

Manistee Ranch
A Master Planned Infill Development

General Plan Amendment GP-95-01
PAD Development Plan Z-95-03
5101 W. Northern Ave.
Glendale, Az.



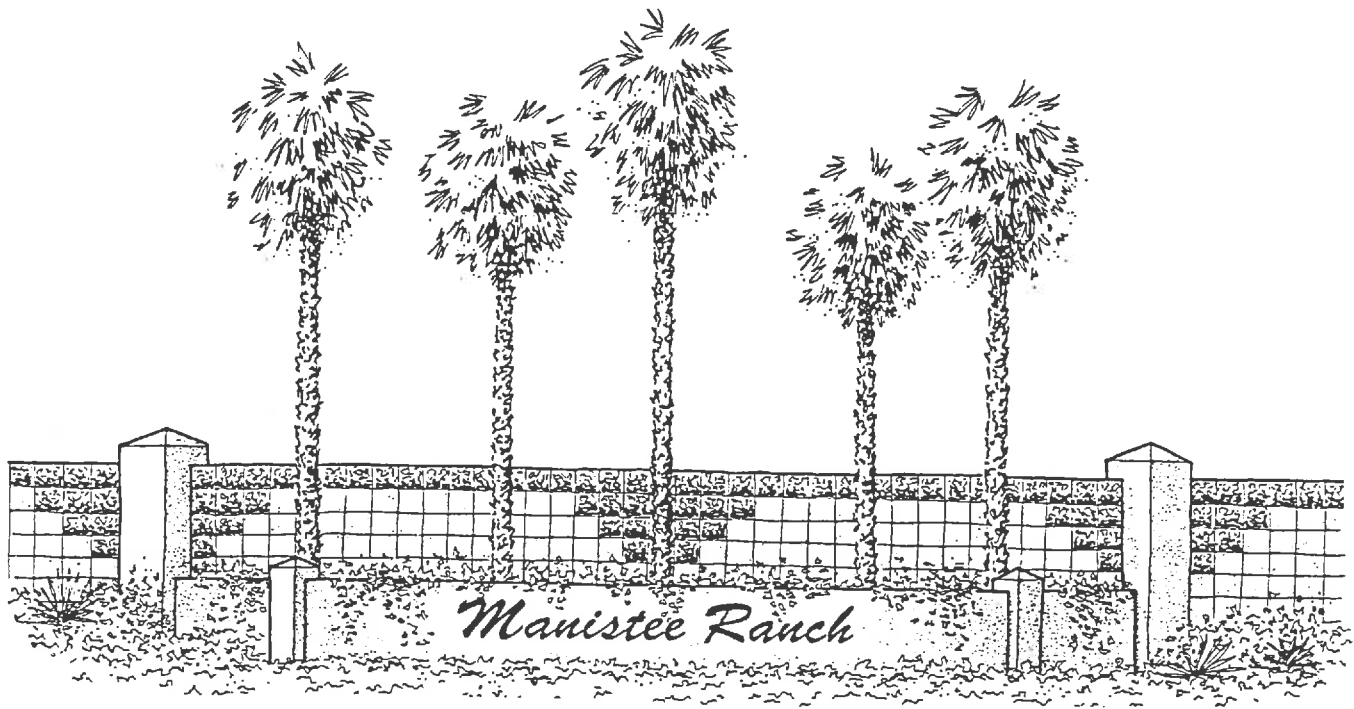
SUBMITTED BY:
Sands Investment Co. L.L.C.
P.O. Box 95
Glendale, Az 85311

APPROVED PLAN
COMMUNITY DEVELOPMENT
CITY OF GLENDALE

City Council approved
Sept 26, 1995
except Parcel G - 6.60
11.1.1.23.1995

Manistee Ranch
A Master Planned Infill Development

General Plan Amendment GP-95-01
PAD Development Plan Z-95-03
5101 W. Northern Ave.
Glendale, Az.



SUBMITTED BY:
Sands Investment Co. L.L.C.
P.O. Box 95
Glendale, Az 85311

APPROVED PLAN
COMMUNITY DEVELOPMENT
CITY OF GLENDALE

Manistee Ranch
A Master Planned Infill Neighborhood

SUBMITTED BY

Sands Investment, Co. L.L.C.

TABLE OF CONTENTS

	<u>Page</u>
1 Introduction and Background	1
2 Manistee Ranch - A Master Planned Infill Neighborhood	3
3 General Plan Amendment	5
4 Land Use Overview	7
5 Development Master Plan Land Uses	9
Residential	
Commercial	
Park/Open Space/Retention	
Circulation	
Phasing	
Design Philosophy	
Development Standards	
Single Family Residential Tracts A,B,C & D	
Retail Commercial Tract G	
Medical Office Tracts F	
Multi-Family Tract E	
General Requirements E,F & G	
6 Development and Landscape Theme	29
General / Overall Character	
Landscape Palette/ Materials	
Theme Elements	
Neighborhood Park	
7 Manistee Ranch Design Guidelines	34
Compliance with City of Glendale Ordinance and Codes	
Architectural Theme	
Building Mass, Scale and Design Details	
Exterior Colors	
Building Materials	
Roofs	
Walls/ Fences/ Gates	
Lighting	
Landscape Theme	
Machinery and Equipment	

LIST OF EXHIBITS

<u>Exhibit</u>	<u>Page</u>
VICINITY	2
NEIGHBORHOOD CONTEXT	4
GENERAL PLAN	6
PLANNED AREA DEVELOPMENT PLAN	10
RESIDENTIAL TRACTS A,B,C,D,& E	11
TYPICAL LOT LAYOUT	12
RETAIL TRADE AREA	14
OPEN SPACE	17
CONCEPTUAL OPEN SPACE DETAILS	18
CIRCULATION MASTER PLAN	19
STREET CROSS SECTIONS	20
STREET AND EDGE CROSS SECTION	21
PEDESTRIAN CIRCULATION	22
RETAIL COMMERCIAL / MEDICAL OFFICE TRACTS F & G	26
CONCEPTUAL LANDSCAPE MASTER PLAN	30
MAJOR ENTRY THEME	31
PERIMETER WALL PLAN	32
MAINTENANCE RESPONSIBILITY	37

DESIGN AND DEVELOPMENT TEAM

OWNER

Sands Investment Co. L.L.C.
P.O. Box 95
Glendale, AZ. 85311

DESIGN & DEVELOPMENT CONSULTANT

M.S. Stapp Investments, Inc
10206 South 47th Street
Phoenix, AZ. 85044

SALES AND MARKETING

Commerce Realty Advisors Ltd.
2930 East Camelback Road
Suite 165
Phoenix, AZ. 85016

CIVIL ENGINEERING

David Evans and Associates
2929 East Camelback Road
Suite 240
Phoenix, AZ. 85016

PLANNING AND LANDSCAPE ARCHITECTURE

Gilmore Graves, Inc.
300 West Clarendon Avenue
Suite 385
Phoenix, AZ. 85013

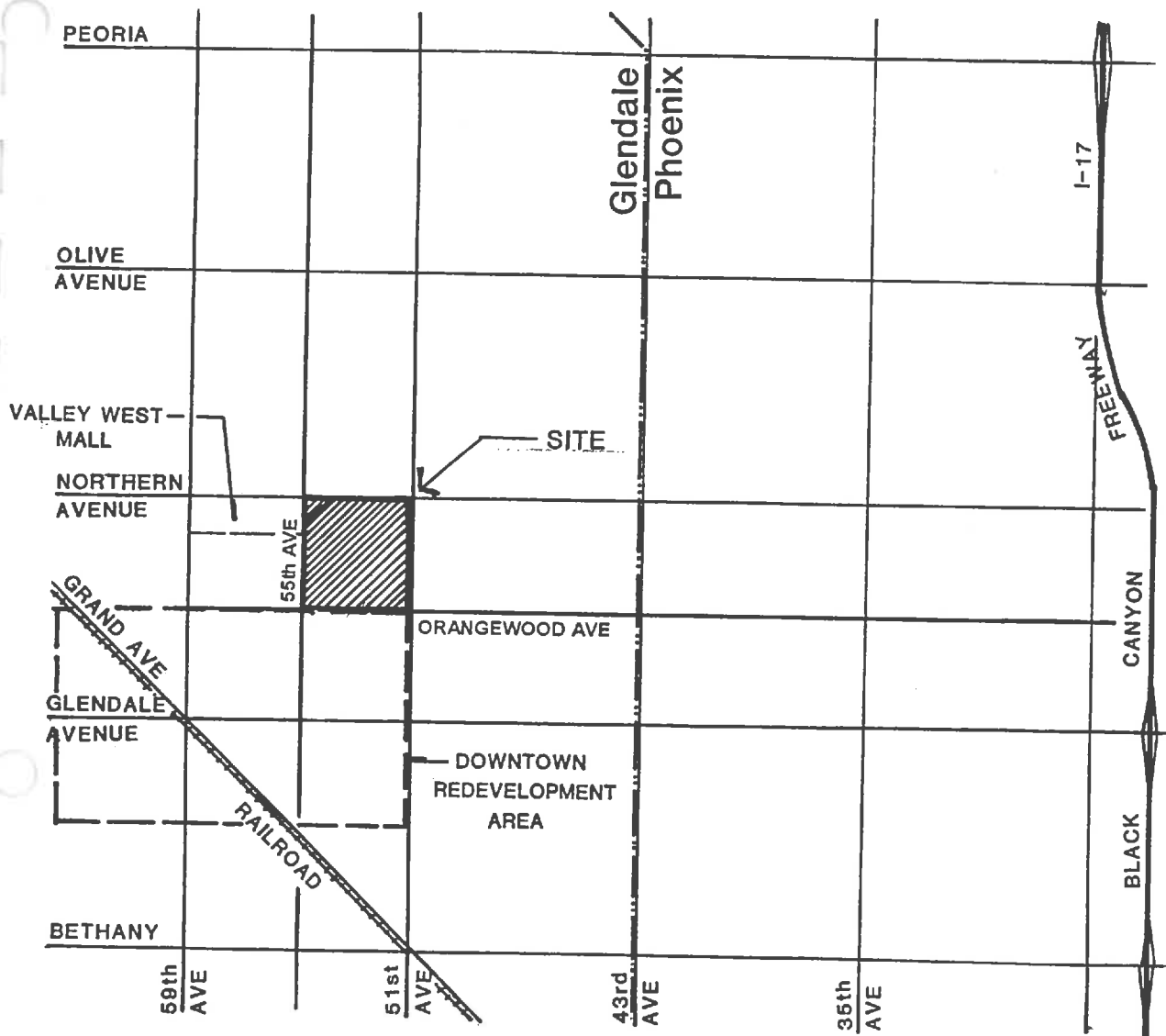
ZONING AND LEGAL COUNCIL

Gammage & Burnham
Two North Central Avenue
Phoenix, AZ. 85004

1 Introduction and Background

Manistee Ranch is an approximately 147 acre parcel of land located between 51st and 55th Avenues, Northern and Orangewood Avenues. The property is owned by Sands Investment Co., L.L.C. a Limited Liability Company formed by the Sands Family. The Sands family has owned the property since 1907 when Mr. Louis Sands moved from Manistee Michigan to Glendale, thus the name of the property. Mr. Sands purchased the property and the existing house, which was built in 1897. The Sands family has maintained residence on the property since it was purchased in 1907. ***Currently the property is being farmed for alfalfa and to pasture cattle. The current operation helps support a ranch located in southern Arizona.***

The property was annexed into the City of Glendale in 1965. ***At the time the property was annexed, it was zoned R-4, Multi-Family Residential. The current zoning remains R-4*** however, the adopted City General Plan designates the property as single family residential 5-8 dwelling units per acre. The area immediately surrounding the property is completely built out and only a small amount of vacant land exists within a 1/2 mile radius of the property. The surrounding zoning is a mix of districts including R-4, R-3, R1-6, C-2 and C-O. The Neighborhood Context Map , following, illustrates the surrounding zoning in detail. This part of the City includes some old single family and commercial projects as well as some single family built in the 1970's. Much of the existing development to the south is obsolete and in many cases, deteriorated. Both of the commercial retail projects located across from the property are physically obsolete. None of the surrounding development is contemporary. The property is also located 1/2 mile north of the downtown area which has undergone and will continue to, undergo revitalization.



VICINITY MAP



3 General Plan Amendment

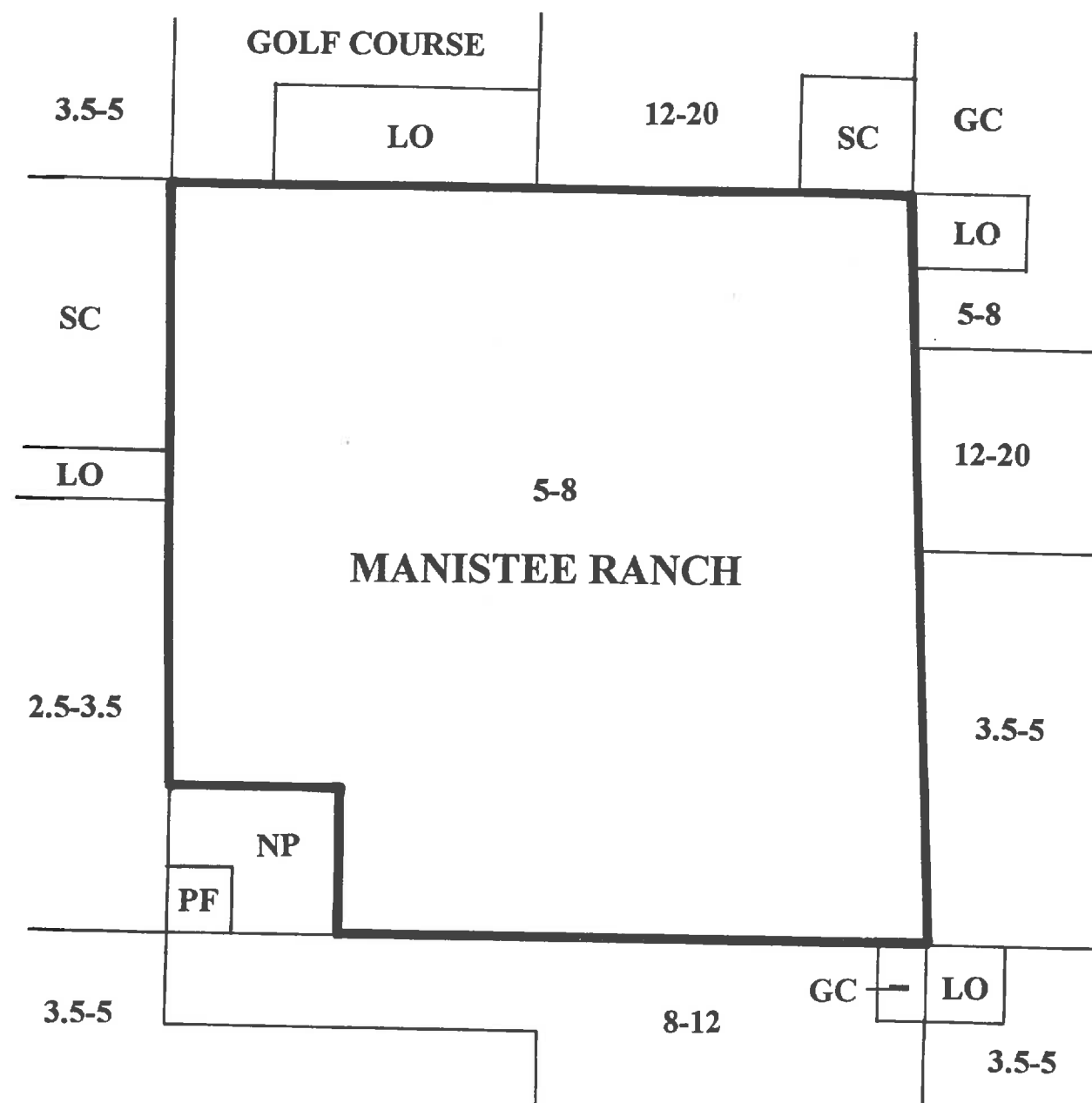
The current General Plan for the City of Glendale designates this property as single family residential 5-8 dwelling units per acre (du/ac). This designation is a conflict with the current zoning, which is R-4 allowing 20 dwelling units per acre. This property is with in the Sahuaro Character Area of the Glendale General Plan. ***The Sahuaro Development Guidelines specifically address the Manistee Ranch property in item 4, page 60, which states.. " Prepare a land use master plan for Manistee Ranch"....."The plan should include a mixture of residential uses, office, retail and park space.""If the ranch is developed under an approved master plan, residential densities on different parts of the ranch will be developed according to the master plan and the General Plan will be amended to reflect those densities."***

The proposed General Plan Amendment will change the designation of the property from Residential 5-8 dwelling units per acre to Residential 3.5-5 dwelling units per acre, LO (limited office), SC (shopping Center), and Residential 12-20 dwelling units per acre. The location of these designations are illustrated on the Exhibit titled General Plan, following this page. A discussion about each of these proposed land uses is contained throughout this document.

