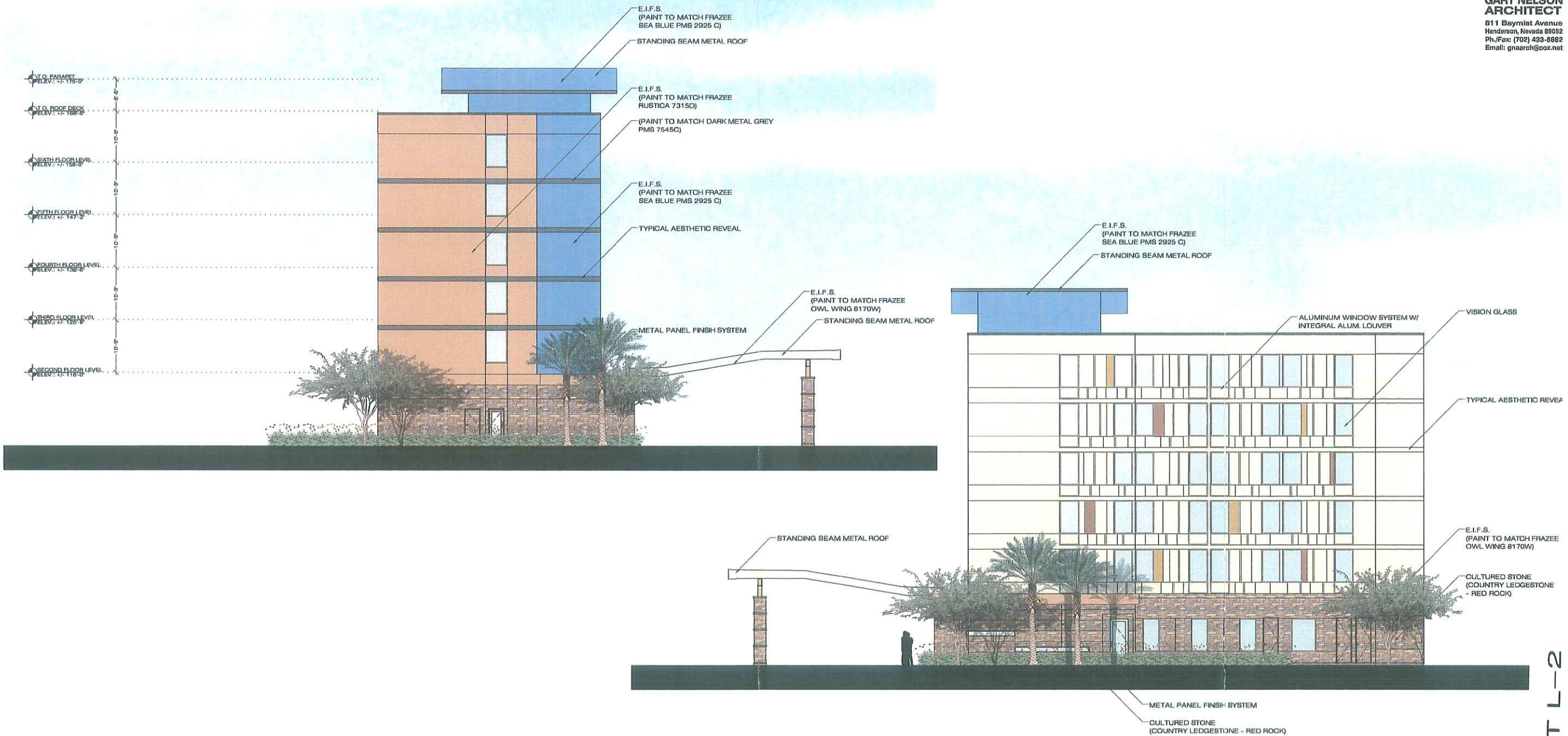
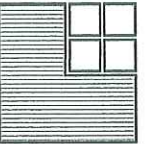


EXHIBIT L-2

Gateway Center - Glendale, Arizona

The Aloft Hotel - Side Elevation

SCALE: 1/8" = 1'-0"



**GARY NELSON
ARCHITECT**
811 Baymist Avenue
Henderson, Nevada 89052
Ph./Fax: (702) 493-6982
Email: gnaarch@cox.net

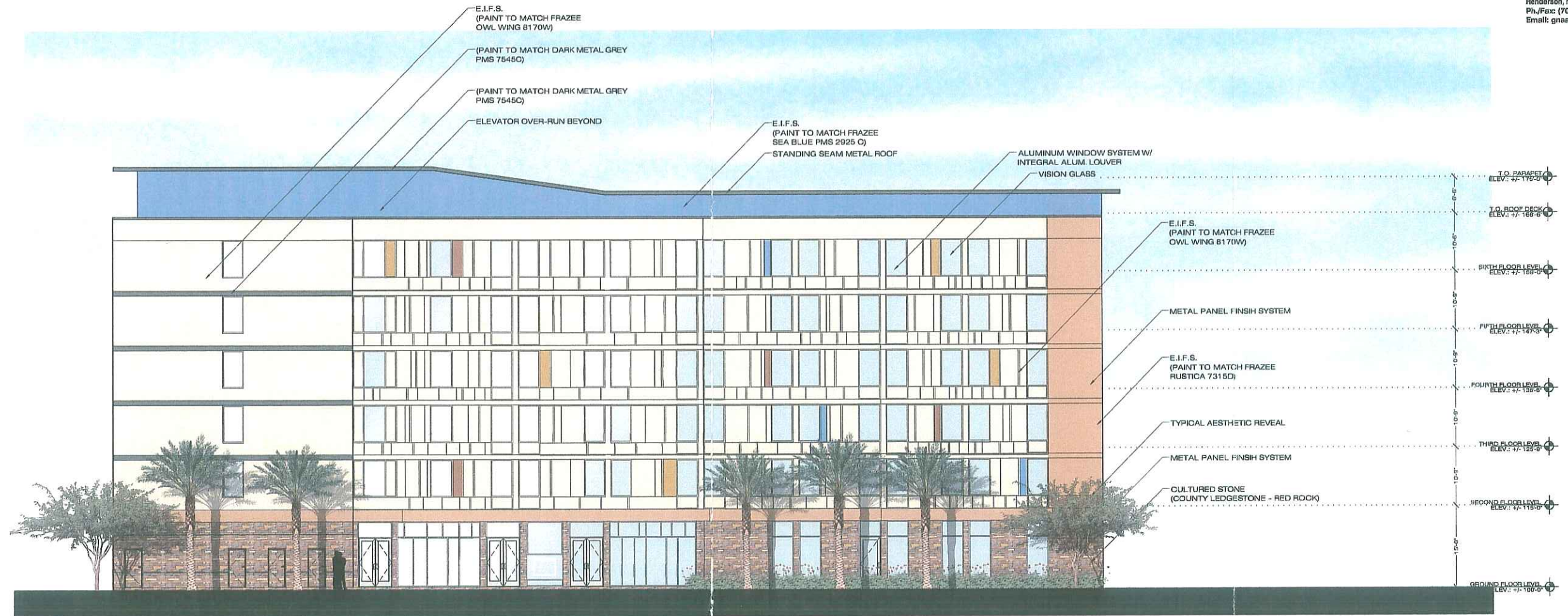


EXHIBIT L-3

Gateway Center - Glendale, Arizona

The Aloft Hotel - Rear Elevation

SCALE: 1/8" = 1'-0"

OFFICE PARKING LOT
746 points at z=0, sp 10ft by 10ft
HORIZONTAL FOOTCANDLES
Average 1.26
Maximum 4.76
Minimum 0.25
Avg:Min 5.03
Max:Min 19.04
Coef Var 0.74
UnifGrad 2.46

250W ERA Metal Halide
Type IV Distribution
candela file "RA254-250M.ies"
1 lamp(s) per luminaire, 23000 initial lumens per lamp
Light Loss Factor = 0.700, watts per luminaire = 250
mounting height= 25 ft
number locations= 4, number luminaires= 4
kw all locations= 1.0