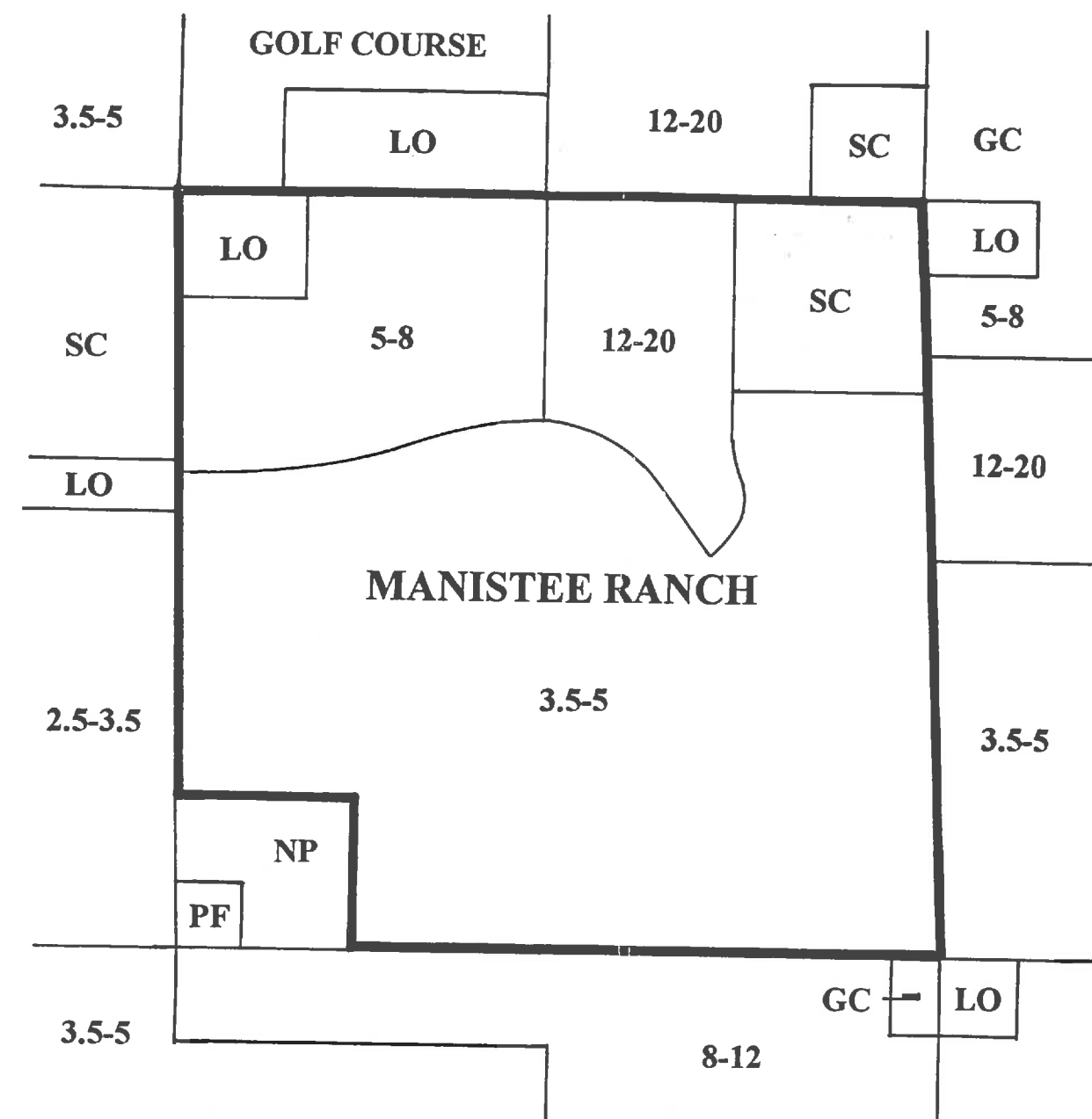
The current General Plan allows a maximum density of 8 du/ac with the provision of proper amenities and design elements. This would permit 1,176 units to be built on the property. However, the existing zoning is R-4, which allows a maximum density of 20 du/ac. This means the Sands Family has a right to develop 2,940 units on the property. ***The Sands Family is proposing to develop only 665 units in a variety of residential product types. This is a 77.4% reduction in allowed density from the current zoning and a 43.5% reduction from the maximum allowed by the current General Plan.***

It is important to note that the current zoning allows 100% of the property to be developed as multi-family. The General Plan allows a mix of residential densities, including multi-family, up to 8 du/ac. The proposed Manistee Ranch Master Plan includes a mix of uses far below the allowed density. ***In addition to the greatly reduced density, the Master Plan includes more open space than required*** (see Land Use Overview). The Proposed Manistee Ranch Master Plan far exceeds the requirements of the City in this regard and complies with all aspects of the General Plan and the Sahuaro Character Area. ***The following table illustrates how the proposed PAD will significantly reduce the overall density allowed on the property.***

NUMBER OF UNITS ALLOWED			
General Plan	Current Zoning	Proposed	Master
Plan			
(5-8 du/ac) 735 - 1,176	(20 du/ac) 2,940	(4.45 du/ac) 665	



EXISTING GENERAL PLAN



AMENDED GENERAL PLAN

MANISTEE RANCH

GENERAL PLAN EXHIBIT



4 Land Use Overview

The City of Glendales' Planned Area Development (PAD) District, Section 5.900 of the zoning ordinance, under subsection 5.901 Purpose, states " This district accommodates mixed use development which combines residential and nonresidential land uses through common design elements. The district promotes flexibility and encourages variations in building design, lot arrangement, circulation patterns, and land uses. Further, it is the intent of the PAD district to:

- A. Encourage creative and effective use of land and circulation systems to accommodate changes in land development technologies.
- B. Encourage residential development to provide a mixture of housing types and design.
- C. Encourage innovative development or redevelopment concepts for all land use types to provide a greater variety and intensity of uses.
- D. Provide a process which relates the urban design and scale of [the] project to the unique characteristics of the site
- E. Require the nature and intensity of development to be supported by adequate utilities, transportation, drainage, and common open spaces to serve the development and to minimize impact on existing or future adjacent development.
- F. Encourage development which is consistent with the policies and the guidelines established in any specific plan and the General plan."

From the earliest discussions regarding the Manistee Ranch master plan, there has been a commitment by the Sands Family to promote a quality development which relates to the established neighborhoods surrounding the property. While the master plan achieves this significant design goal, equal acceptance by the development industry is important. Each of the various parcels are efficiently designed to satisfy current and projected development standards and construction criteria. To ensure the project is developed according to the design concepts, guidelines and development standards will be established to enforce continued quality throughout the Manistee Ranch project.

The land uses proposed for Manistee reflect current and projected market requirements and compliment those uses adjacent to the property. Single family development and the extensive open space system are the predominant land uses. ***Single family and open space comprise more than 70% of the total project.*** In addition to the single family residences of Manistee, there is, "high-end" multi-family; a small neighborhood shopping center and medical office planned. Land uses are organized to promote compatibility with the existing, surrounding, uses as well as with those located within the project. Compatibility is achieved by transitioning residential densities, and using circulation corridors and open space to define and separate the residential and non-residential areas. ***This mix of land uses, their arrangement on the property, combined with the circulation and open space systems, fulfills the requirements of the PAD District as defined in the zoning ordinance and as described above.***

Manistee includes more open space than is typically included in subdivisions planned within Glendale as well as the metro area. The typical subdivision provides a maximum 10% open space, most of which is used for retention. ***Manistee provides 13.6% (20 acres) open space.*** Of this, 35.8% (7.16 acres), is not used for retention. If Manistee were planned according to requirements of Glendale, only 12.7% would be nonretention. The extensive project open spaces are designed to offer both pedestrian and bicycle opportunities throughout the project. The open space system links the various residential areas with the existing Sands Park, and the planned open space core, by way of dedicated corridors with paths. This open space systems will also provide a means to direct and retain storm water runoff.

5 Development Master Plan Land Uses

The following is an outline of the "Project Concept" and the proposed land use mix for Manistee. The concept is described in terms of the proposed uses and their relationship to one another as well as to the surrounding area.

Residential

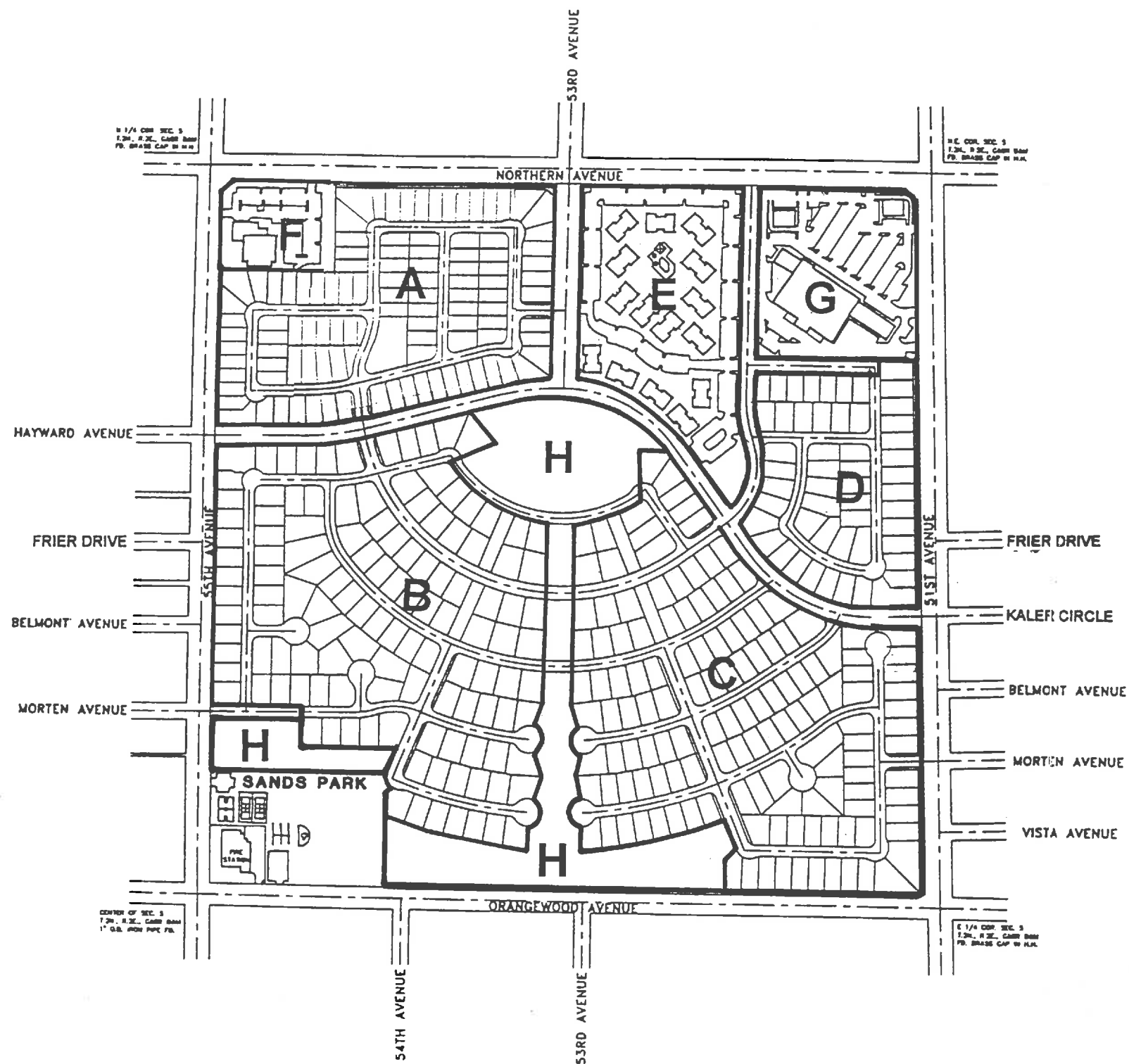
Manistee will have three (3) single family detached house products located in three distinct neighborhoods. ***This range of house types will provide an opportunity for residents to relocate within Manistee as their life style and associated needs change.*** This diversity and variety of opportunity is achieved through a mix of lot sizes which range from the smallest of 5,500 to more than 7,700 square feet. The combination of lot sizes will allow a variety of housing types that will meet the demand of first-time, as well as move-up, home buyers.

Homes built in Manistee Ranch will be compatible with those in surrounding neighborhoods. Homes built in Manistee will have complete stucco exterior finishes, tile roofs; architectural variety in the facades, ground mounted air conditioners; block walls around each yard and 2 or 3 car garages. A number of detail techniques will be integrated to accentuate a high quality ambiance including coordinated painting color schemes, prohibition of roof mounted equipment, and the screening of mechanical equipment from public view.

All house products will be reviewed by "Manistee Ranch Architectural Review Committee", (to be created prior to construction of the project and made part of the Property Owners Association) in addition to the design review by the City of Glendale. The Architectural Review Committee will enforce the Design Guidelines established as part of the CC&R's, also to be created prior to development. The proposed Manistee Ranch Design Guidelines conform to normal City design expectations for residential development by requiring, as examples, tile roofs, ground mounted air condition and heating units, tree lined streets, dedicated pedestrian open space corridors. ***The Manistee Ranch Property Owners Association will use the CC & R's to enforce maintenance of property and to analyze modifications to homes proposed by individual residents.*** Greater demonstration of the high levels of quality sought for Manistee will be implemented throughout these Design Guidelines.

Manistee has a subdivision pattern which provides effective transition between existing surrounding neighborhoods and adjacent non-residential uses. The plan for Manistee provides density which is higher for those areas adjacent to Northern Ave. and 51st Ave. This helps mitigate the potential conflict with the property located on the north side of Northern Ave. which is developed as office, multi-family and retail. Commercial uses are concentrated along Northern Avenue, which has existing, similar uses, opposite this site. The relatively lower density single family areas, which comprise the majority of the project site, cover the lower half of Manistee, providing a buffer to existing, adjacent, residential areas. ***Residential neighborhoods within Manistee provide an effective transition between the lower densities on the southern portion of the property and adjacent non-residential uses on the north, as well as the mixed uses surrounding this project site***

Each neighborhood in Manistee will benefit from the extensive open space system that provides a unique pedestrian trail system. The immediate access to Sands Park and the proximity to the Glen Lakes Municipal Golf Course will also support this neighborhood community with a variety of family oriented recreational activities.



MANISTEE RANCH
Site Data

Parcel	Use	Gross Area Ac.	Density	Max. No. Units
A	Single Family (50 x 110)	20.3	5.1 DU/AC	104
B	Single Family (70 x 110)	33.5	3.7 DU/AC	124
C	Single Family (60 x 110)	31.9	4.4 DU/AC	140
D	Single Family (60 x 110)	11.8	4.4 DU/AC	52
	Single Family Subtotal	95.4	4.4 DU/AC	420
E	Multi-Family	12.8	18.9 DU/AC	243
F	Medical Office	3.1		
G	Neighborhood Shopping Center	8.4		
H	Park/Open Space	17.7		
	Additional Open Space within Residential Tracts.	2.3		
	Total Project Open Space		20.0	7.16 (Non Retention) 12.84 (Retention)
			13.6%	
	Collector Roads	7.4		
Totals		146.9 Ac.	4.5 DU/AC	663

MANISTEE RANCH

PLANNED AREA DEVELOPMENT PLAN

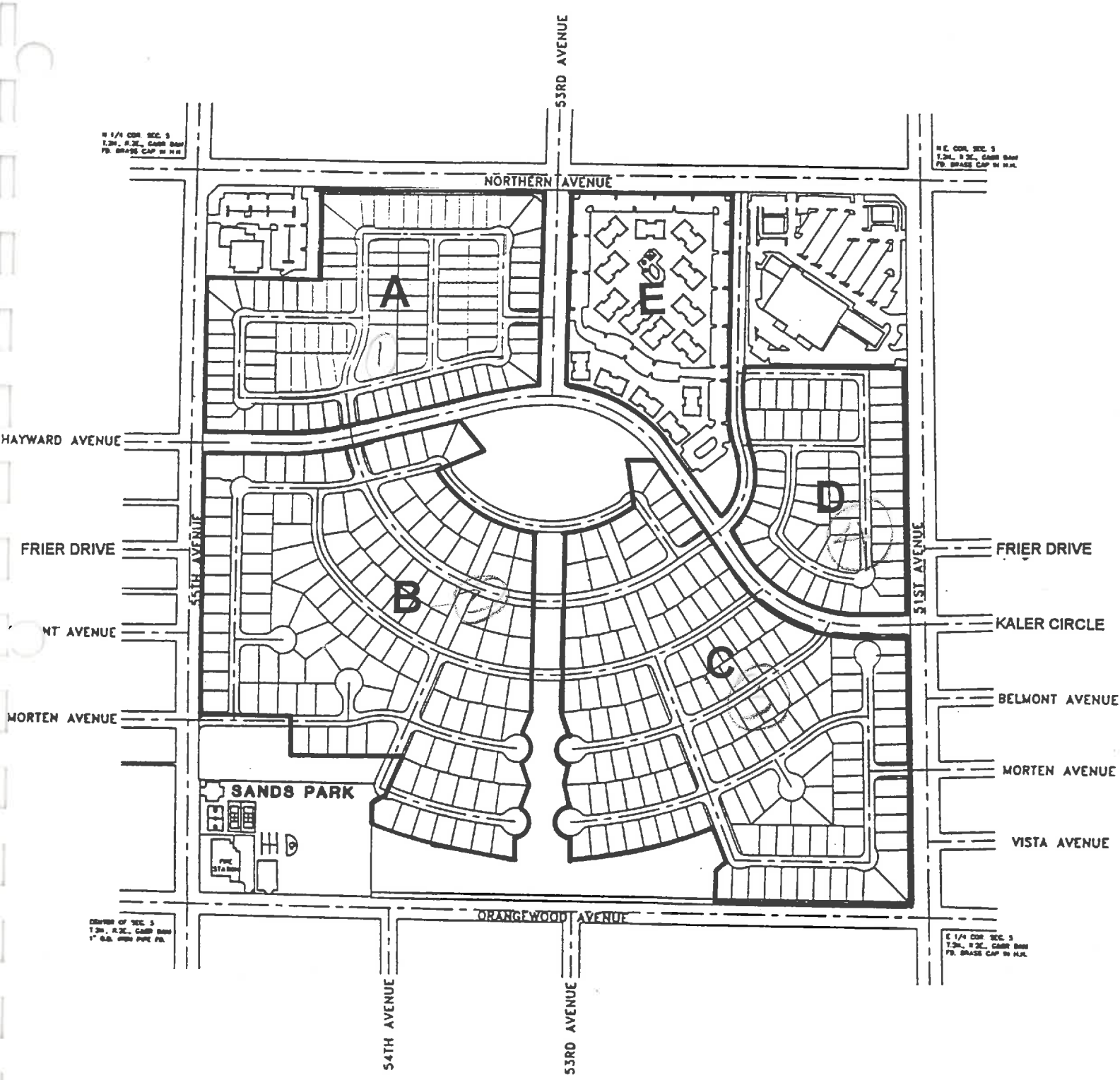
GILMORE GRAVES, INC.