400W ERA Metal Halide
Type IV Distribution
candela file "RA254-400M.ies"
1 lamp(s) per luminaire, 40000 initial lumens per lamp
Light Loss Factor = 0.700, watts per luminaire = 400
mounting height= 25 ft
number locations= 29, number luminaires= 29
kw all locations= 11.6

400W ERA Metal Halide
Type III Distribution
candela file "RA253-400M.ies"
1 lamp(s) per luminaire, 40000 initial lumens per lamp
Light Loss Factor = 0.700, watts per luminaire = 400
mounting height= 25 ft
number locations= 20, number luminaires= 20
kw all locations= 8.0

Property Line
332 points
HORIZONTAL FOOTCANDLES
Average 0.2
Maximum 0.8
Minimum 0.0
Avg:Min N/A
Max:Min N/A
Coef Var 0.95

PARKING LOT
2186 points at z=0, sp 10ft by 10ft
HORIZONTAL FOOTCANDLES
Average 1.93
Maximum 8.72
Minimum 0.38
Avg:Min 5.08
Max:Min 22.95
Coef Var 0.69
UnifGrad 2.20

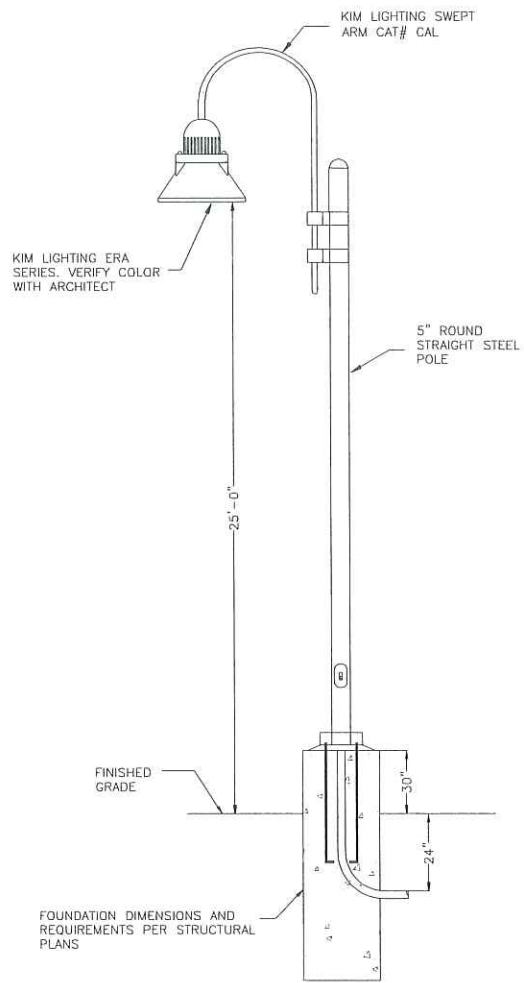
WRIGHT ENGINEERING CORPORATION
165 EAST CHILTON DRIVE CHANDLER, ARIZONA 85225 PHONE 480.487.5829 FAX 480.497.5807

PHOTOMETRIC CALCULATION SHEET. FOR INFORMATION ONLY.

PROJECT NAME:
GLENDALE GATEWAY
GLENDALE AVE & 99TH AVE

WRIGHT ENG. PROJECT NO: 06129 SHEET PH-1
DESIGN BY: AMB

PRELIMINARY NOT FOR CONSTRUCTION



PARKING-LOT LIGHT DETAIL
NO SCALE

Era®

Heritage Style Cutoff Luminaires

Era®

Inspired by the growth of the "Heritage Style" in design, the Era offers a new dimension to applying the superior performance of Kim optical systems.

Occasionally identical to other Kim Style/Roadway systems, the Era offers an alternative to traditional shapes without compromising performance.

A wide range of integrated pole designs further expands application flexibility.

ISO 9001:2000

KIM LIGHTING

SITE / AREA
PARKING STRUCTURE
ROADWAY
ARCHITECTURAL FLOOD
ACCENT
LANDSCAPE

MAILING ADDRESS
P.O. BOX 8000
CITY OF INDUSTRY, CA
91786-0000

BUSINESS ADDRESS
1666 EAST JULE AND LEE
CITY OF INDUSTRY, CA 91715
U.S.A.
PHONE 909.438.6600
FAX 909.438.2695

EMAIL CONTACTS
SALES@KIMLIGHTING.COM
INFO@KIMLIGHTING.COM
WWW.KIMLIGHTING.COM

PRINTED IN U.S.A.
5502304312
Version 1.024

Luminaire Ordering Information

Era® Series

Ordering Example:
For Standard Fixture and Pole
1A / RA173 / 175MH277 / LG-P / A-33 / CSS14-S-1188A / LG-P

1 Mounting:

RA17 70 to 175 Watt
RA25 155 to 420 Watt

2 Fixture:

Horizontal Lamp
Flat Lens
Type II
Type III
Type IV
Type V

3 Electrical Module:

RA17 177 Housing
RA25 257 Housing

WRIGHT ENGINEERING CORPORATION

165 EAST CHILTON DRIVE
CHANDLER, ARIZONA 85225
PHONE 480.497.5829
FAX 480.497.5807

PHOTOMETRIC CALCULATION SHEET. FOR INFORMATION ONLY.

PROJECT NAME:
GLENDALE GATEWAY
GLENDALE AVE & 99TH AVE

WRIGHT ENG. PROJECT NO:
06129

DESIGN BY: AMB

SHEET PH-2

PRELIMINARY NOT FOR CONSTRUCTION

H:\A\adm\GLENDALE\06129 - Glendale Gateway\06129-AUX in landscape Islands.dwg 5/04/07

EXHIBIT M-2



Short Bench



Backless Bench



Ash Urn

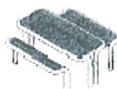


Sand Pan

Petoskey Specifications

Picnic Table and Backless Metal Rod Bench

Supports are 3" o.d. steel tubing. Tops are offered with 5/8" solid steel rod insert only. Picnic table and backless metal rod bench supports must be embedded.



picnic table with two 62" benches



picnic table with a 62" bench and 29" bench

Benches

All supports: 3" o.d. steel tubing. **Backed Bench:** Seat insert may be wood, PolySite™ recycled plastic, metal rod or perforated metal. Dual support style is embedded only. Quad support may be surface mount, embedded or freestanding. Dimensions of bench with support: 28" x 78". **Backless Perforated Bench:** Seat is perforated metal only, support may be surface mount, embedded or freestanding.



dual support



quad support



quad support

backed metal rod benches

backless perforated bench

Bench Seat Inserts

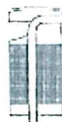
Seats are available in perforated metal, PolySite™ in 3 colors, or a selection of interior and exterior woods. **Wood:** Interior wood choices: jarrah, red oak. Interior woods are finished with LF-80, a clear catalyzed acrylic lacquer. Exterior wood choices: ipe, jarrah, red wood. **PolySite™:** recycled high density polystyrene (HDPE). Shaped boards nominal 2" thick. **Perforated Metal:** 11-gauge steel. **Metal rod panel:** 5/8" round solid steel rods at 7/8" o.c.

Litter Receptacles And Ash Urn

Formed of 11-gauge steel. Tube support for litter receptacle is 3" o.d.; may be surface mounted or embedded. Tube support receptacle may be specified with optional sand pan insert. Litter receptacle with hinged lid and ash urn feature standard freestanding/surface mount base. Custom fit 30-gallon polyethylene liner supplied with both litter receptacle styles.



litter receptacle, hinged lid



litter receptacle, tube support



ash urn

Metal Finishes

Metal parts are finished with Landscape Forms' exclusive Panguard II® polyester powdercoat, a hard yet flexible finishing process that resists rusting, chipping, peeling and fading.



Metal is the world's most recycled material and is fully recyclable. Powdercoat finish on metal parts contains no heavy metals, is HAPs-free and has extremely low VOCs. Contact us for more information regarding the recycled content of this product.

To Specify

Picnic Table: Select Petoskey picnic table and powdercoat color. Also select coordinating backless metal rod bench(es) as required — see below.

Backless Metal Rod Bench: Select Petoskey backless metal rod bench, specify 62" or 29" length and powdercoat color.

Backless Perforated Bench: Select Petoskey backless perforated metal bench. Specify mounting option and powdercoat color.

Backed Bench: Select Petoskey backed bench, seat insert material (redwood, red oak, ipe, jarrah, perforated metal, metal rod or PolySite™ color). For wood seat, specify interior or exterior use. For metal seat, specify powdercoat color. Choose support style, powdercoat color, mounting option.

Litter Receptacle and Ash Urn: Select Petoskey litter receptacle or ash urn. Select powdercoat color. For litter receptacle: select either tube support and mounting option, or hinged lid style with freestanding/surface mount base. Specify optional sand pan for receptacle with tube support.

Our Purpose Is To Enrich Outdoor Spaces

We believe in the power of design and its ability to influence and elevate the quality of public spaces. High quality products and outstanding customer experience makes us one of the world's premier designers and manufacturers of outdoor commercial furnishings.

www.landscapeforms.com

Visit our website to download presentation quality JPGs, CAD details, color charts.

Petoskey™ is designed by Beckert and Finkler, Inc. and Amc York, NY, USA. Petoskey™ designs are protected by U.S. Patent numbers D 919,520, D-985,731 and D-992,621.

Specifications are subject to change without notice. Petoskey™ is manufactured in U.S.A. Landscape Forms supports the LAF at the Second Century level. ©2005 Landscape Forms, Inc. Petoskey U.S.A.

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800.521.2546 269.381.3455 fax
431 Lawndale Ave., Kalamazoo, MI 49048
www.landscapeforms.com

Master Sign Package

Glendale 13.5 L.L.C.

2912 W. Sierra St.
Phoenix, AZ 85029

Gateway Center

9970 W. Glendale

Prepared by:



■ ADDRESS: 4020 W. WHITTON PHX, AZ. 85019
■ PHONE: (602)-272-9356
■ FAX: (602)-272-4608
■ www.bootzenduke.com

EXHIBIT O

Revised Last:
May 7, 2007

**GATEWAY CENTER
MASTER SIGNAGE PLAN
Sign specifications and Requirements**

The purpose of this Master Signage Plan is to create a graphic environment that is individual and distinctive in identity for the merchant and also compatible with other signs within the Property. The total concept should give an impression of quality and professionalism, as well as, instill a professional business image.

The following specifications shall be used for the design of all signage within the Property; however, in all cases, final written approval by Landlord is required prior to manufacturing and installation of all signs.

For purposes of this Master Signage Plan, any reference herein to "Landlord" shall mean Glendale 13.5 LLC or its designee.

PROCEDURE: All signage drawing proposals will be submitted in three (3) copies to Landlord for written approval, prior to application for sign permit from The City of Glendale.

NOTICE:

WRITTEN APPROVAL FROM LANDLORD AND CONFORMANCE WITH THE REQUIREMENTS SET FORTH HEREIN DOES NOT IMPLY CONFORMANCE WITH APPLICABLE LAWS, CODES, RULES, AND REGULATIONS PROMULGATED BY THE CITY OF GLENDALE OR ANY OTHER APPLICABLE GOVERNMENTAL AGENCY OR BODY (COLLECTIVELY, THE "LAWS"). ALL SIGNAGE LOCATED WITHIN THE PROPERTY SHALL BE APPROVED IN WRITING BY DECLARANT AND SHALL COMPLY WITH THE APPLICABLE LAWS, RECEIPT BY TENANT OF A SIGN PERMIT AND NOTIFICATION BY TENANT TO LANDLORD MUST BE RECEIVED PRIOR TO MANUFACTURING AND INSTALLATION OF ANY SIGNAGE.

A. GENERAL PROVISIONS

1. All signs and signage programs must conform to the requirements of this Master Signage plan, The City of Glendale, and all applicable Laws. Applications and submittals for signage permits shall be per The City of Glendale's procedure and requirements.
2. Signs shall identify the person or company operating the use conducted on the Parcel or Suite. No off-premises advertising is permitted.

B. GENERAL REQUIREMENTS

1. No signs, advertisements, notices, or other lettering shall be displayed, exhibited, painted or affixed in any manner to any part of the building exterior except as approved in writing by the Landlord.
2. Each Tenant shall defend, indemnify and hold the Landlord harmless for, from, and against all claims, costs (including attorneys' fees, expert witness fees and other litigation related costs), damages, expenses, liabilities and losses arising from the installation, maintenance and repair of Tenant's signs.
3. Each electrical sign, and the installation thereof, shall comply with all applicable Laws.
4. Tenant shall obtain all necessary permits for signs and the construction and installation of signs.
5. No labels shall be placed on the exposed surfaces of signs except those required by applicable Laws. Required labels shall be applied in conspicuous locations.
6. All penetrations of the building structure required for sign installation shall be neatly sealed in a watertight manner.
7. Any sign that does not conform with the requirements of this Master Signage Plan or was not approved by the Landlord as required hereby shall be immediately removed or brought into conformance at the Tenant's expense.
 - a. Signs with penetrations falling above roof line must seal wiring using a raceway.

C. SPECIFIC REQUIREMENTS FOR BUILDINGS SIGNAGE

1. Hotel Tenants

A. Radisson Hotel

-Each elevation to get a set of Pan Channel Letters with the height being seven(7) feet and the length being twenty-nine feet - nine and three quarter inches (29 - 9 3/4) reading "Radisson" with a green underscore per corporate specifications.

B. A Loft w Hotel

-Corporate Signs as shown on attached exhibits.

2. Four(4) Story Office Building

A. Size Guidelines

1. Each Tenant will be allowed one-half(1.5) square feet of building signage per foot of linear building frontage.

A. Signs may be on East & West elevations only.

B. Signs may only be placed 15(fifteen) feet above finished grade or below.

C. Only tenants with at least 10,000 square feet may have signage.

D. All Signs not to exceed Two-Hundred (200) square feet

2. The square footage for an individual sign will be calculated by using multiple rectangles that contain the entire sign.

3. Illuminated Reverse Pan Channel Letters

Tenant may use any font including corporate logos. Signs must be reverse pan channel letters with white halo illumination. All Signs must be painted Dark Bronze

4. Length: The overall length of spread of letters shall not exceed 80% of Sign Band Length as shown in elevation exhibits

5. Height: Sign may not exceed 80% of SIGN BAND height

B. External wall mounted office directories as needed.

3. Office Condo Tenants

A. Size Guidelines

1. Each Tenant will be allowed one-half(1.5) square feet of building signage per foot of linear building frontage.

-Tenant signs are allowed on any building elevation that faces the parkings lot

2. The square footage for an individual sign will be calculated by using multiple rectangles that contain the entire sign.

3. Illuminated Reverse Pan Channel Letters

Tenant may use any font including corporate logos. Signs must be reverse pan channel letters with white halo illumination. All Signs must be painted Dark Bronze

4. Length: The overall length of spread of letters shall not exceed 80% of Sign Band Length as shown in elevation exhibits

5. Height: Sign may not exceed 80% of SIGN BAND height

3. Restaurant Pad Buildings

A. Size Guidelines

1. Each Tenant will be allowed one-half(1.5) square feet of building signage per foot of linear building frontage.

Restaurants can have up to 200(Two-Hundred) square feet of signs. Signs are allowed on all four elevations so long as each building has no more than 200 (Two-Hundred) square feet.

2. The square footage for an individual sign will be calculated by using multiple rectangles that contain the entire sign.

3. Letters can be Pan Channel or Reverse Pan Channel Letters.

Restaurant Pad Tenants may use corporate colors for all signage and are not limited to a specific color or font

4. Length: The overall length of spread of letters shall not exceed 80% of Sign Band Length

5. Height: Sign may not exceed 80% of SIGN BAND height.

D. LIGHTING

1. All lighting shall be illuminated with LED's or Neon

- A. Neon must be 30MA and between 12mm & 15mm glass tubing
- B. LED must be either Slone or Gelcor

2. All electrical will be U.L. or equivalent approved.

3. Penetration of structure and graphics beams shall be kept to a minimum and must have proper insulation for voltage cable and must be approved in writing by Landlord.

4. Power supplies shall be concealed behind fascia and mounted in metal boxes.

F. DETAIL DRAWING

1. Three(3) copies of a complete and detailed drawing by Tenant's sign company shall be submitted to the Landlord for final review and written approval.