5101 W. NORTHERN AVE.
Z-95-03



1/4 COR. SEC. 5
T.2N., R.2E., CAMP BARR
FD. GRADE CAP. 10 H.U.

1/4 COR. SEC. 5
T.2N., R.2E., CAMP BARR
FD. GRADE CAP. 10 H.U.



MANISTEE RANCH
Residential Development Standards

Parcel	Gross Acres	Min. Lot Size/Width	Lot Coverage	Minimum Yard Setbacks				Maximum Heights		Maximum Wall Height		
				Front Yard	Side Yard	Rear Yard	Side Yard on Corner Lot	Principal Bldg.	Accessory Bldg.	Front Yard	Side Yard	Rear Yard
A SINGLE FAMILY	20.3	5500 sf/ 50'	40%	20' to garage 15' to principal bldg.	1) 15' 2) 5'+10'	20'	10'	30'	4) 15'	3	6	6
B SINGLE FAMILY	33.5	7700 sf/ 70'	40%	20' to garage 15' to principal bldg.	1) 15' 2) 5'+10'	20'	10'	30'	4) 15'	3	6	6
C SINGLE FAMILY	31.9	6800 sf/ 60'	40%	20' to garage 15' to principal bldg.	1) 15' 2) 5'+10'	20'	10'	30'	4) 15'	3	6	6
D SINGLE FAMILY	11.8	6600 sf/ 60'	40%	20' to garage 15' to principal bldg.	1) 15' 2) 5'+10'	20'	10'	30'	4) 15'	3	6	6
E MULTI FAMILY	12.8	18.9 25 DU/AC Max.	50% 55%	3) 20'	3) 20'	3) 20'	3) 20'	30' 40'	5) 15'	3	6	6

- Note: 1) Minimum distance between principal buildings in adjacent lots.
2) Minimum setback (see typical lot layout exhibit)
3) Setbacks increase 1 foot to 1 foot ratio for buildings over 20 feet
4) Accessory buildings on a single family lot must satisfy the design criteria defined by Section 7-300 of the Glendale Zoning Ordinance, must conform to the R-1 Districts design criteria, and be approved by the Manistee Ranch Architectural Review Committee (MRARC)
5) Accessory buildings on the multi-family parcel must satisfy the design criteria defined by Section 7-300 of the Glendale Zoning Ordinance and be approved by the Manistee Ranch Architectural Review Committee (MRARC).
- * Maximum fence heights do not include additional vertical feet due to a retaining wall situation. Walls along side yards, rear yards and perimeter screen walls adjacent to non-residential uses may be increased as follows subject to approval by MRARC and the City of Glendale: perimeter screen walls that define Parcels ABCD may be increased to 7' along public streets and open spaces, and to 8' adjacent to the commercial and medical office parcels.

Refer to attached
approval 25 du/ac
40'

MANISTEE RANCH

RESIDENTIAL TRACTS A,B,C,D,E

GILMORE GRAVES, INC.

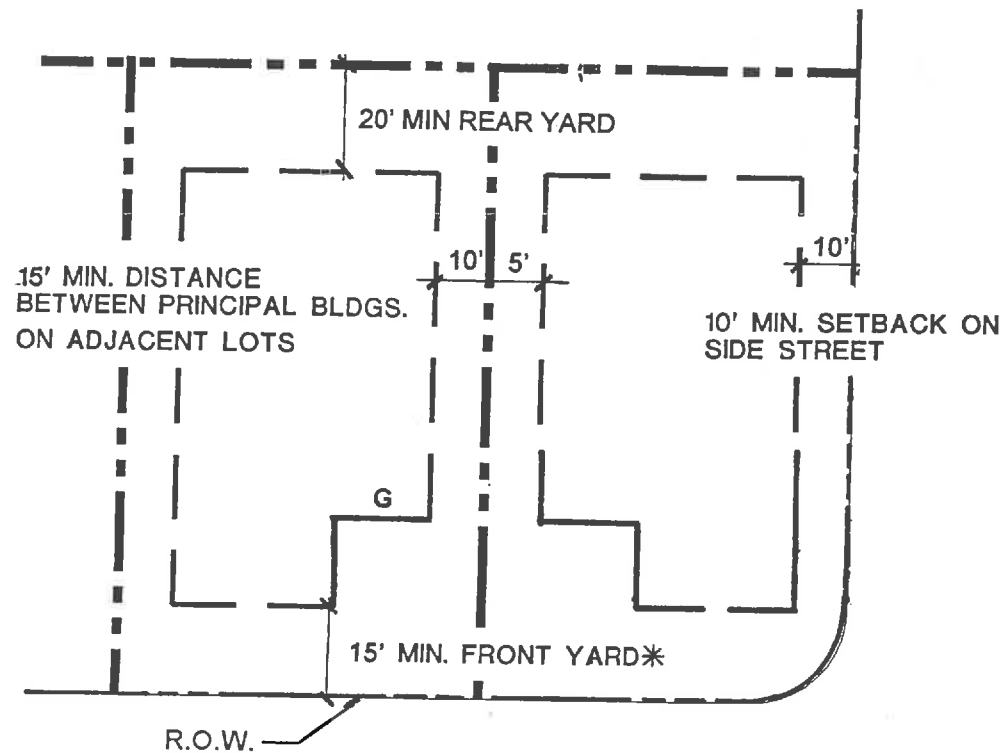
5101 W. NORTHERN AVE.

Z-95-03

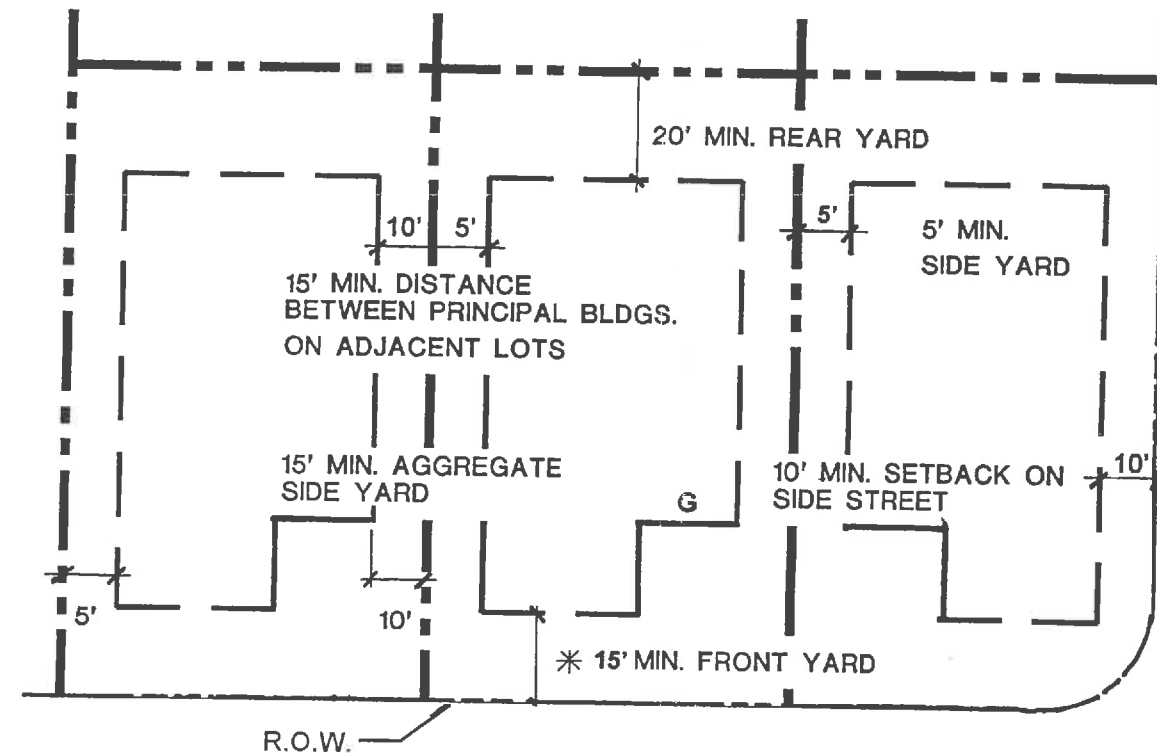


GILMORE GRAVES, INC.
PHOENIX, AZ SPRING GREEN, WI

LAND USE PLANNING
DEVELOPMENT FEASIBILITY
LANDSCAPE ARCHITECTURE



PARCEL A
5,500 SF MIN.



PARCELS B,C & D
B: 7,700 SF MIN.
C&D: 6,600 SF MIN.

* NOTE:
IF DWELLING HAS A PORCH ON IT THAT IS NOT ENCLOSED,
THE MIN. FRONT YARD SETBACK IS 15' TO FRONT OF PORCH.
THE MIN. FRONT YARD SETBACK TO GARAGE REMAINS
CONSTANT AT 20'.

MANISTEE RANCH

GILMORE GRAVES, INC.

TYPICAL LOT LAYOUTS

5101 W. NORTHERN AVE.
Z-95-03



GILMORE GRAVES, INC.
PHOENIX, AZ SPRING GREEN, WI
LAND USE PLANNING
DEVELOPMENT FEASIBILITY
LANDSCAPE ARCHITECTURE

Commercial

Commercial Development is limited to the corners of 51st Avenue and Northern, and 55th Avenue and Northern. **Commercial uses include a neighborhood shopping center located at 51st Ave and Northern, servicing Manistee and the surrounding area, as well as medical facilities to be located at 55th Ave and Northern.** These facilities will be architecturally compatible with the residential areas of Manistee by incorporating common building materials used on the project screen walls, landscape materials, colors and textures of materials and design themes. There will also be an appropriate landscape buffer when located adjacent to residential areas. Primary vehicular access to all commercial facilities will be via Northern Avenue, 51st Avenue and 55th Avenue. However, this master plan includes a local collector street along the west side of the neighborhood shopping center to allow residents to drive to this shopping center without entering arterial traffic. This aspect of the project will help minimize traffic impact on the adjacent arterial streets.

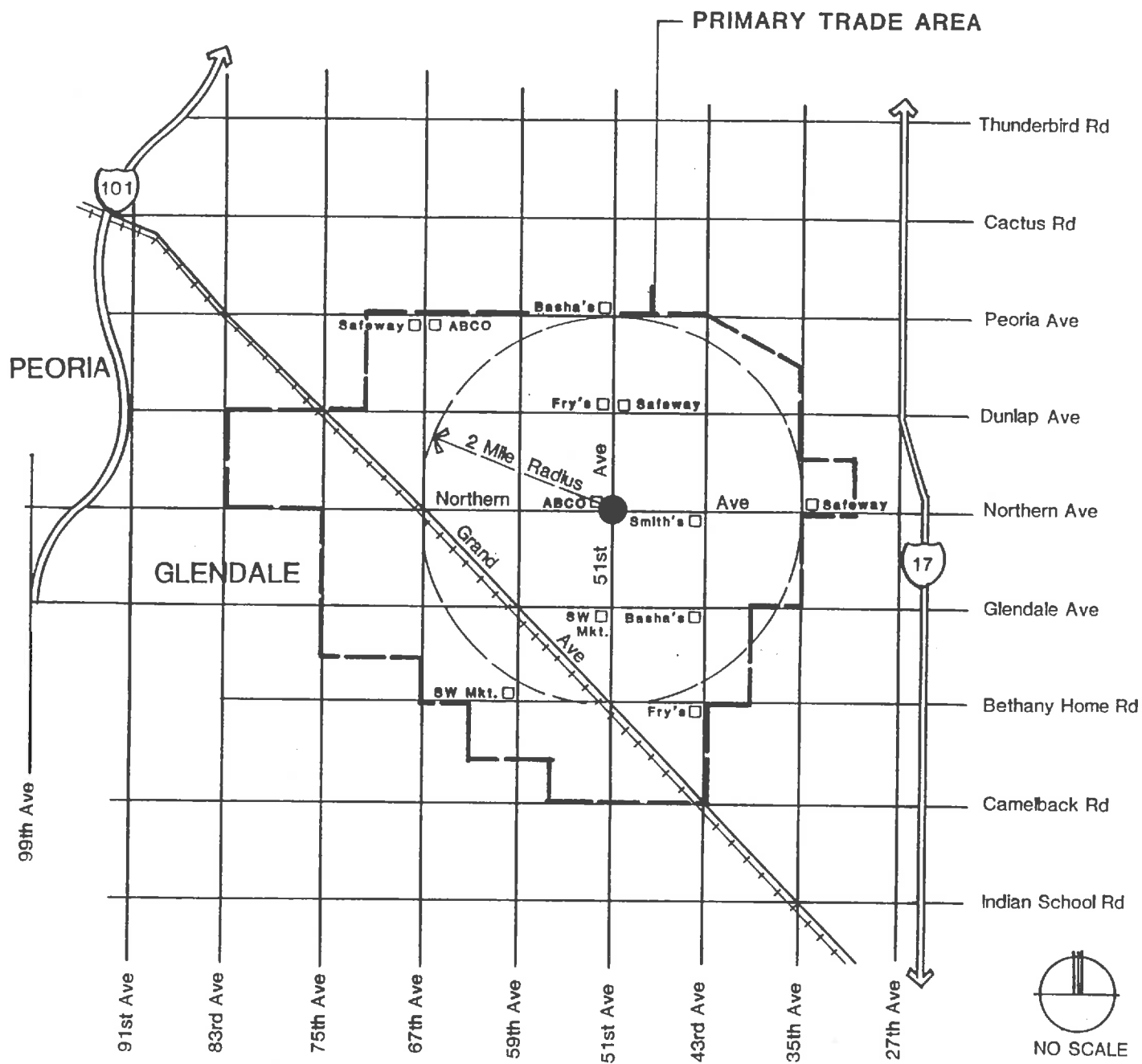
To improve buffering adjacent to the neighborhood shopping center and medical offices, public streets with screen walls up to 8 feet in height are proposed when adjacent to residential areas. The major tenant of the shopping center, as conceptually presented, would be situated diagonally to the property lines to reduce the visual impact of a continuous building wall. **Additional landscaping with canopy trees should also help reduce visual impact of this commercial structure.**

Commercial tenants will share common entries and parking areas with an integrated landscape theme consistent with other parts of Manistee. The clustering of these commercial related land uses at the intersection adheres to the intent of the Glendale General Plan. The need and justification for the retail is composed of several aspects. **The trade area surrounding the intersection of 51st and Northern Avenues is presently served by grocery stores that are below average in size and above average in age.** Many of these existing grocery stores are outdated and offer only limited products and services. As a result, **according to a site selection study prepared by a national grocery chain interested in locating in the proposed shopping center, consumers living in the trade area are presently spending in excess of \$500,000 per week outside of the trade area to satisfy their grocery shopping needs.** A better understanding of the need is presented below.

Trade Area: Based on location of transportation corridors, existing and future population densities and competition from existing grocers, market researchers have delineated the trade area outlined on the map titled Retail Trade Area. The majority of this trade area is within a 2 mile radius of the subject intersection. The projected 1996 population within the trade area is estimated to be 104,310 based on US Postal Service and census data.

Age of Grocery Stores in Trade Area: The average age of the existing grocery stores in the Primary Trade Area ("trade area") is 18.8 years. The existing grocery stores within a 2 mile radius of the subject intersection have an even higher average age of 21.6 years. The newest store in the trade area, the ABCO at 67th Avenue and Peoria, is 8 years old. Two stores in the trade area are over 30 years old. Due to the entry of new grocery store chains and the resulting competition, most areas in the valley are served by much newer stores. The exception to this analysis is the new Smiths store (which is under construction and will open soon) at 43rd Avenue and Northern.

Size of Grocery Store in Trade Area: The average size of the existing grocery stores in the trade area is 36,323 square feet. The average size of the existing grocery stores within a 2 mile radius of the subject intersection is 32,375 square feet. Currently, new grocery stores (such as the Smiths at 43rd Avenue) in the valley range in size from 50,000 to 75,000 square feet with some superstores exceeding 100,000 square feet.



RETAIL TRADE AREA

Product Selection / Customer Service: Due to their smaller size and older age, the existing grocery stores in the trade area have a more limited selection of products and provide less services. The new prototypical grocery store offers an extensive line of product and services including pharmacy, general merchandise, delicatessen, scratch bakery, flowers, service meat and fish departments, video rentals and liquor.

Long Term Commitment of Existing Stores: The smaller and older stores existing in the trade area are not able to make modifications to their existing stores in order to maintain a competitive advantage due to the physical constraints of their location. In most cases, especially with ABCO across Northern Avenue, there is no room to expand the current facility. ***In addition to the small store, the space occupied by ABCO is a leasehold interest.***

Grocery Sales - Potential vs. Existing: Based on the population within the trade area (1996 est.: 104,310) and estimated per capita grocery expenditures (approx. \$29.14 per person per week), the estimated weekly potential sales volume for the trade area is approximately \$3,040,000. Based on market research, it is estimated that the total sales volume of existing grocery stores in the trade area is approximately \$2,500,000. Thus, it appears that each week consumers living in the trade area are spending \$500,000 in grocery stores outside of the trade area. ***Over the period of one year this equates to \$26,000,000 being spent in grocery stores outside of the trade area. This substantial "leakage" of grocery store sales is consistent with the trade area being under-served by smaller, older and outdated stores as indicated above.*** Considering the direction of "going home" traffic in this area, it is reasonable to assume that the majority of the grocery expenditures that are "leaking" out of the trade area are being spent in grocery stores located to the east and southeast in Phoenix. The construction of new full service supermarkets in the trade area should cause the existing grocery stores to remodel their facilities and expand their product selection and services. As a result of the increased competition and expanded customer service, the "leakage" of grocery store sales from the trade area should be substantially diminished.

The site selection/market analysis carried out to determine if a new grocery store is feasible at the corner of 51st Avenue and Northern has taken into account the existence of the new Smiths store at 43rd Avenue. The result was that even with the new Smiths, there is a need for additional modern grocery service in the market area, and the intersection of 51st Avenue and Northern is the most desirable location to efficiently serve the market.

Population Growth: Although this is an in-fill site surrounded by existing residential developments, there are pockets of new growth. Market research indicates that the population within the trade area will grow by approximately 1,800 people between 1994 and 1998. This estimated growth in the population does not include the Manistee Ranch master plan. The current development master plan for Manistee Ranch provides for a combined total of approximately 654 single-family and multi-family dwelling units.

Impact on Existing Grocery Stores: In all aspects of business, the introduction of new competitors presents challenges to the existing businesses. The result here is no different. The construction of a new modern full-service grocery store at the subject intersection will increase competition in the trade area. The existing grocery stores in the trade area will need to take the steps necessary to match the products and services offered by the new store and to improve the look and condition of their buildings so as to offer the type of shopping environment that consumers in this part of Glendale will come to expect. This will require some of the existing stores to remodel and expand their inventory and services or the shopping center owners will need to retenant. All of this benefits the consumer through lower prices, more selection, better service and a nicer and more modern shopping environment.

Downtown Glendale: It has been suggested that any new modern grocery store that desires to locate in this area should be encouraged to locate in downtown Glendale at the intersection of 51st Avenue and Glendale Avenue. ***Although the city's redevelopment plans for downtown Glendale will benefit the community, it is unlikely that any of the major grocery store chains would locate a store in this area.*** There are several reasons for this. First, the trade area for downtown Glendale is limited considerably by its close proximity to Grand Avenue and the adjacent railroad facilities. Second, like other redevelopment areas such as downtown Tempe, the narrow roadways and numerous traffic lights in downtown Glendale create traffic constraints, but provide pedestrian opportunities. Large modern grocery stores are very dependent on vehicular accessibility and, due to the summer heat, pedestrian access is of much less concern.

Substitute Users: Although good for consumers, increased competition sometimes leads to business casualties. Those existing grocery stores that do not change to meet the higher demands of consumers may not survive. Any building that is vacated as a result provides opportunities for smaller space users to enter the trade area. Such "second generation" users that typically utilize vacated grocery store buildings include arts & craft stores, pet food superstores, fabric shops, sporting good stores, paint stores, home furnishing stores, pool & patio stores, home electronic stores and indoor children's play facilities.

Park / Open Space / Retention

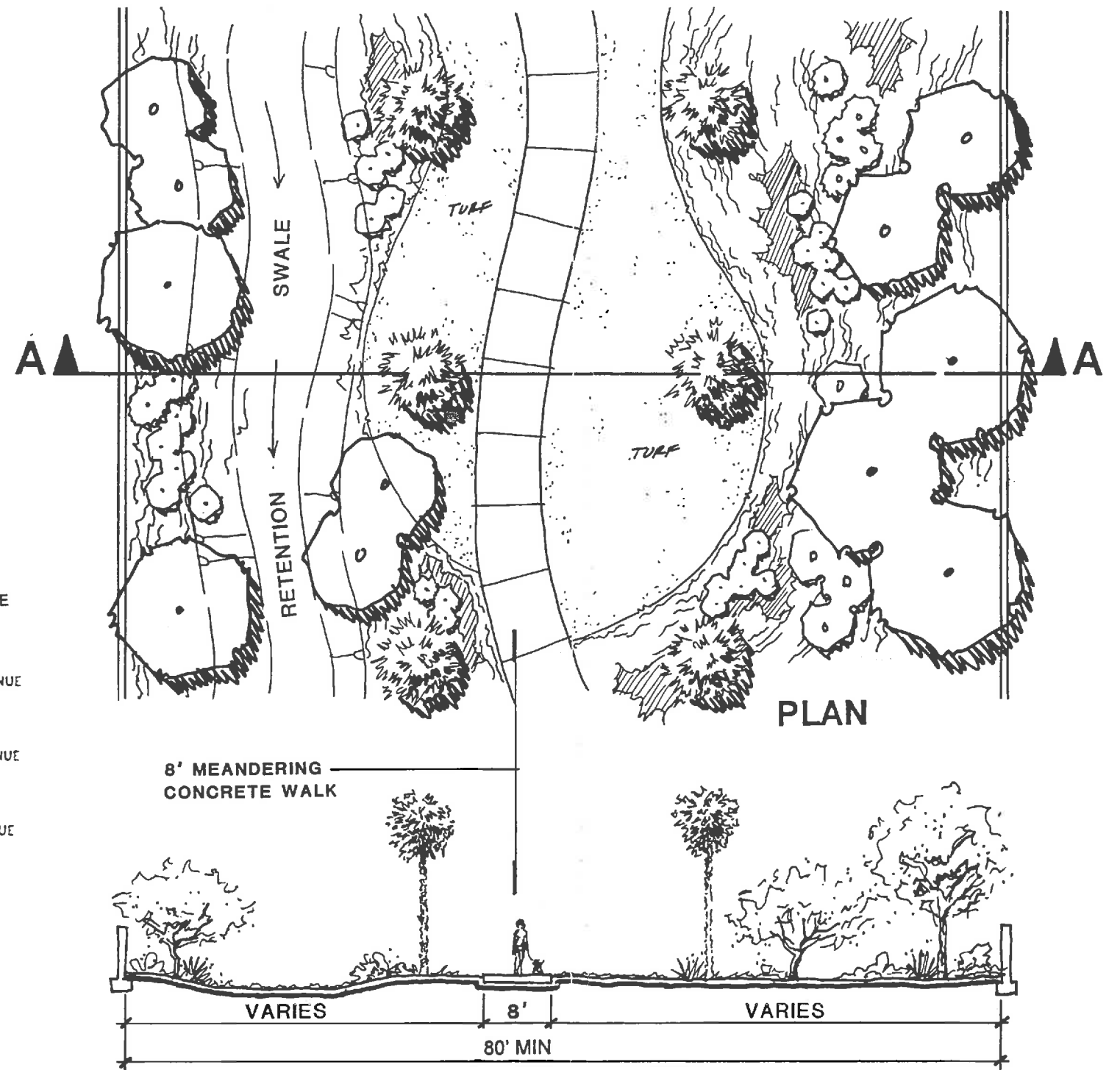
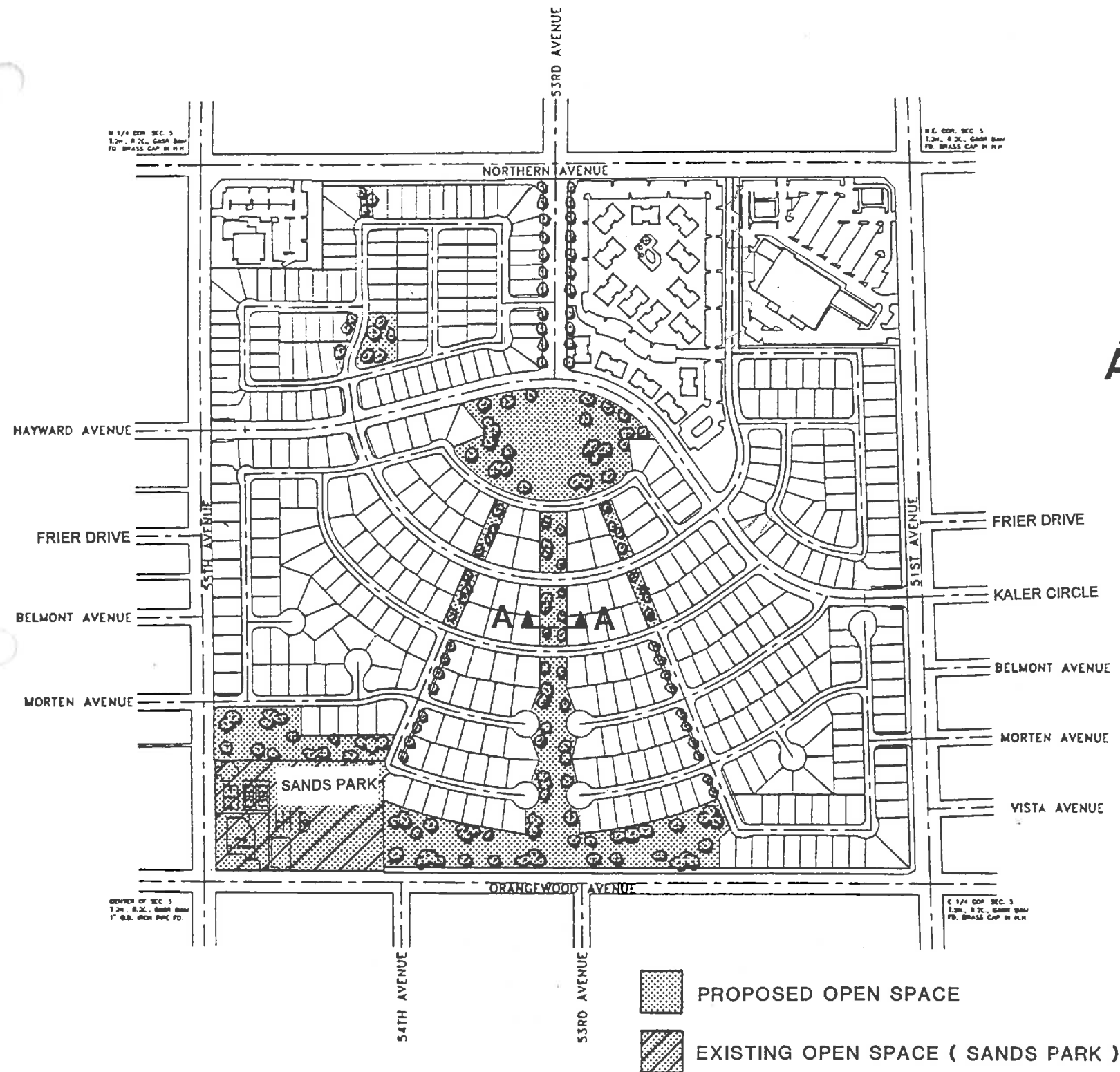
The most important part of Manistee is open space. ***Neighborhood interaction throughout Manistee will occur by way of the pedestrian paths (8' concrete) designed into the open space system.*** The open space and paths, and interconnected detached sidewalks, extend throughout the project. Sands Park is integrated into the new open space system by way of this path system and by the provision of additional open space located adjacent to the north and the east. This existing park is a link between the existing neighborhood to the south and west. Sands Park provides active recreational opportunities including: hard court, soccer and baseball facilities, children's play equipment as well as passive areas including ramadas. ***These facilities are easily accessible to residents of Manistee by foot and bicycle, by way of the open space corridors and subdivision streets which lead to the park.*** The Sands Family is willing to dedicate some of the open space which is located adjacent to the Sands Park. The amount of open space to be dedicated to the City will depend on the Cities plans for the park.

Function and aesthetics are combined in the form of the open space system. In some areas, the open space will be used to channel and or retain storm water. In these situations, the open spaces/retention area may be used for large open play fields or corridors for paths. Actual location of retention basins will be determined at the time the preliminary plat is designed.

Circulation

The other major component of the Manistee Ranch plan is the street system. ***Like the open space, the road system design reinforces the sense of place and clearly defines this as a unique neighborhood.*** The symmetrical, radius street pattern is reminiscent of old Town Plans from the 20's and 30's. The streets lead people into and through the neighborhood. There will be no doubt in the mind of a resident or visitor that they are in Manistee. The streetscape is designed to emulate an older neighborhood. The streets clearly direct traffic distinguishing between places for residents and traffic associated with the non residential areas of Manistee.

Access to Manistee is focused on three (3) main entrances. The primary entrance is from Northern and extends south into the project. The two (2) secondary access points are from 51st and 55th Aves. These points of ingress and egress are located to provide an even distribution of traffic to surrounding roadways. ***Access points have been carefully located to avoid conflict with the existing transportation system.*** These access points will allow traffic to safely and conveniently, move into and



MANISTEE RANCH

GILMORE GRAVES, INC.

OPEN SPACE EXHIBIT

5101 W. NORTHERN AVE

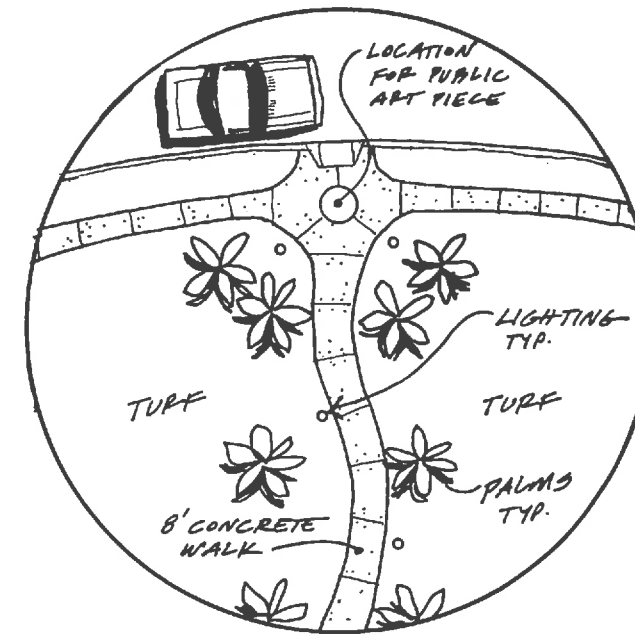
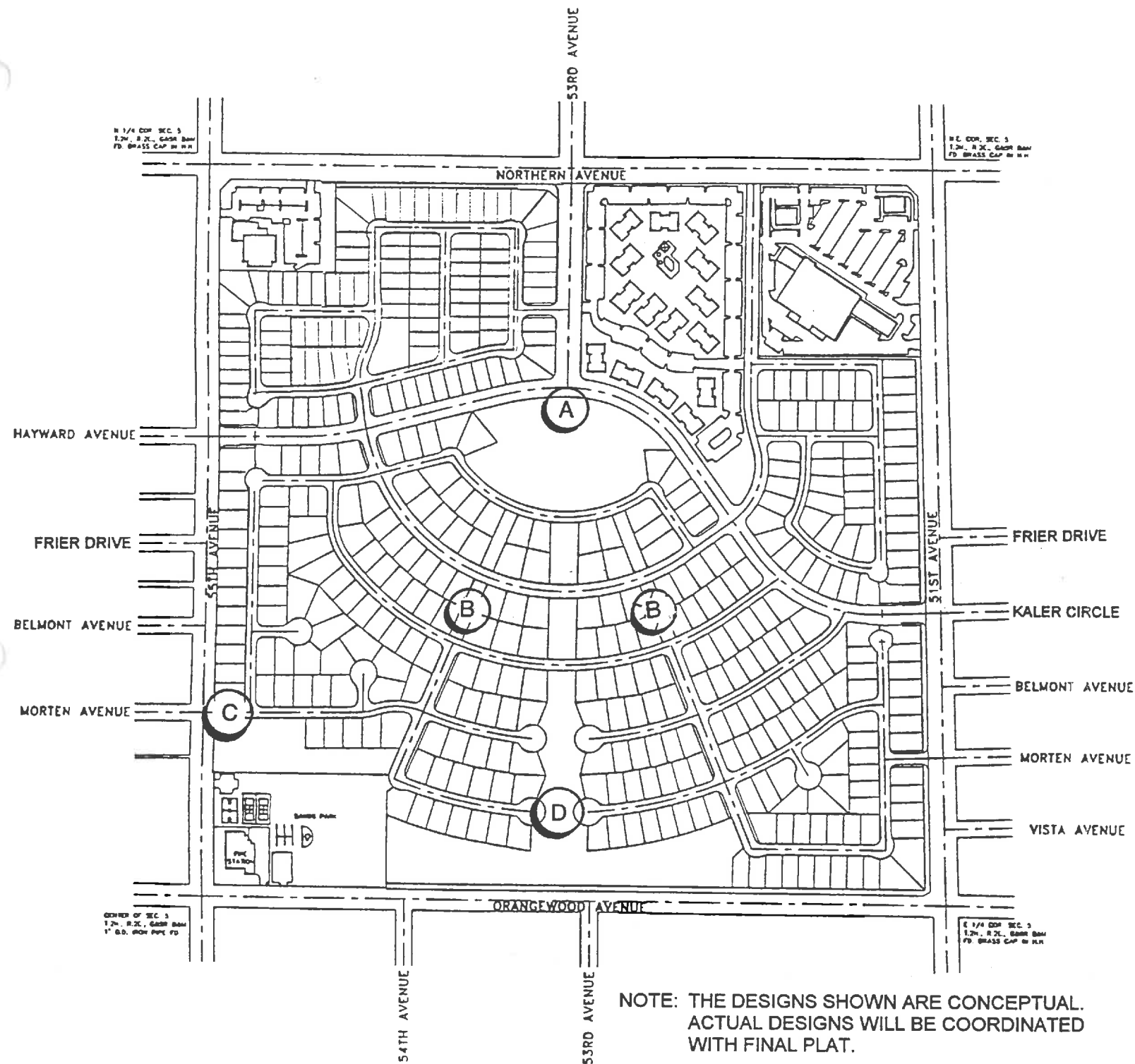
Z-95-03



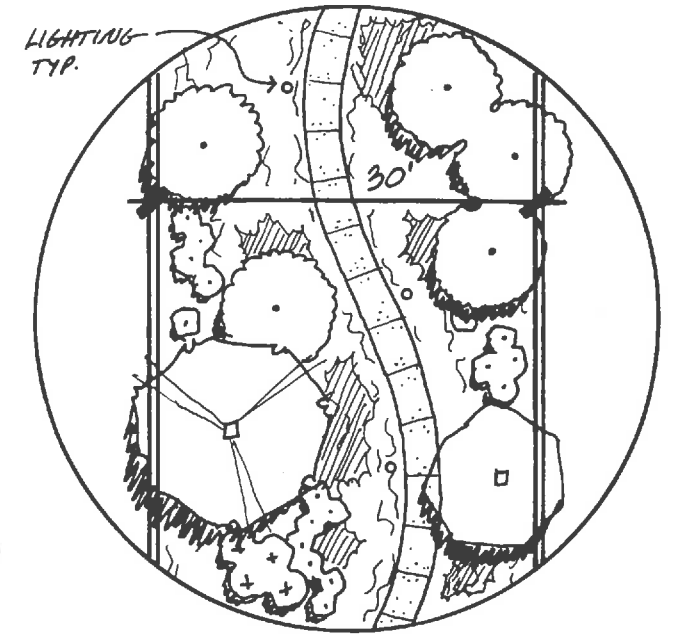
GILMORE GRAVES, INC.
PHOENIX, AZ SPRING GREEN, WI