2. Elevation of building fascia and sign shall be drawn using a minimum 1/4" to 1" scale.

3. Drawing shall indicate the following specifications:

- a. Type, thickness, and color of plexiglass type of material used for backs, returns, and trim caps, including color
- b. Finish used on returns
- c. Type of illumination and mounting method

4. Drawing must include fascia cross section showing electrical connections.

G. WINDOW SIGNAGE

1. Window signs shall not exceed 144 square inches and shall be limited to the store name and hours of operation. Any other variations must be approved by the Landlord in writing.

2. Window signs to be crafted in a professional manner.

H. TRAILER SIGNS, BANNERS, OR TEMPORARY SIGNS WILL NOT BE PERMITTED

I. ADDRESS SIGNS

Each store is required to display a street address and suite number above the storefront door and service door constructed of four (4) inch white exterior vinyl.

J. THE FOLLOWING ARE NOT PERMITTED

1. Roof signs.
2. Cloth signs or streamers
3. Exposed Neon tubing.
4. Animated or moving components.
5. Intermittent or flashing illumination.
6. Cabinet Signs
7. Exposed Raceways
8. Signs or letters painted directly on any surface.
9. A-frame or Sandwich Board Signs will not be permitted to be installed or placed along perimeter of Property.

K. AUTHORIZED SIGN VENDORS

All tenant sign vendors/installers must be approved by the landlord. The following sign vendors/installers are pre-approved by the landlord to work on the site (landlord reserves the option to replace or modify the pre-approved vendor/installer list at any time without notice):

Bootz and Duke Signs (*Preferred by LandLord*)

Royal Signs
Young Electric Sign Co.
Christy Signs

L. SIGNAGE REMOVAL

Upon the event your sign must be removed, The Landlord must approve your eifs repair contractor.

If you have any questions please call:

Charlie Gibson

Bootz and Duke Sign Company

4028 W. Whitton Ave

Phoenix, AZ 85019

Phone: 602-272-9356/Fax: 602-272-4608

Charlie@bootzandduke.com

NOT TO EXCEED 80%
OF SIGN BAND IN HEIGHT
(COLORED BAND NEAR TOP OF BUILDING)

NOT TO EXCEED 80%
LEASED FRONTAGE

TENANT

TYPICAL SET OF SELF CONTAINED PAN CHANNEL LETTERS.

CONSTRUCTION

.063" ALUMINUM CONSTRUCTION.
5" DEEP RETURNS, .040" CLC, COLOR AS PER
TENANT.
3/4" TRIM CAP, COLOR AS PER TENANT..

MOUNTING

MOUNT FLUSH TO WALL.

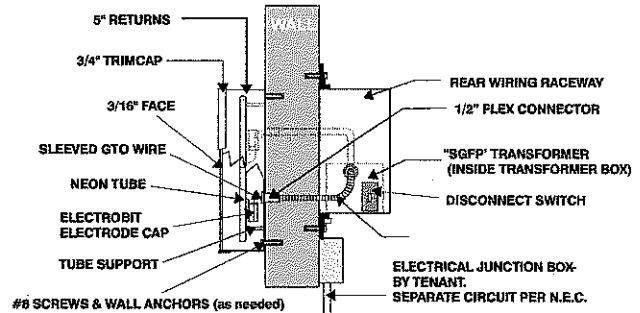
FACE

3/16" SG ACRYLIC, COLOR AS PER TENANT.

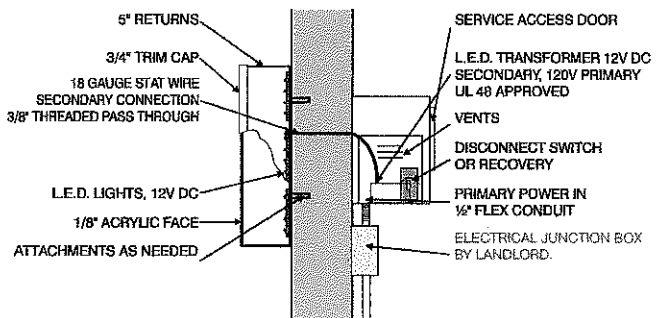
ILLUMINATION

SLOAN OR GEL-COR L.E.D.'S OR NEON TUBING,
SINGLE OR DOUBLE STROKE.
1 STROKE PER 4"
WITH REMOTE TRANSFORMER.

**NEON ILLUMINATED
PAN CHANNEL LETTERS**



**L.E.D. ILLUMINATED
PAN CHANNEL LETTERS**



NOT TO EXCEED 80%
OF SIGN BAND IN HEIGHT
(COLORED BAND NEAR TOP OF BUILDING)

NOT TO EXCEED 80%
LEASED FRONTAGE

TENANT

TYPICAL SET OF REVERSE PAN CHANNEL LETTERS.

CONSTRUCTION

.090" ALUMINUM CONSTRUCTION.
3" DEEP RETURNS, .063" ALUMINUM, COLOR AS
PER TENANT.
3/16" CLEAR LEXAN BACKS

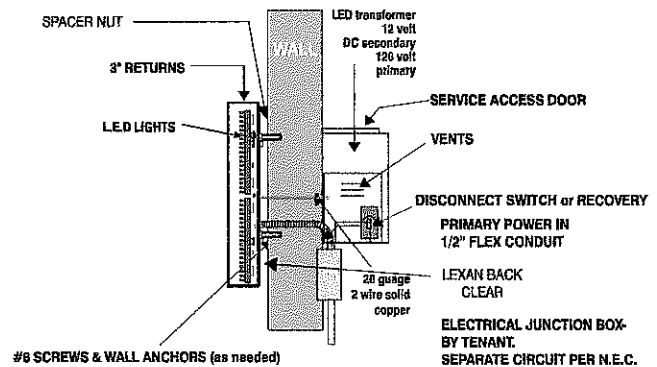
MOUNTING

MOUNT 1.5" SPACE MOUNTED FROM WALL

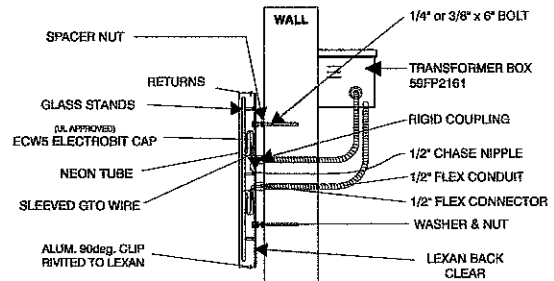
ILLUMINATION

SLOAN OR GEL-COR L.E.D.'S OR NEON TUBING,
SINGLE OR DOUBLE STROKE.
1 STROKE PER 4"
WITH REMOTE TRANSFORMER.

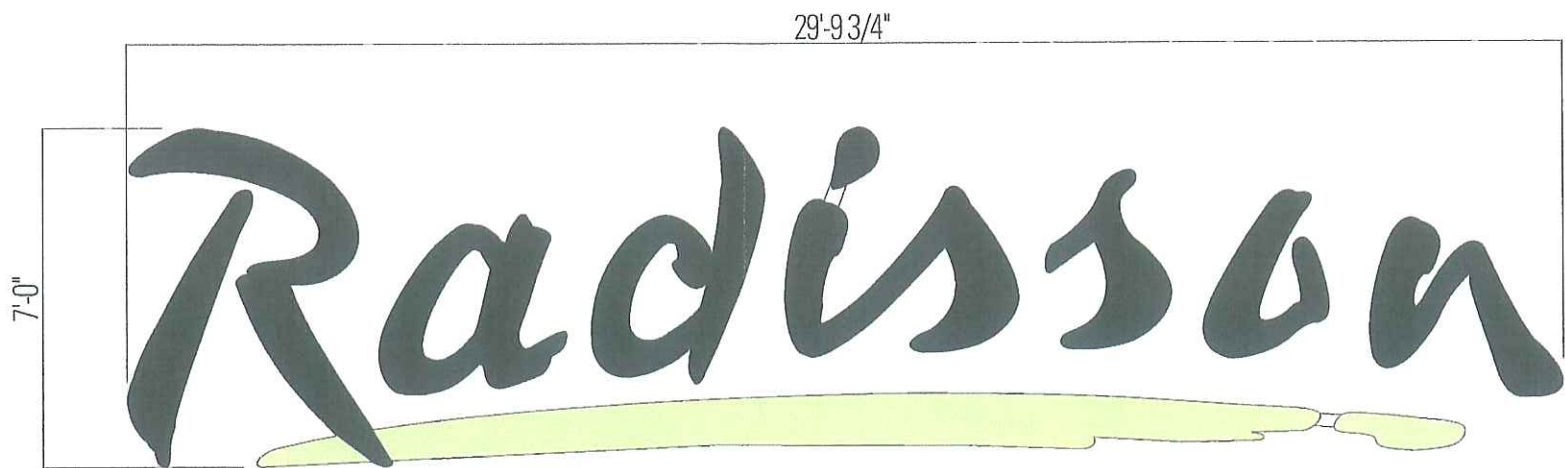
HALO ILLUMINATED REVERSE PAN CHANNEL LETTERS WITH L.E.D. ILLUMINATION



HALO ILLUMINATED REVERSE PAN CHANNEL LETTERS



Gateway Center - Glendale, Arizona
The Radisson Hotel - Front Elevation



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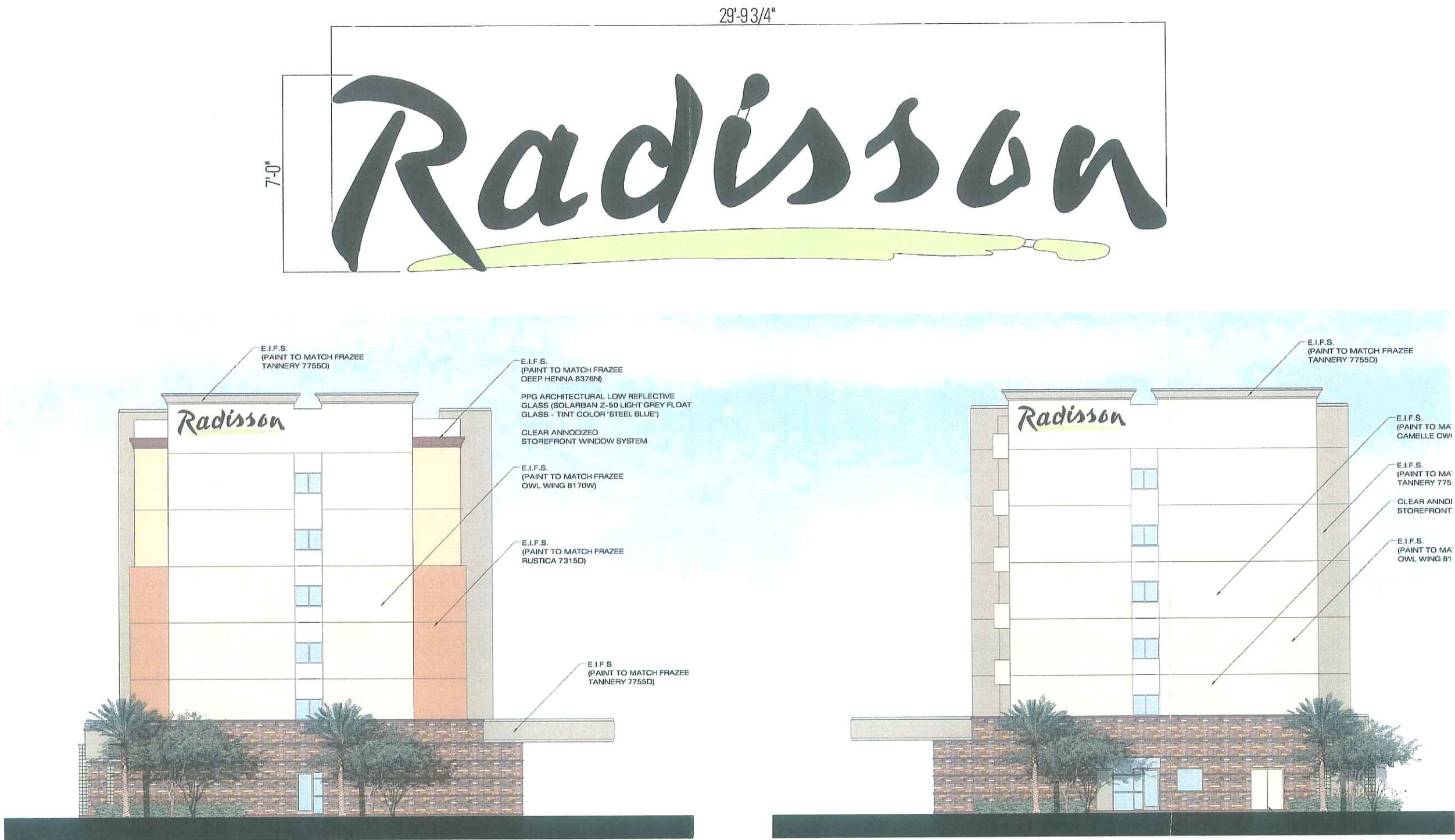
NOTE: ALL SIGNS MANUFACTURED BY BOOTZ & DUKE SIGNS ARE 120 VOLT ANY OTHER VOLTAGE REQUIREMENTS MUST BE IN WRITING



Signs

CUSTOMER:	Gateway Center	ADDRESS:	4028 W. Whitton Ave. - Phoenix, AZ - 85019
ADDRESS:	9970 W. Glendale	WEBSITE:	www.bootzandduke.com
SALESMAN:	Charlie Gibson	PHONE #:	(602) 272-9356 UL FILE #: E 62322
DESIGNER:	AVMorales II	FAX #:	(602) 272-4608 R.O.C. #: 072019
DESIGN #:	CSP	REVISION:	[0] ~ Date
		DATE:	May 7, 2007
		PAGE #:	10

Gateway Center - Glendale, Arizona
The Radisson Hotel - Side Elevations

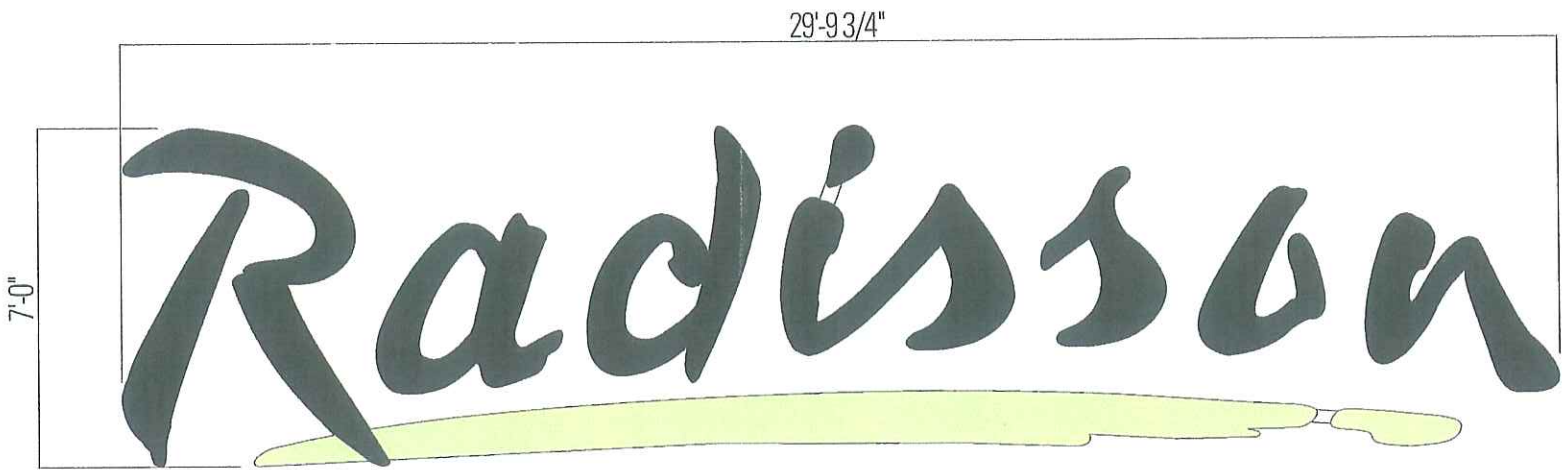


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Gateway Center - Glendale, Arizona
The Radisson Hotel - Rear Elevation