LAND USE PLANNING
DEVELOPMENT FEASIBILITY
LANDSCAPE ARCHITECTURE

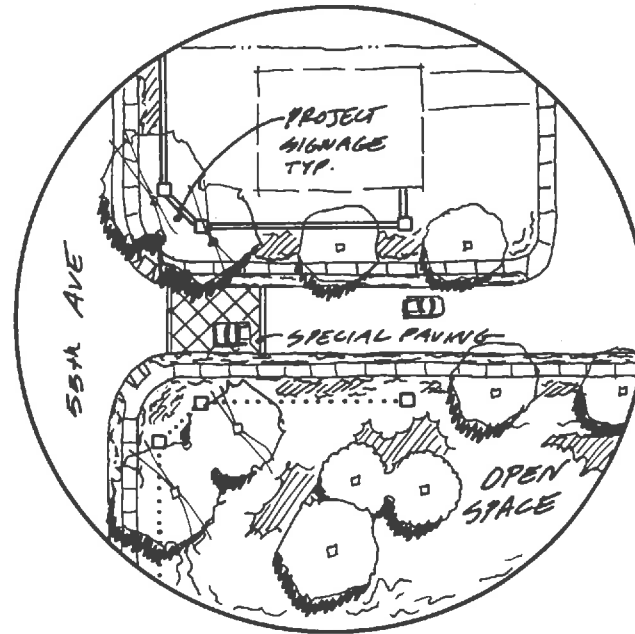
602-266-5622
602-266-5707 FAX



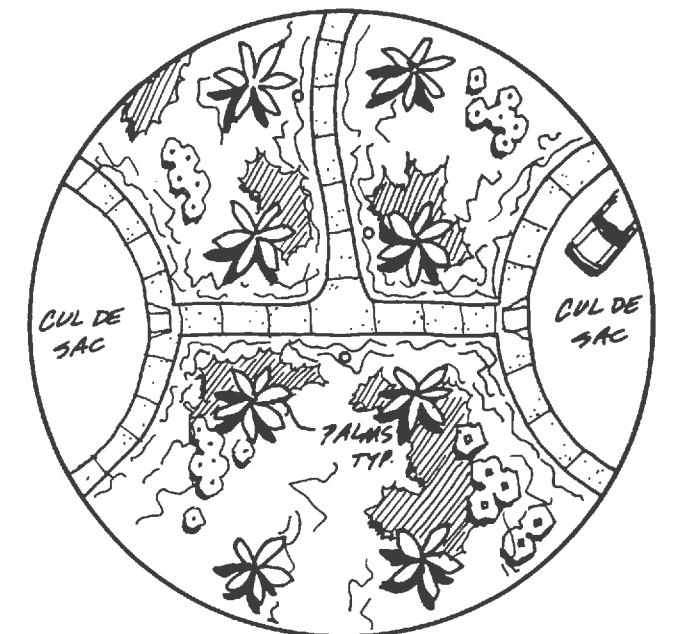
A OPEN SPACE ACCESS



B GREENBELT



C MINOR ENTRY
NOTE: DETAILED PLANTING, LIGHTING AND SITE FURNISHING PLANS TO BE SUBMITTED FOR REVIEW / APPROVAL AT PRELIMINARY PLAT STAGE.



D PEDESTRIAN CONNECTION

MANISTEE RANCH

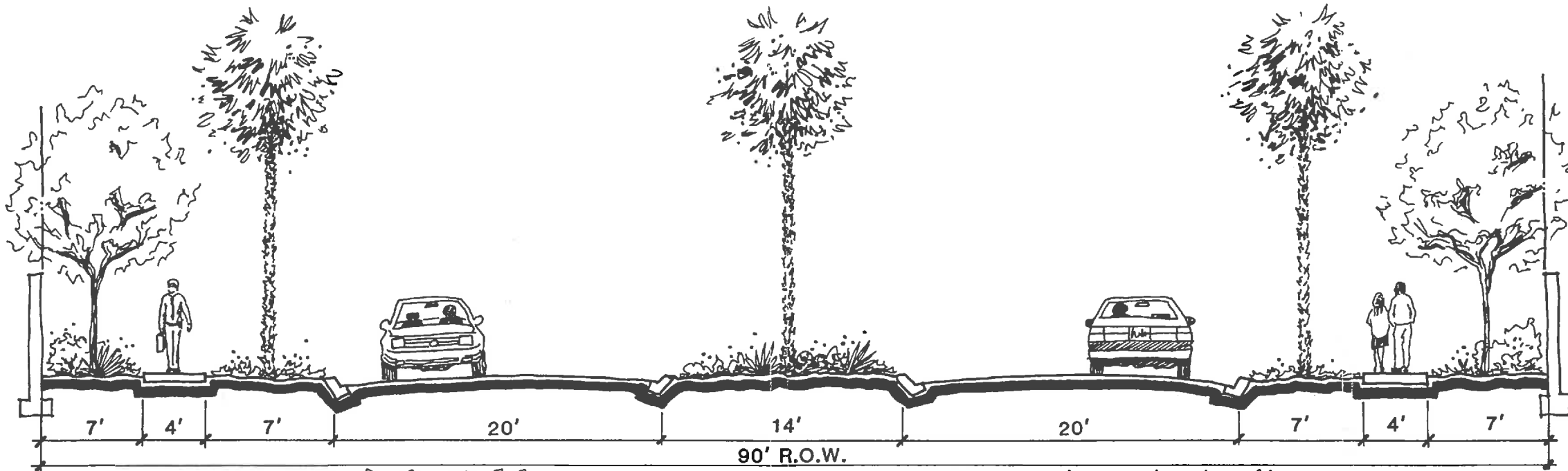
GILMORE GRAVES, INC.

CONCEPTUAL OPEN SPACE DETAILS

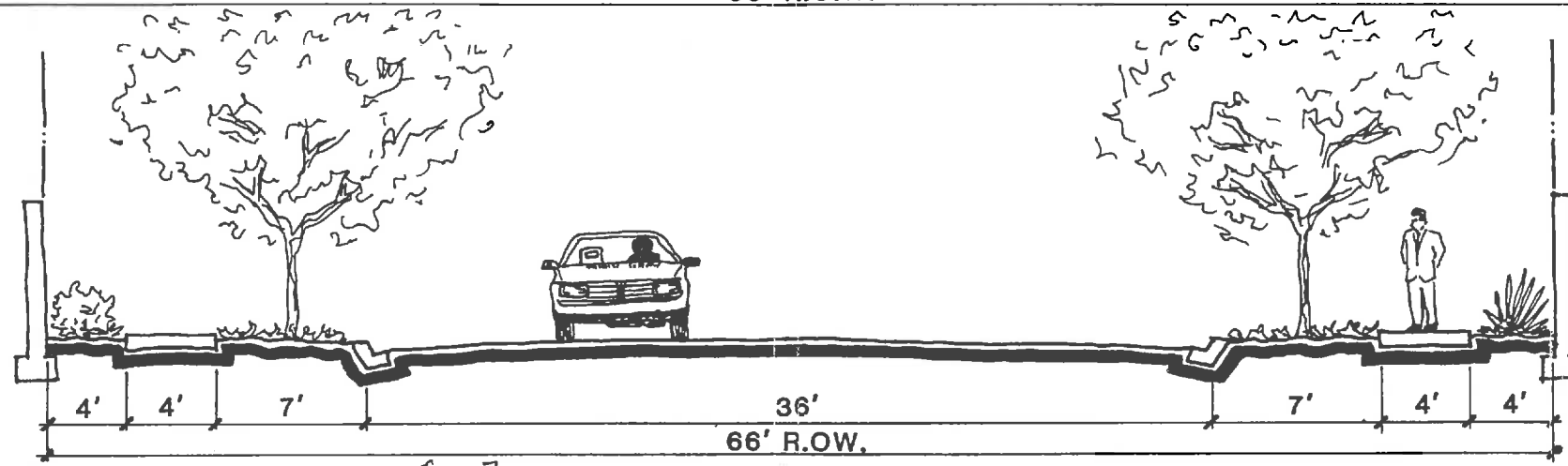
5101 W. NORTHERN AVE.
Z-95-03

GILMORE GRAVES, INC.
PHOENIX, AZ SPRING GREEN, WI
LAND USE PLANNING
DEVELOPMENT FEASIBILITY
LANDSCAPE ARCHITECTURE
602-266-5622
602-266-5707 FAX

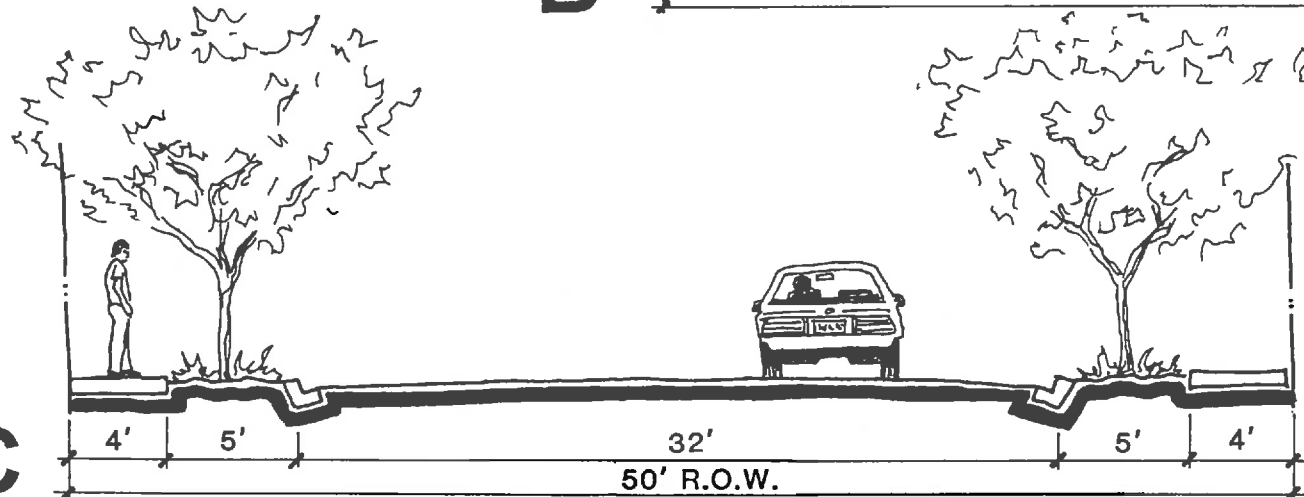
A



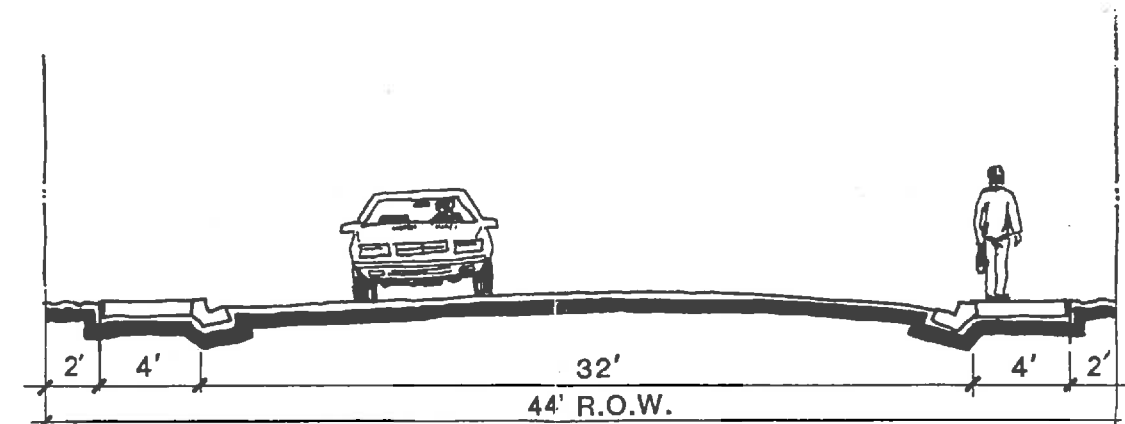
B



C



D



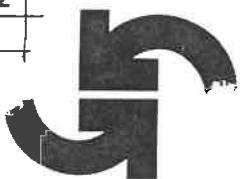
MANISTEE RANCH

STREET CROSS SECTIONS

GILMORE GRAVES, INC.