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		DATE:	May 7, 2007
		PAGE #:	12

Gateway Center - Glendale, Arizona
The Aloft Hotel - Front Elevations



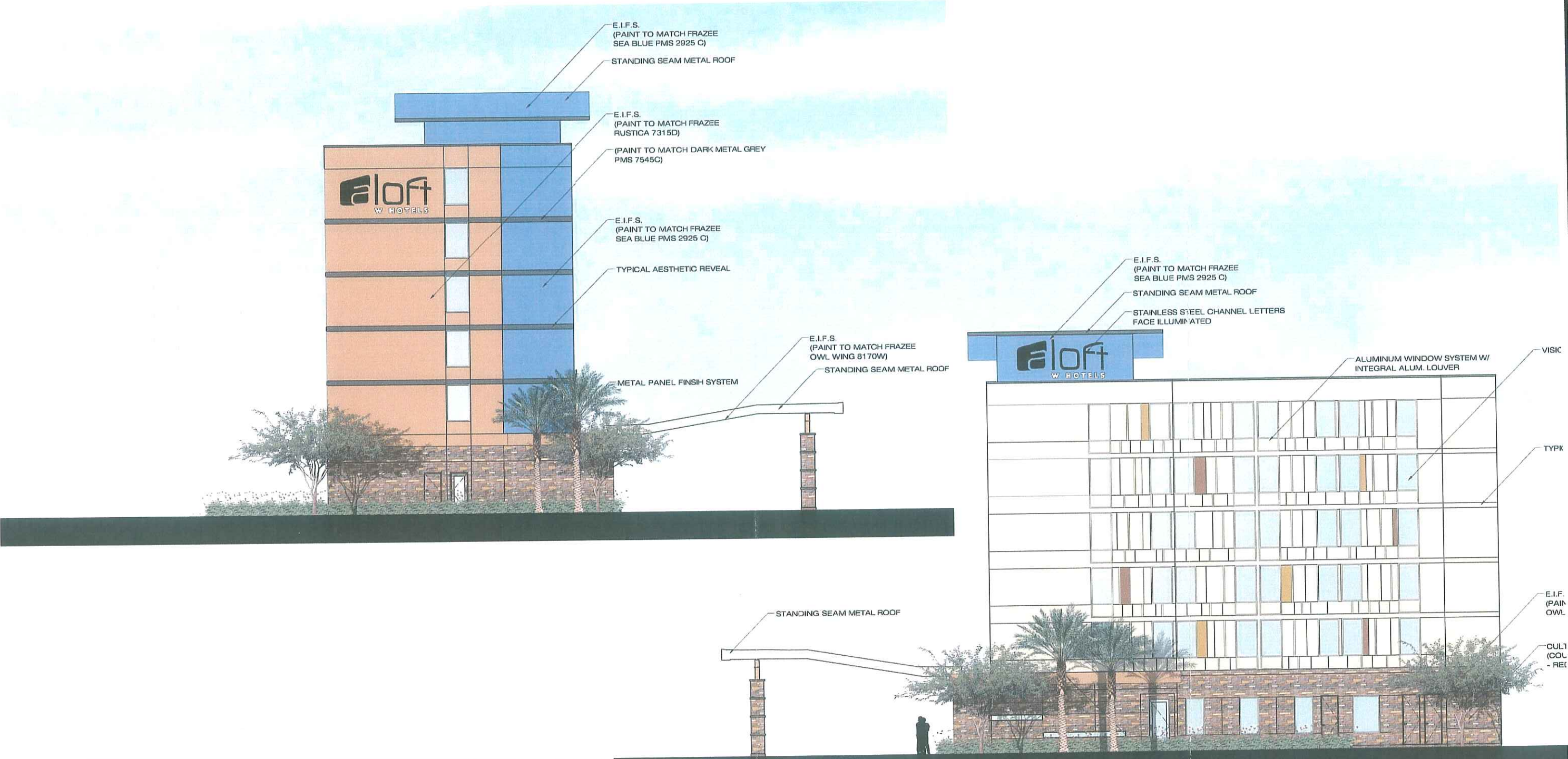
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DATE:	May 7, 2007	PAGE #:	13

Gateway Center - Glendale, Arizona
The Aloft Hotel - Side Elevations



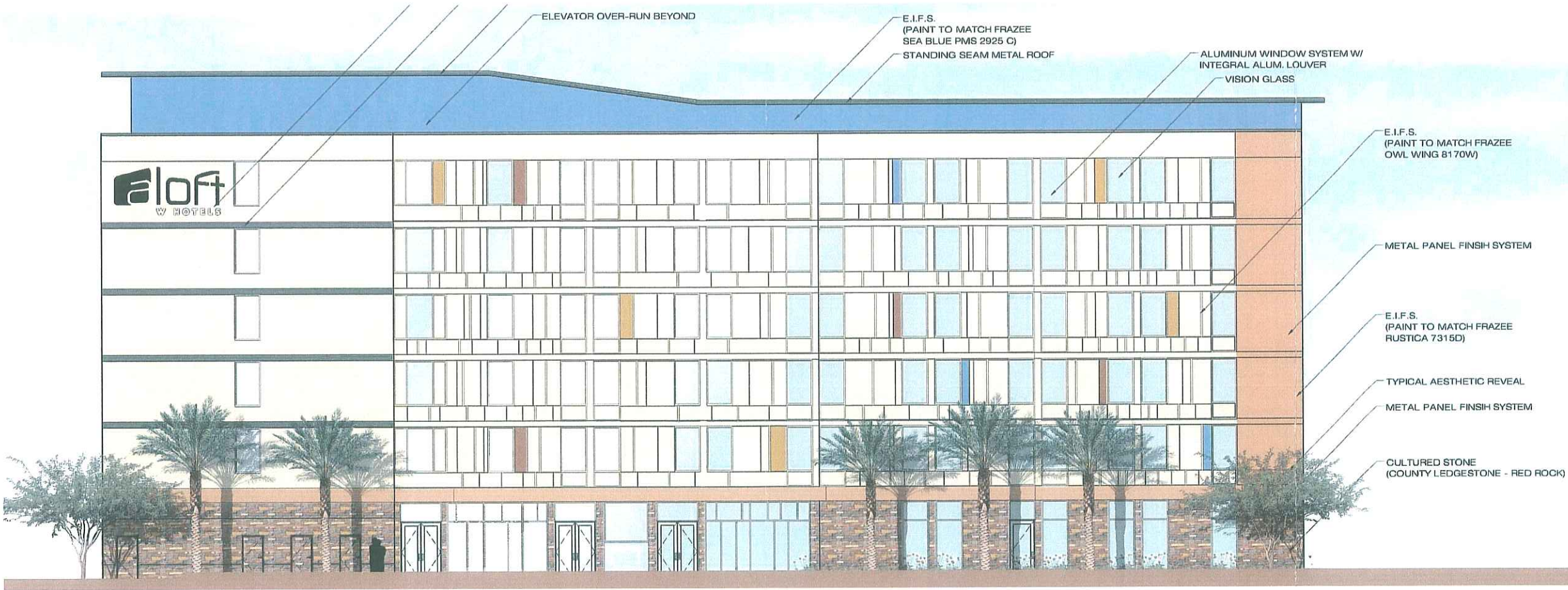
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Gateway Center - Glendale, Arizona
The Aloft Hotel - Rear Elevation



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DATE:	May 7, 2007	PAGE #:	15

Gateway Center - Glendale, Arizona
Four story office - Front Elevation

Shows Typical Sign Installation Location / Exact Sign Layout and Location TBD



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DATE:	May 7, 2007	PAGE #:	16