5101 W. NORTHERN AVE.

Z-95-03

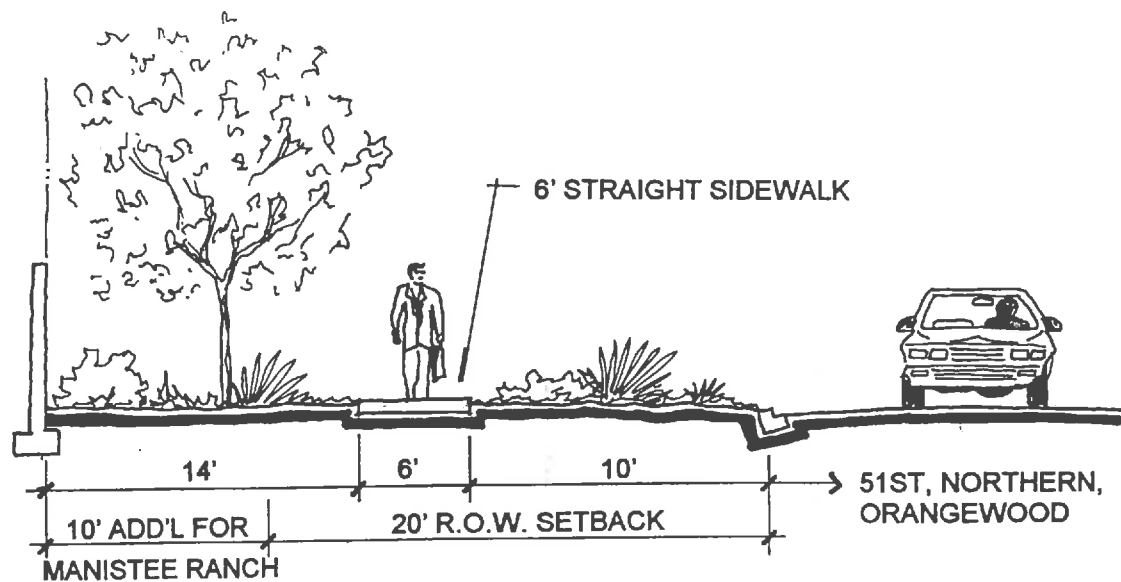


GILMORE GRAVES, INC.
PHOENIX, AZ SPRING GREEN, WI

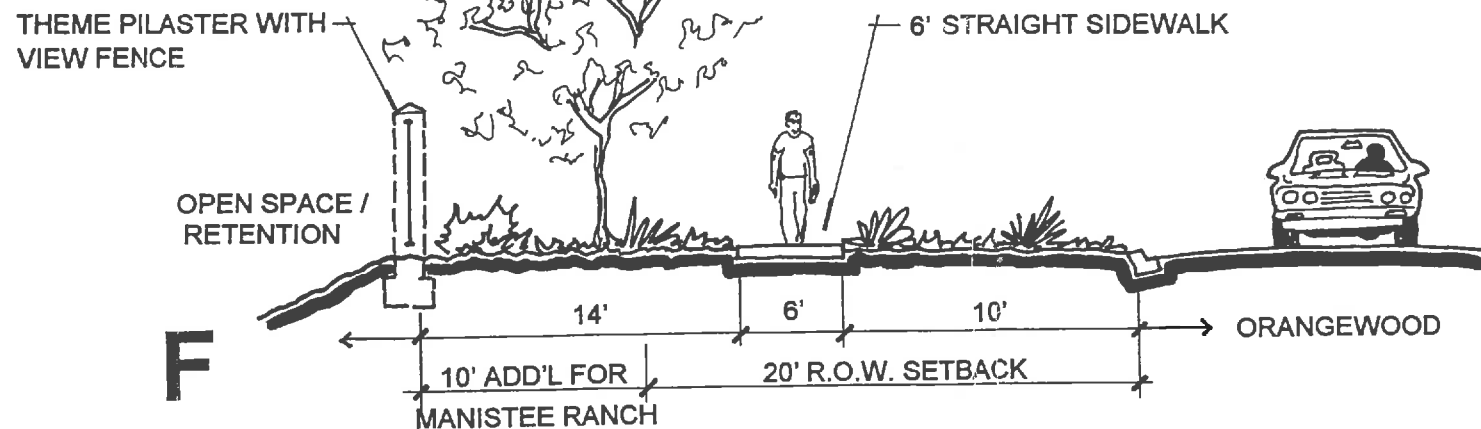
LAND USE PLANNING
DEVELOPMENT FEASIBILITY
LANDSCAPE ARCHITECTURE

602-266-5622
100 911 2707 FAX

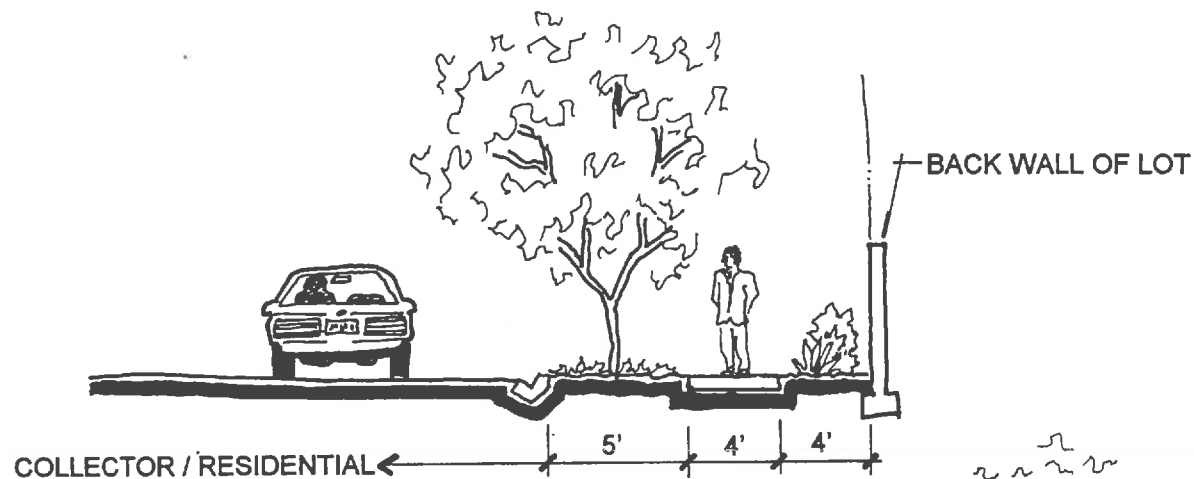
E



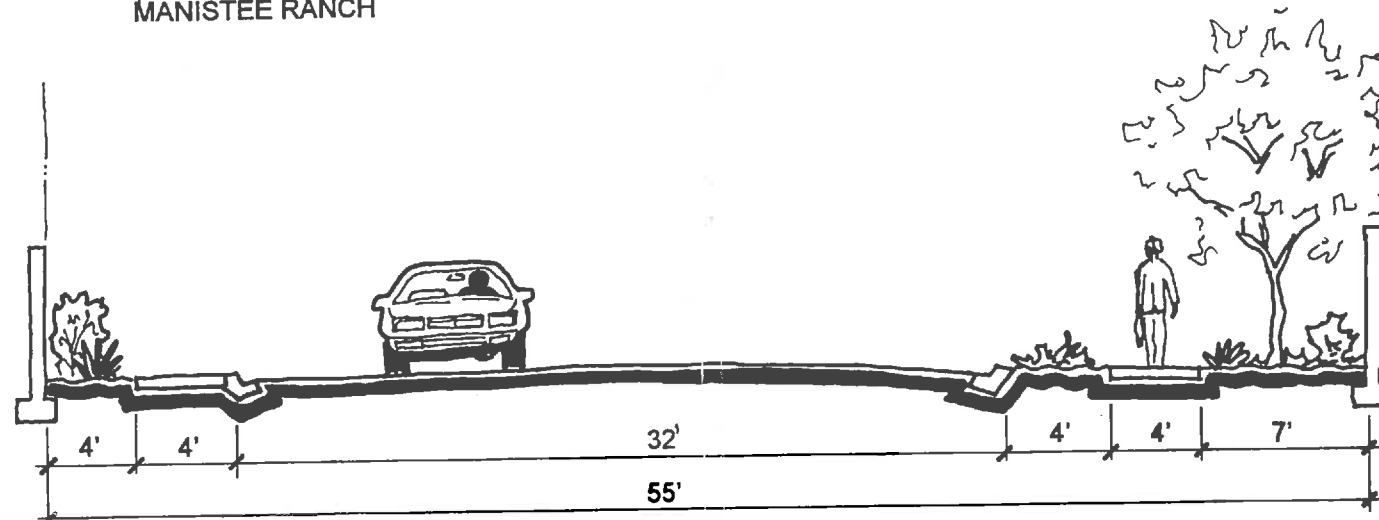
F



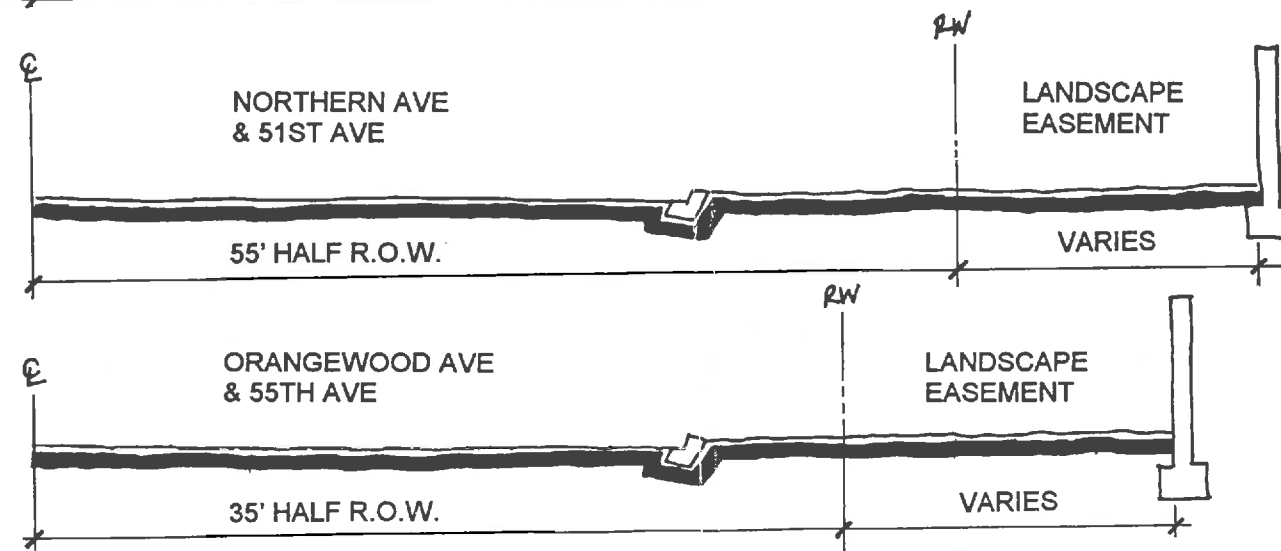
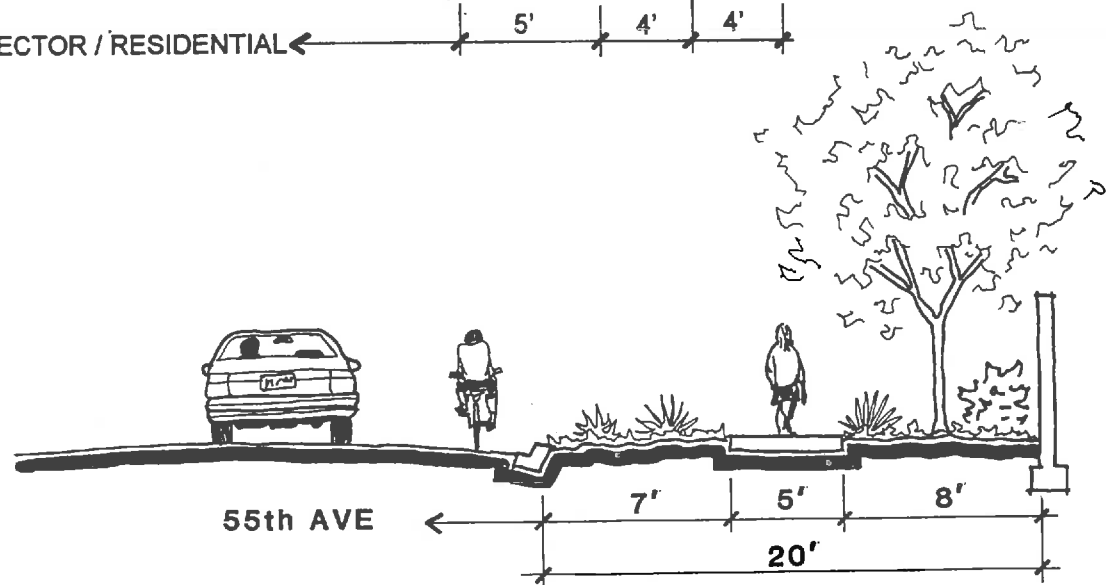
G



H



I



TYPICAL R.O.W. SECTIONS

MANISTEE RANCH

STREET AND EDGE CROSS SECTIONS

GILMORE GRAVES, INC.

5101 W. NORTHERN AVE.

Z-95-03



GILMORE GRAVES, INC.
PHOENIX, AZ SPRING GREEN, WI

LAND USE PLANNING
DEVELOPMENT FEASIBILITY
LANDSCAPE ARCHITECTURE

602-266-5622
602-266-5707 FAX



..... PEDESTRIAN CIRCULATION ROUTE
(SEE STREET CROSS SECTION EXHIBIT FOR
SIDEWALK LOCATIONS ALONG STREETS)

MANISTEE RANCH

PEDESTRIAN CIRCULATION EXHIBIT

GILMORE GRAVES, INC.

5101 W. NORTHERN AVE
Z-95-03



GILMORE GRAVES, INC.
PHOENIX, AZ SPRING GREEN, WI

LAND USE PLANNING
DEVELOPMENT FEASIBILITY
LANDSCAPE ARCHITECTURE

602-266-5622
602-266-5707 FAX

out of the development, while discouraging non-neighborhood through-traffic through the neighborhoods and any "cut through" traffic. Streets are designed to provide variety and interest in the visible street. The vehicular and pedestrian circulation has been designed to allow residents to access the commercial area internally, eliminating the need for residents to drive on the major arterials.

An 8' wide concrete path, located in the open space areas, will offer families a circulation network with an opportunity for non-vehicular travel such as pedestrian and bicycle. In some portions of the single family neighborhoods, detached, meandering sidewalks replace the standard curb-attached sidewalks found throughout the City thus creating a better pedestrian atmosphere.

A complete traffic analysis, defining current traffic volume and stating projected volumes and the effect on intersections adjacent to the property, has been completed and is presented as a separate document for review by the City.

Phasing

Manistee will be developed in one phase but staged to meet the timing needs of individual home builders and/or commercial users. The perimeter landscaping and right of way improvements (except those located adjacent to the commercial and medical office parcels) will be built during phase one. Phase one will include mass grading the entire property, constructing the two main boulevards, the common area open space system and the perimeter landscaping and right of way improvements. Actual subdivision construction is planned to be done by individual home builders.

Provided all necessary approvals can be obtained, construction should begin in mid to late 1995. The land use and parcel configuration efficiently accommodates staging of the development, thus allowing for each subdivision to be developed independently. The construction of the two main "boulevards", extending south from Northern, and west from 51st, will provide access for marketing of the three neighborhoods by individual home builders.

Development of the commercial and medical office parcels will occur independent from the single family neighborhoods. Perimeter landscape and right of way improvements located adjacent to the commercial property and along Northern, 51st and 55th Avenues will be built when buildings on those parcels are built. Construction of the Neighborhood shopping Center is expected in late 1995. The medical facilities are not planned for construction until after 1996.

Design Philosophy

The design techniques utilized throughout the Manistee Ranch will identify each neighborhood with consistent paving, signage, landscape, and architecture elements. This will create a signature planned family neighborhood for Glendale. Major entries and the three neighborhood entries will be similar in paving features, plant palette and signage. The major entries will signify that they are at the entrance to Manistee by simple, but bold, landscaping and signage. Details of the landscape design will be established and approved along with the preliminary plat.

The Manistee Ranch Design Guidelines which comply with City design expectations for residential development, and will be the tool by which quality is established and maintained throughout the property. ***Homes will be comprised of complete stucco exterior finishes, tile roofs versus asphalt shingles and architectural variety in the facades.*** A number of detail techniques, as described below, will be integrated to accentuate a high quality ambiance. These include coordinated painting and color

schemes, prohibition of roof mounted equipment, the screening of mechanical equipment from public view and the use of block walls around all properties. ***The Medical office and neighborhood shopping center will be a compatible and related design to the theme of Manistee.*** These facilities will demonstrate the high quality living environment established for Manistee. Actual design of these facilities will occur after approval of the PAD, and will be subject to commercial building design review by City staff.

The Manistee Ranch Property Association and the Architectural Review Committee will provide enforcement of the Design Guidelines and CC&R's as they relate to the development within Manistee Ranch.

PAD Development Standards

Single Family Residential Tracts A,B,C,& D

The single family residential parcels are intended as neighborhoods of single family homes with not more than one (1) dwelling and customary accessory building upon one (1) lot. Uses permitted other than single family must receive development plan review as required by City of Glendale Codes and Ordinances. The permitted uses include all uses permitted in the R-1 Urban Districts of the City of Glendale Zoning Ordinance; Section 5.300, and Development Standards noted in the "Residential Tracts ABCD&E" Exhibit.

Retail Commercial Tract G

The proposed neighborhood shopping center is intended to serve the shopping needs of Manistee Ranch and the surrounding neighborhoods, or approximately four (4) square miles.

The purpose of the following provisions is to regulate design and development of the Commercial Shopping Center in Manistee Ranch. The commercial site will be developed as a planned neighborhood shopping center, in compliance with the C-1 Neighborhood Commercial District; Section 5.730 of the City of Glendale Zoning Ordinance including all permitted and conditional uses and in compliance with all development standards except for setbacks as shown on Exhibits contained in this PAD illustrating Commercial Tracts G. It is an objective of this section to permit a variety of compatible uses and facilities supportive of the general community. It is intended to meet the daily shopping and service needs of Manistee Ranch residents and those in other nearby neighborhoods. The following are development standards for the Commercial Tracts:

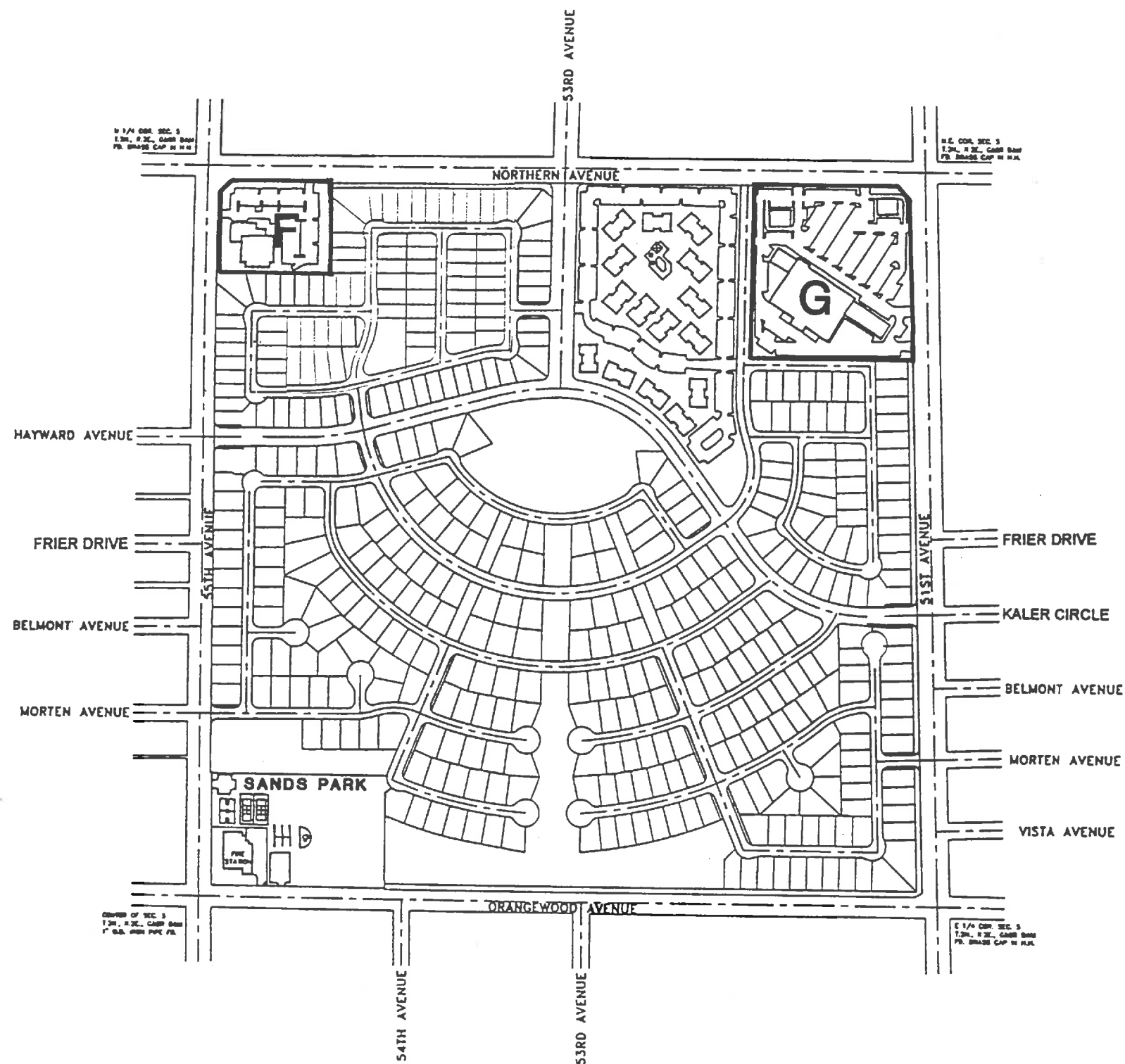
- 1 No part of the proposed shopping center will be built prior to approval, by the City of Glendale, of an overall site plan for the entire shopping center.
- 2 Development shall conform to the City's Commercial Design Expectations as determined at the time of Development Plan approval (design review approval Section 3.600 of the City of Glendale Zoning Ordinance).
- 3 The maximum F.A.R. shall be .30.
- 4 Building heights shall be limited to 30 feet.
- 5 A minimum building setback of 25 feet shall be maintained adjacent to any residential property boundary for retail commercial uses and 15 feet for medical office uses.

- 6 The minimum landscaped area between the back of curb and parking areas along public roadways will be 15 feet including the public sidewalk.
- 7 Parking shall be 1 space for each 250 sq. ft. of building area.
- 8 Lighting, exterior and interior, shall be designed and located to confine direct rays to the premises.
- 9 Loading, service areas and site walls shall be designed to provide screening from adjacent streets or residential planning areas. A 4 foot screen wall shall be built adjacent to public streets to screen parking area and a 8 foot wall will be built adjacent to residential areas to screen buildings.
- 10 Trash and storage areas shall be screened from view within a building or an area enclosed by a wall not less than six (6) feet in height and six (6) inches thick.
- 11 All uses permitted together with their resulting products shall be contained entirely within a completely enclosed structure, except for off-street parking and loading and service areas, trash enclosures, outdoor drying may be permitted in conjunction with a car wash subject to convenience use permit approval, areas for sale of nursery, landscape and home improvement material and outdoor dining areas, periodic sidewalk sales, and temporary seasonal sales as provided by Section 47 of the City of Glendale Zoning Ordinance.

Medical Office Tract F

The proposed medical office is intended to serve the needs of Manistee Ranch and the surrounding neighborhoods with a variety of medical services including a pharmacy and sale and rental of medical supplies and equipment. The purpose of the following provisions is to regulate design and development of the Medical Office in Manistee Ranch. The Medical Office site will be developed as a professional office, in compliance with the G-O General Office District; Section 5.540 of the City of Glendale Zoning Ordinance including all permitted and conditional uses and in compliance with all development standards except for setbacks as shown on Exhibits contained in this PAD illustrating Tract F. It is an objective of this section to permit a variety of compatible uses and facilities supportive of the general community. It is intended to meet the medical care and service needs of Manistee Ranch residents and those in other nearby neighborhoods. The following are development standards for the Medical Office Tracts:

1. Development shall conform to the City's Commercial Design Expectations as determined at the time of Development Plan approval (design review approval Section 3.600 of the City of Glendale Zoning Ordinance).
2. The maximum F.A.R. shall be .50.
3. Building heights shall be a maximum of 30 feet.
4. A minimum building setback of 25 feet shall be maintained adjacent to any residential property boundary for retail commercial uses and 15 feet for medical office uses.
5. The minimum landscaped area between the back of curb and parking areas along public roadways will be 25 feet including the public sidewalk.
6. Parking shall be 1 space for each 350 sq. ft. of building area.



MANISTEE RANCH
Commercial/Office Development Standards

Use	Maximum F.A.R.	Minimum Yard Setbacks				Building Heights			Maximum Wall Height		
		Front	Rear	Side	St. Side				Front	Side	Rear
Parcels F&G											
F: Medical Office (CO)	.30	25'	2)	2)	2)	30'			3'	8'	8'
G: Neighborhood Shopping Center (SC)	.30	25'	1) 60'	1) 60'	25'	30'			3'	8'	8'

Note: 1) 60 feet adjacent to residential lots; 25 feet if adjacent to street.
 2) Minimum 15' with 15' building height, then 1 additional foot setback per additional foot in building height to 30'

NOTE: SITE PLANS SHOWN FOR ILLUSTRATIVE PURPOSES ONLY.
 FINAL CONFIGURATION TO BE PREPARED AND SUBMITTED FOR CITY OF GLENDALE DESIGN REVIEW PROCESS PRIOR TO DEVELOPMENT.

MANISTEE RANCH

RETAIL COMMERCIAL/ MEDICAL OFFICE TRACTS F,G

GILMORE GRAVES, INC.

5101 W. NORTHERN AVE.
Z-95-03



GILMORE GRAVES, INC.
 PHOENIX, AZ SPRING GREEN, WI

LAND USE PLANNING
 DEVELOPMENT FEASIBILITY
 LANDSCAPE ARCHITECTURE

602-266-5622
 602-266-5707 FAX

Manistee Ranch Preliminary Plant Palette

Major Street Tree such as:

Phoenix dactylifera
Ulmus parvifolia 'True Green'
Washingtonia robusta

Date Palm
Evergreen Elm
Mexican Fan Palm

Minor Street Tree such as:

Dalbergia sissoo
Fraxinus velutina 'Rio Grande'
Pistacia chinensis
Quercus buckleyi 'Redrock'

Sissoo Tree
Fantex Ash
Chinese Pistache
Redrock Oak

Local Street Tree such as:

Pithecellobium flexicaule
Prosopis chilensis
Prosopis glandulosa
Schinus terebinthifolius

Texas Ebony
Thornless Chilean Mesquite
Honey Mesquite
Brazilian Pepper

Vines such as:

Bougainvillea species
Campsis radicans
Ficus pumilla
Macfadyena unguis-cati
Podranea ricasoliana
Rosa banksiae 'Lutea'

Bougainvillea
Trumpet Vine
Fig Vine
Cat's Claw Vine
Pink Trumpet Vine
Lady Bank's Rose

Accents such as:

Agave species
Chamerops humilis
Cycas revoluta
Dasylirion wheeleri
Muhlenbergia species

Agave
Mediterranean Fan Palm
Sago Palm
Desert Spoon
Deergrass

Shrubs such as:

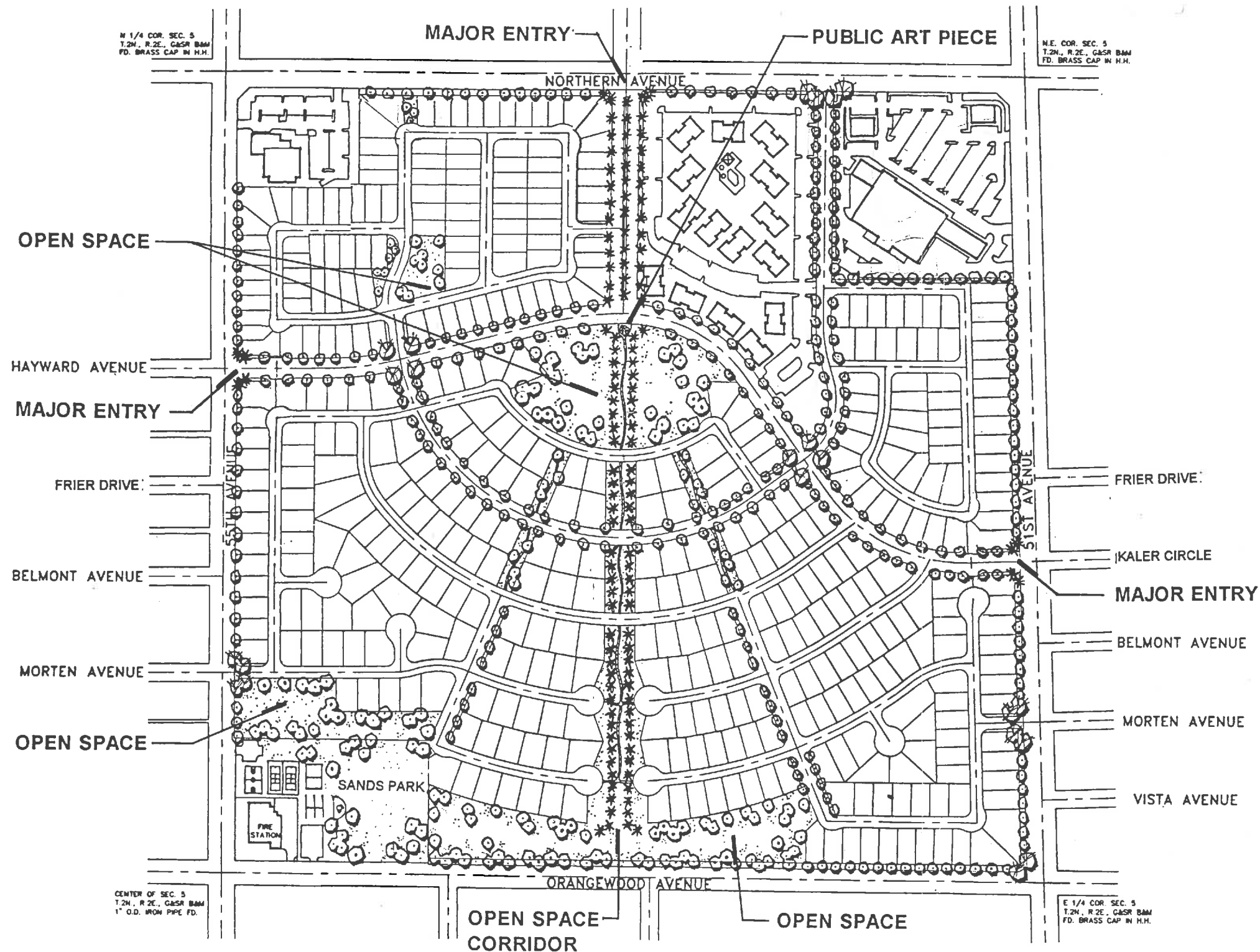
Buxus m. japonica
Carrisa species
Cassia species
Cocculus laurifolius
Euonymus species
Hesperaloe parviflora
Leucophyllum species
Myrtus species
Nandina domestica
Photinia fraseri
Pittosporum species
Salvia species
Xylosma congestum 'Compacta'

Japanese Boxwood
Natal Plum
Cassia
Cocculus
Euonymus
Red Yucca
Texas Ranger
Myrtle
Heavenly Bamboo
Photinia
Tobira
Sage
Dwarf Xylosma

Groundcovers such as:

Asparagus densiflorus 'Sprengeri'
Dalea spec. es
Gazania species
Lantana montevidensis
Myoporum parvifolium
Rosmarinus officianalis 'Prost.'

Sprenger Asparagus
Dalea
Gazania
Trailing Lantana & 'New Gold'
Prostrate myoporum
Prostrate Rosemary



MANISTEE RANCH

CONCEPTUAL LANDSCAPE MASTER PLAN

GILMORE GRAVES, INC.

5101 W. NORTHERN AVE.
Z-95-03



GILMORE GRAVES, INC.
PHOENIX, AZ SPRING GREEN, WI

LAND USE PLANNING
DEVELOPMENT FEASIBILITY
LANDSCAPE ARCHITECTURE

602-266-5622
602-266-5707 FAX

6 Development and Landscape Theme

Manistee Ranch will be developed according to the Design Guidelines provided in this document. These design guidelines will be included in the Covenants, Conditions, and Restrictions (CC&R's). The CC&R's will be utilized to control the size, type, and quality of development, to require proper maintenance, to eliminate activities that may be objectionable to neighbors, to protect property values, and to enhance community appeal. ***A Property Owners Association (POA) will be established to provide further maintenance and quality control throughout Manistee.*** Each parcel, residential and commercial, will be a member of the POA. In addition, each neighborhood will have a Home Owners Association (HOA) which will be a member of the POA. The POA will be responsible for the maintenance and control of the major common areas. The individual HOAs will be responsible for any landscaping located exclusively within its neighborhood. The Exhibit titled HOA and POA Responsibilities illustrates the areas each association will be responsible for maintaining.

General / Overall Character

The streetscape for Manistee is based on the design theme of Manistee being an older neighborhood. As such, development characteristics translate to the following design criteria as key ingredients to streetscape and entry monumentation:

- Recognition of detail in entry and perimeter walls to tie to residential and commercial building materials.
- Use of Date Palms and canopy trees will establish the character at the three main entrances into the project
- Sidewalks separated from the curb with shade trees in the intervening planter, thus creating a tree lined boulevard.
- Use of color in the landscape to create pedestrian-scale interest and detail.
- Changes in street paving to denote vehicular entrances to the project, and identify individual entries into neighborhoods.
- All landscaping is to be planted in a regular, ordered pattern with bushes trimmed to create hedges.
- Multi-use path connections and access are provided to foster community interaction and access other than automobile to the neighborhood park, Sands Park, and the commercial shopping/retail area.
- Pedestrian path intersections with roads will be signed to visibly recognize the importance and opportunity for pedestrian flow within the community and for safety.

Landscape Palette / Materials

The basic treatment of streetscape and open space areas involves the use of plant material which emulates the older neighborhoods of the metro area. This will be accomplished by the arrangement of plants and the specific palette. Plants will be evenly spaced and set in a very ordered pattern. Scrubs will be trimmed in box like fashion and street trees will be set close to the street to emulate the "tree lined boulevard". All plantings proposed with the exception of turf, are taken from the approved Department of

7. Lighting, exterior and interior, shall be designed and located to confine direct rays to the premises.
8. Loading, service areas and site walls shall be designed to provide screening from adjacent streets or residential planning areas. A 3 foot screen wall shall be built adjacent to public streets to screen parking areas and a 8 foot wall will be built adjacent to residential areas to screen buildings.
9. Trash and storage areas shall be screened from view within a building or an area enclosed by a wall not less than six (6) feet in height and six (6) inches thick.
10. All uses permitted together with their resulting products shall be contained entirely within a completely enclosed structure, except for off-street parking and loading and service areas and trash enclosures

Multi Family Tract E

The proposed multi family is intended to provide variety to the housing opportunities in Manistee. The Multi Family built in Manistee will provide alternative housing for families, young professionals and couples who do not want to live in a single family house.

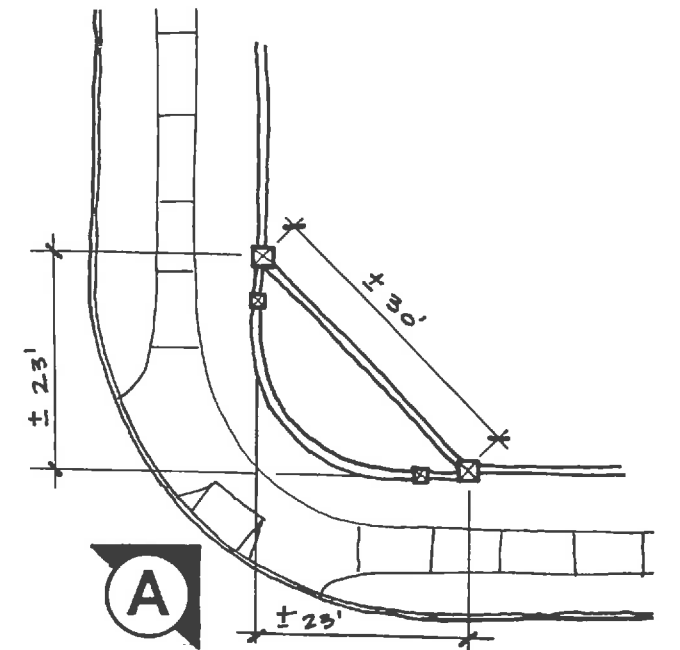
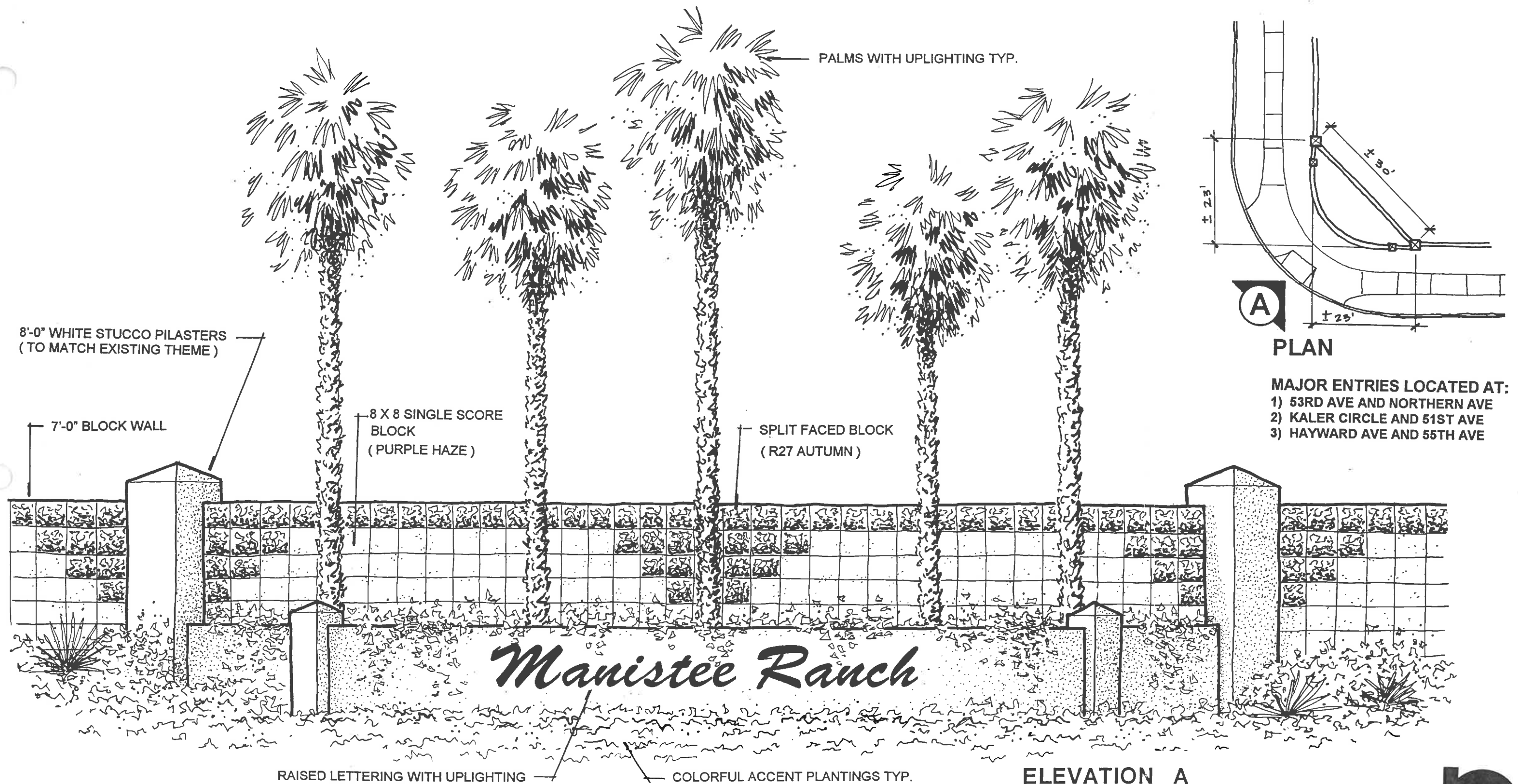
The purpose of the following provisions is to regulate design and development of the Multi Family located in Manistee Ranch. The Multi Family will be developed as a part of the overall project. The Tract designated for the Multi Family has been aligned so it is adjacent to the center of the project and across from Manistee Ranch Park. Development will be in compliance with the R-4 Multiple Residence District; Section 5.430 of the City of Glendale Zoning Ordinance including all permitted and conditional uses and in compliance with all development standards except for setbacks as shown on Exhibit "Residential Tracts ABCD&E. It is an objective of this section to permit development of compatible housing types in Manistee. The following are development standards for the Multi Family Tract:

1. Development shall conform to a site plan and detailed elevations, as determined at the time of Development Plan approval (design review approval Section 3.600 of the City of Glendale Zoning Ordinance).
2. The maximum site cover shall be .50.
3. Building heights shall be limited to 30 feet.
4. Lighting, exterior and interior, shall be designed and located to confine direct rays to the premises.
5. Trash and storage areas shall be screened from view within a building or an area enclosed by a wall not less than six (6) feet in height and six (6) inches thick.