Gateway Center - Glendale, Arizona
Four story office - Rear and Side Elevations



Shows Typical Sign Installation Location / Exact Sign Layout and Location TBD



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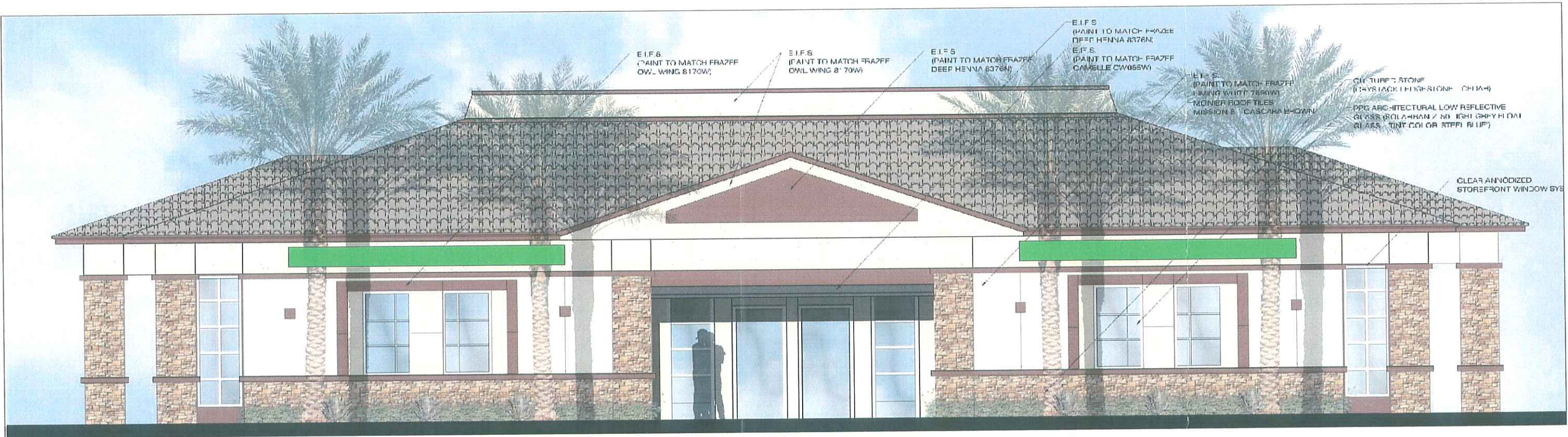
Signs

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REVISION:	[0] ~ Date	R.O.C. #:	072019
DATE:	May 7, 2007	PAGE #:	17

Gateway Center - Glendale, Arizona
Office Condo - Front Elevations



Shows Typical Sign Installation Location / Exact Sign Layout and Location TBD



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REVISION:	[0] ~ Date	R.O.C. #:	072019
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Gateway Center - Glendale, Arizona
Office Condo - Rear Elevations



Shows Typical Sign Installation Location / Exact Sign Layout and Location TBD



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		DATE:	May 7, 2007
		PAGE #:	19



6' Figure

A One (1) 14' Major Multi-Tenant Illuminated Monument
 Scale: 3/8"=1'

Frazee Thin Asparagus	Frazee Burgundy Red	Frazee On Wing	Country LedgeStone Red Rock

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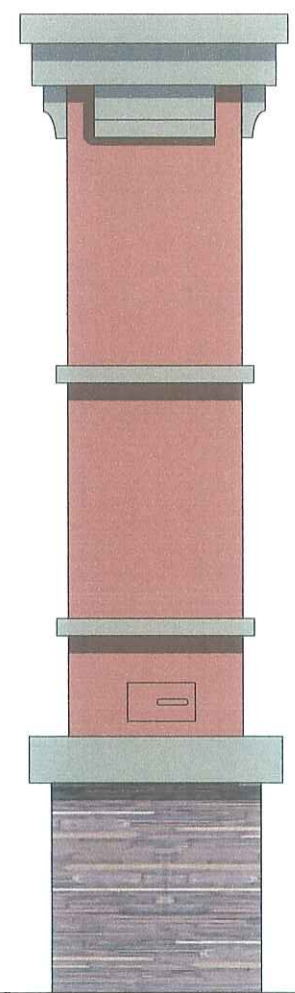
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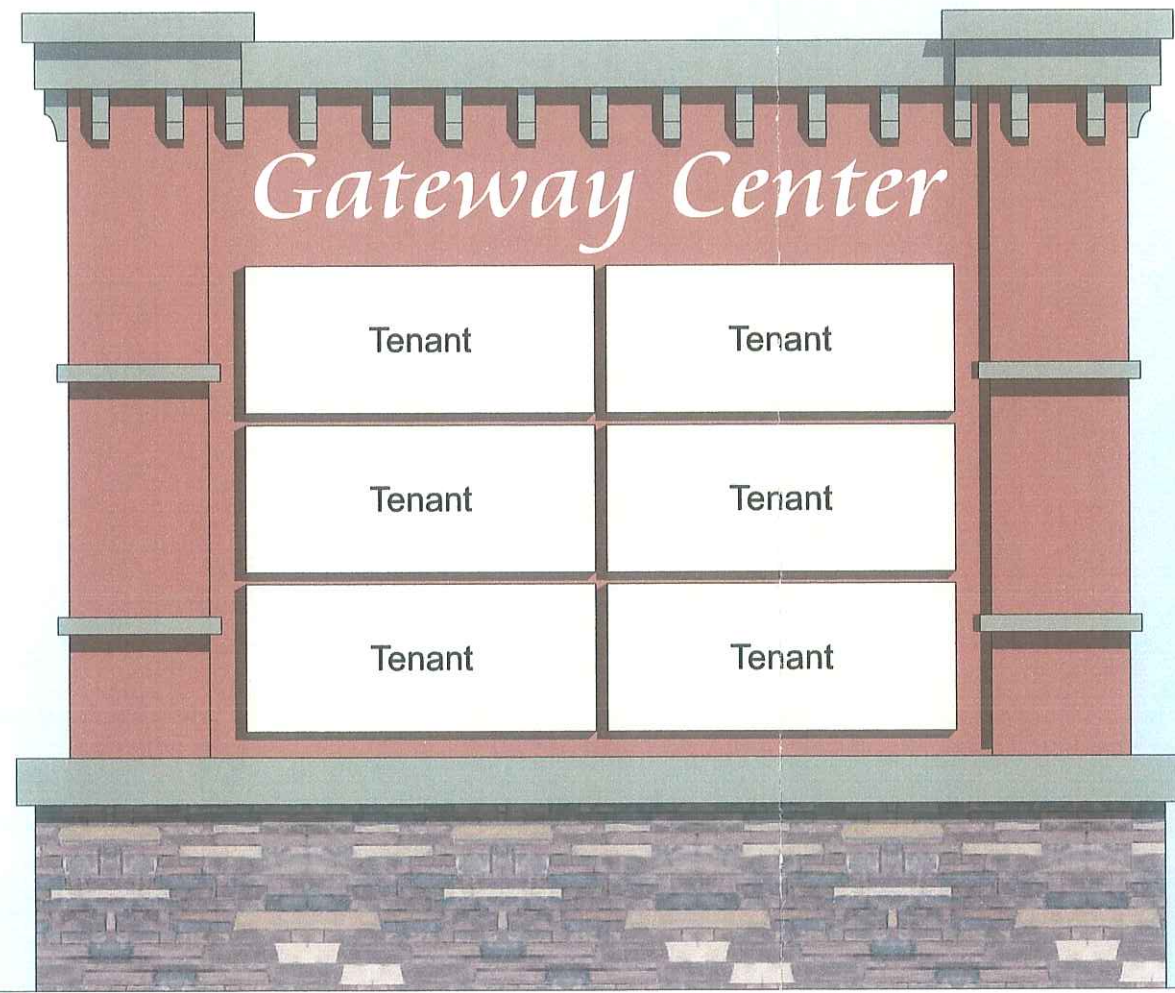
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ADDRESS:	9970 W. Glendale	WEBSITE:	www.bootzandduke.com
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		PAGE #:	20

3'-10"

16'-7"




14'-0"



6' Figure


B One (1) 14' Multi-Tenant Illuminated Monument
Scale: 3/8"=1'



Frazee
Thin Asparagus



Frazee
Burgundy Red



Frazee
On Wing



Country LedgeStone
Red Rock

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ADDRESS: 9970 W. Glendale		WEBSITE: www.bootzandduke.com	
SALESMAN: Charlie Gibson		PHONE #: (602) 272-9356	UL FILE #: E 62322
DESIGNER: AVMorales II		FAX #: (602) 272-4608	R.O.C. #: 072019
DESIGN #: CSP	REVISION: [0] ~ Date	DATE: May 7, 2007	PAGE #: 21

A One (1) 14' Major Multi-Tenant Illuminated Monument

B One (1) 14' Multi-Tenant Illuminated Monument

C Two (2) Entry Feature

D Two (2) Directionals

GATEWAY CENTER 9970 W GLENDALE AVENUE

ALL OF THAT PART OF THE SOUTH HALF OF THE SOUTHEAST QUARTER OF
SECTION 5, TOWNSHIP 2 NORTH, RANGE 1 EAST OF THE GILA RIVER BASE
AND MERIDIAN, MARICOPA COUNTY, ARIZONA

LAND USE SUMMARY

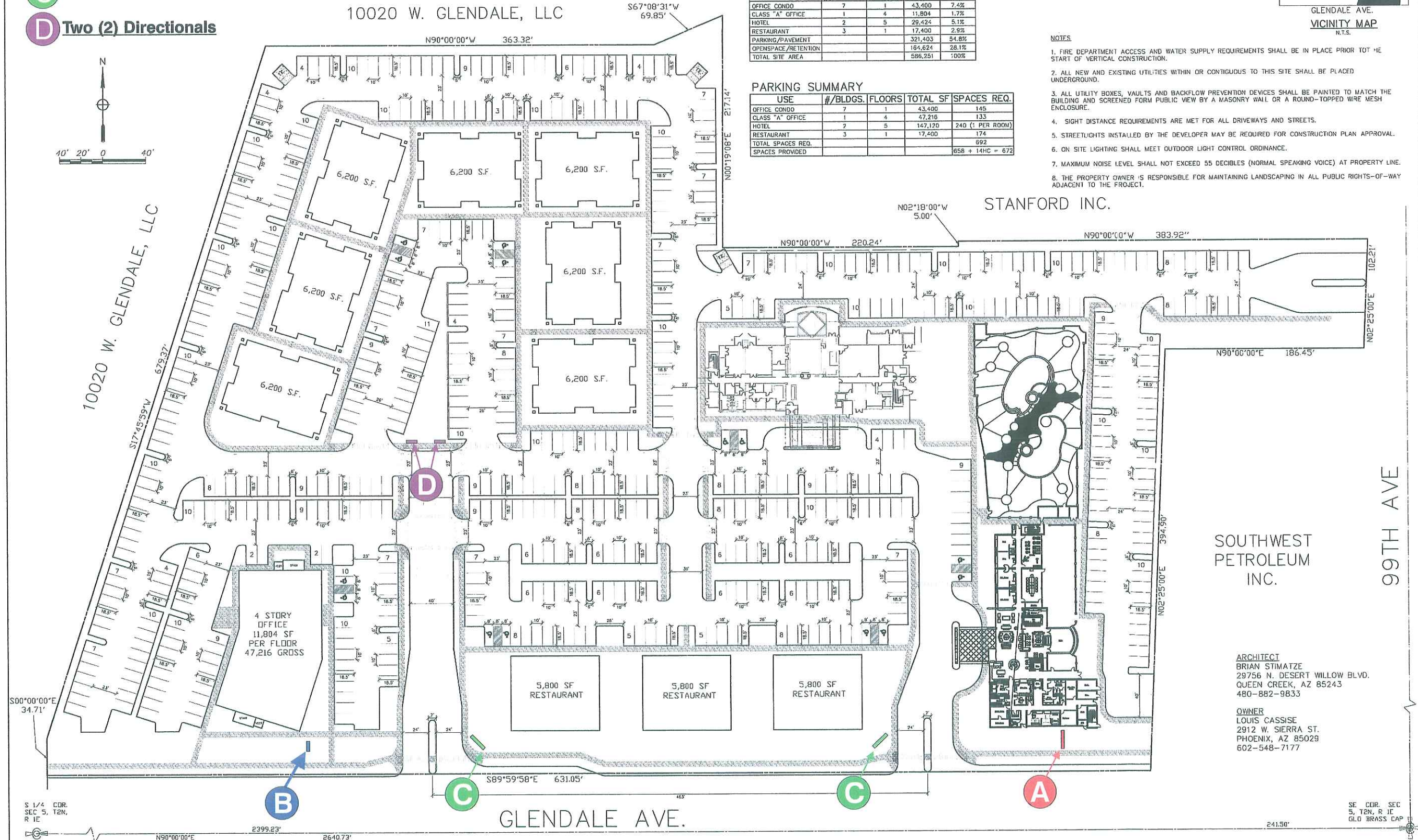
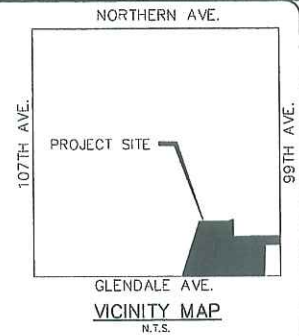
USE	#/BLDG.	FLOORS	SQ. FT.	% CVR.
OFFICE CONDO	7	1	43,400	7.4%
CLASS "A" OFFICE	1	4	11,804	1.7%
HOTEL	2	5	29,424	5.1%
RESTAURANT	3	1	17,400	2.9%
PARKING/PAVEMENT			321,403	54.8%
OPENSACE/RETENTION			164,624	28.1%
TOTAL SITE AREA			586,251	100%

PARKING SUMMARY

USE	#/BLDG.	FLOORS	TOTAL SF	SPACES REQ.
OFFICE CONDO	7	1	43,400	145
CLASS "A" OFFICE	1	4	47,216	133
HOTEL	2	5	147,120	240 (1 PER ROOM)
RESTAURANT	3	1	17,400	174
TOTAL SPACES REQ.				692
SPACES PROVIDED				658 + 14HC = 672

NOTES

1. FIRE DEPARTMENT ACCESS AND WATER SUPPLY REQUIREMENTS SHALL BE IN PLACE PRIOR TO THE START OF VERTICAL CONSTRUCTION.
2. ALL NEW AND EXISTING UTILITIES WITHIN OR CONTIGUOUS TO THIS SITE SHALL BE PLACED UNDERGROUND.
3. ALL UTILITY BOXES, VAULTS AND BACKFLOW PREVENTION DEVICES SHALL BE PAINTED TO MATCH THE BUILDING AND SCREENED FROM PUBLIC VIEW BY A MASONRY WALL OR A ROUND-TOPPED WIRE MESH ENCLOSURE.
4. SIGHT DISTANCE REQUIREMENTS ARE MET FOR ALL DRIVEWAYS AND STREETS.
5. STREETLIGHTS INSTALLED BY THE DEVELOPER MAY BE REQUIRED FOR CONSTRUCTION PLAN APPROVAL.
6. ON SITE LIGHTING SHALL MEET OUTDOOR LIGHT CONTROL ORDINANCE.
7. MAXIMUM NOISE LEVEL SHALL NOT EXCEED 55 DECIBELS (NORMAL SPEAKING VOICE) AT PROPERTY LINE.
8. THE PROPERTY OWNER IS RESPONSIBLE FOR MAINTAINING LANDSCAPING IN ALL PUBLIC RIGHTS-OF-WAY ADJACENT TO THE PROJECT.



PROJECT MANAGER:
T. D. Johnson
ENGINEER:
T. D. Johnson
SEAL NO.:
16557

GENERAL ENGINEERING SUPPORT, LLC
2608 S. LITCHFIELD RD. / COOYDEAR, ARIZONA 85338 / 602-374-2590

ACCOUNT:
5-1-2027
DATE:
DESIGNED BY: MAS (A-108)
CHECKED BY: TDJ
APPROVED BY: TDJ

SITE PLAN

**GATEWAY CENTER
9970 W. GLENDALE**

DRAWING
SHEET

ARCHITECT
BRIAN STIMATZE
29756 N. DESERT WILLOW BLVD.
QUEEN CREEK, AZ 85243
480-882-9833

OWNER
LOUIS CASSISE
2912 W. SIERRA ST.
PHOENIX, AZ 85029
602-548-7177