General Requirements for Tracts E,F,G & H

1. All development and redevelopment shall be subject to the City's Development Plan Review Ordinance (design review approval).
2. A detailed site plan for the entire medical office, multi family and shopping center shall be approved prior to construction plan approval on any portion of the property.

3. Full perimeter improvements including screen walls, sidewalks and landscaping shall be installed at the time of development of the adjacent Tract.
4. Any pads will share similar and compatible architectural design and materials of the main building.
5. All operations and storage shall be conducted within an enclosed building. Exceptions include outdoor dining, gasoline sales, periodic sidewalk sales, and temporary seasonal sales as provided by Section 47 of the City of Glendale Zoning Ordinance.



PLAN

MAJOR ENTRIES LOCATED AT:

- 1) 53RD AVE AND NORTHERN AVE
- 2) KALER CIRCLE AND 51ST AVE
- 3) HAYWARD AVE AND 55TH AVE

Manistee Ranch

ELEVATION A

MANISTEE RANCH

MAJOR ENTRY THEME

GILMORE GRAVES, INC.

5101 W. NORTHERN AVE

Z-95-03

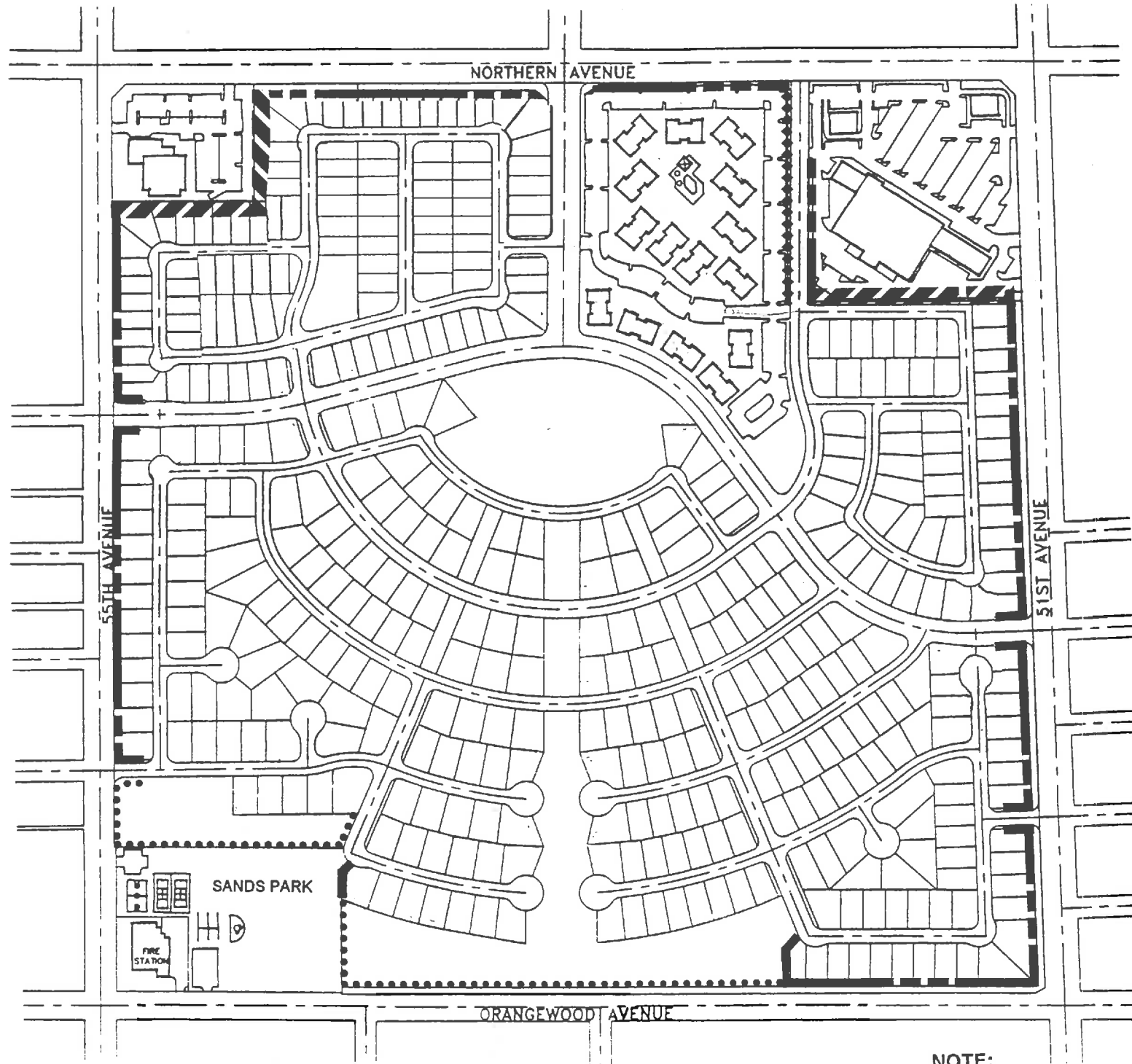


GILMORE GRAVES, INC.
PHOENIX, AZ SPRING GREEN, WI

LAND USE PLANNING
DEVELOPMENT FEASIBILITY
LANDSCAPE ARCHITECTURE

602-266-5622
602-266-5707 FAX

PERIMETER BLOCK WALL TO BE REPEATED
(BY INDIVIDUAL BUILDER) WITHIN TRACTS

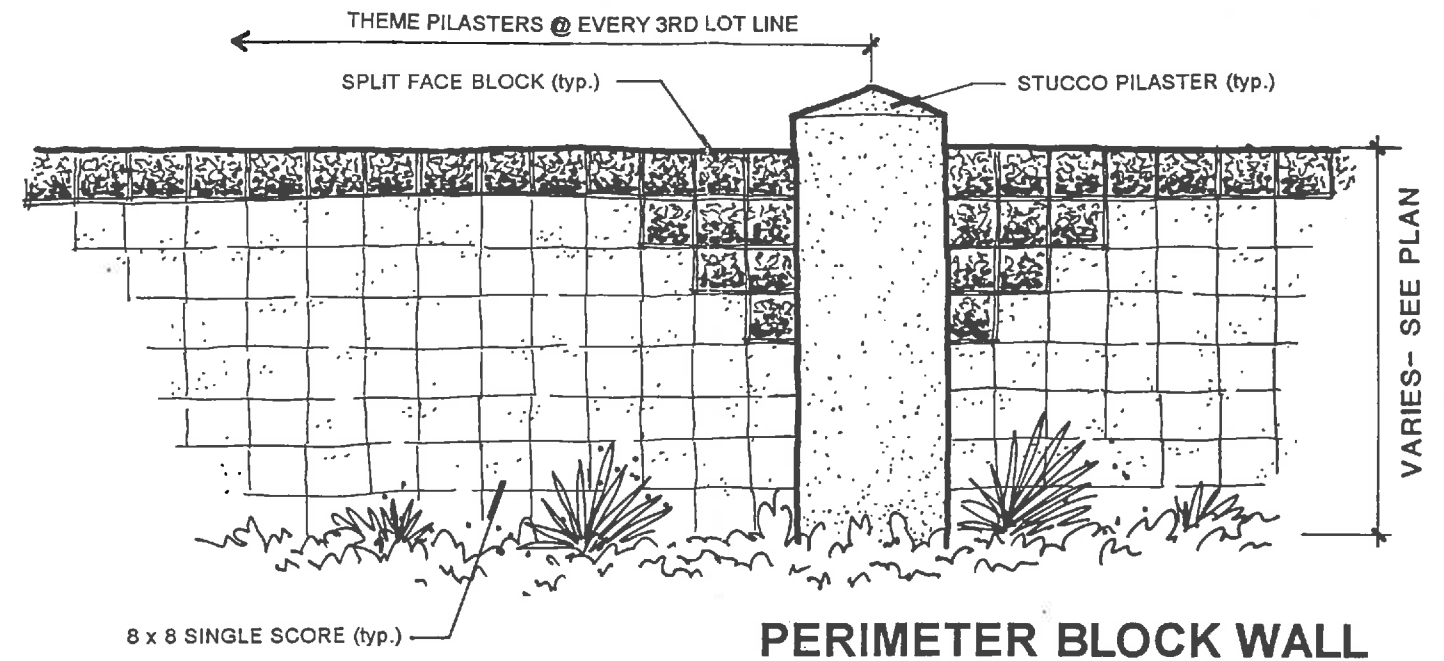


NOTE:

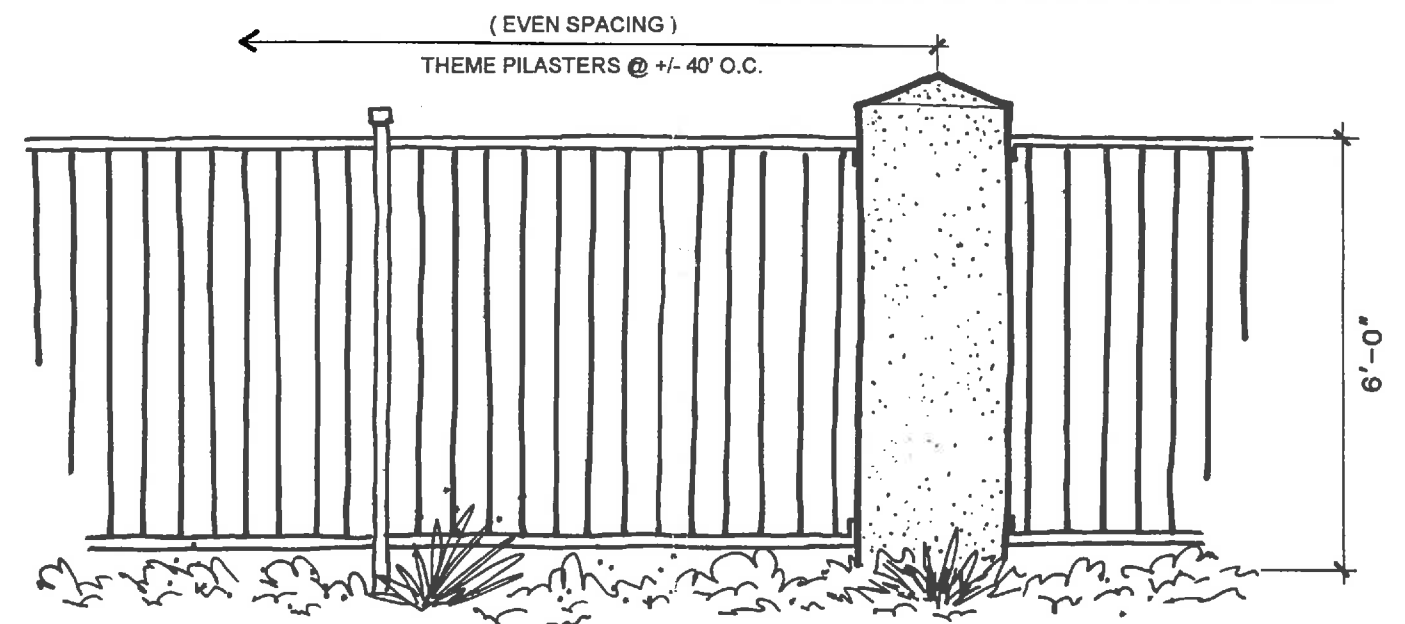
ALL PERIMETER WALLS TO USE
INTEGRAL COLOR BLOCK BY SUPERLITE BLOCK.
SPLIT FACE; R27 AUTUMN
8 x 8 SINGLE SCORE; PURPLE HAZE
PILASTERS; WHITE STUCCO
TUBULAR STEEL FENCE; PAINTED BLACK

MANISTEE RANCH

GILMORE GRAVES, INC.



PERIMETER BLOCK WALL



TUBULAR STEEL VIEW FENCE

LEGEND

- 8'-0" BLOCK WALL
- 7'-0" BLOCK WALL
- (NOT SHOWN) 6'-0" BLOCK WALL LOCATED WITHIN TRACTS
- 3'-0" BLOCK WALL
- 6'-0" TUBULAR STEEL VIEW FENCE

PERIMETER WALL PLAN



GILMORE GRAVES, INC.
PHOENIX, AZ SPRING GREEN, WI

LAND USE PLANNING
DEVELOPMENT FEASIBILITY
LANDSCAPE ARCHITECTURE

602-266-5622
602-266-5707 FAX

5101 W. NORTHERN AVE
Z-95-03

Water Resources (ADWR) plant list. **Careful selection of material will allow compliance to the ADWR guidelines but still create the image of the older neighborhood.** This applies to all streetscape, multi-use trail areas, and entry treatments to Manistee Ranch. Initially, box size trees are proposed at major project and neighborhood entries off the internal collector streets. This will provide a more immediate visual impact at these entry points. The actual landscape planting plan and location and use of hardscape materials will be determined during the design of the preliminary plat.

Theme Elements

The major common areas of the project will be used to establish the theme and tie the diverse aspects of the project together. **Theme elements include project perimeter walls, rear yard walls facing major streets or arterials, entry walls and trail marker monuments.** These elements are developed from a vocabulary of common materials and forms to reinforce theme and project image. Commercial buildings and residential areas alike will use these same materials.

Although the project will have continuity through the use of these materials, it is important not to create monotony by simply repeating the same building/house design and use of materials throughout the project. Diversity of design and use of the common materials will make Manistee interesting. The Manistee Ranch Design Guidelines provide direction in the color ranges acceptable to assure continuity of community image.

Neighborhood Open Space/ Park

The focal point of the project is a four (4)+/- acre neighborhood park/retention area located in the center of Manistee. This park which will be referred to as Manistee Park, serves as the visual and physical focus for Manistee. Entries into the community from 55th and 51st Avenues, and Northern (Manistee Boulevard) all lead to and/or culminate at the Manistee Park. **The centrally located park is linked to all neighborhoods by multi-use paths radiating from Manistee Park to the neighborhoods as well as to Sands Park and the elementary school site located west of Sands Park.**

Some of the open space will be for storm water retention. **As stated in the Land Use Overview, 35.8% of the open space will be used exclusively for open space and have no retention capacity.** The exact location and design of the retention areas will not be known until a complete grading and drainage study and plan is complete. The preparation of the grading and drainage study will not occur until after the City has approved the PAD. **The design of all retention basins and drainage ways will be in conformance with the requirements of the City subdivision design ordinance.**

Unlike typical subdivisions which locate all of the open space in one location, and use it as retention too, the "Necklace" of open space in Manistee provides homeowners with ideal family oriented recreation opportunity within walking distance of each home. Pedestrian paths facilitate safe access to schools and shopping for Manistee residents. The actual design of the Neighborhood Park and open space, including type and location of street furniture and play equipment, will occur at the time of subdivision design.

7 Manistee Ranch Design Guidelines

Compliance with City of Glendale Code

All buildings, structures, walls and fences erected within Manistee, and the use and appearance of all land within Manistee, shall comply with applicable City of Glendale zoning and building code requirements unless modified by this PAD Document. City codes and regulations shall govern in cases of conflict between these proposed guidelines and the City Codes and regulations

Architectural Theme

All buildings and other improvements erected within Manistee Ranch must be approved by the Architectural Review Committee prior to submittal to the City or the commencement of construction.

The following design guidelines are intended to provide direction to residential home builders, architects and designers working in Manistee Ranch. The guidelines establish a minimum quality standard against which future development proposals may be compared. These design guidelines are to be used by home builders building homes in Manistee, as well as architects designing commercial and multi-family buildings in Manistee.

Building Mass, Scale, and Design Details

Articulation of all wall planes is required. Projections and recesses should be utilized on all elevations of the home and buildings, to accentuate shadow and depth. All 2 story units will need to have articulation of the second level due to its visibility to the surrounding area.

All commercial structures will have design elements on all elevations. There will be design continuity between the front elevation and all the elevations. Commercial buildings will have designs which address the top, middle and ground plane of the building.

Windows shall generally consist of anodized aluminum or painted frames. Accent trim, divided windows, and rectangular and round openings are encouraged.

Garage doors shall be sectional. Windows are encouraged in the garage doors.

Chimneys shall be constructed of the same or compatible material and texture of the building. Exposed flues are prohibited.

Exterior Colors

The exterior colors of all buildings and structures shall be southwestern, desert hues and must be approved by the Architectural Review Committee based on submitted manufacturer's color chips prior to submittal to the City.

Building Materials

Finished building materials must be applied to all exterior sides of buildings and structures. Each material will be used to express its characteristics in an appropriate manner with colors and textures compatible with the other buildings and structures in Manistee.

Permitted exterior finished materials include stucco (smooth sand or Spanish lace); plastered unit masonry, adobe, slump, split face, sand blasted, integral color, stained or textured decorative block.

Other materials may be approved by the Architectural Review Committee. Accent panels of wood, brick or stone may be utilized if approved by the Architectural Review Committee.

Roofs

Patio covers shall be integrated into the unit. Roof covering materials shall be concrete tile, clay tile or standing seam metal. In no situation will composite shingle roofing be allowed, except on patio covers, where "built-up" type roof covering materials shall be allowed.

Excessive roof heights and pitches, as determined by the Architectural Review Committee, will not be permitted. Overhead screens, shade covers, patio roofs, and other similar structures shall be constructed of materials and color to match or complement the structure or shall be screened with a parapet wall.

All vent pipe stacks and any equipment protruding above the plane of the roof Visible from Neighboring Property must be painted and/or screened to match the roof as approved by the Architectural Review Committee.

Walls / Fences / Gates

The Architectural Review Committee has approved standard wall designs within the PAD which shall be used on all exterior walls of the subdivision. Gates may not be constructed in any wall or fence without prior City of Glendale and Architectural Review Committee approval of the size, location, color, and material. Gates shall not be permitted in the theme wall or any wall adjacent to Northern Avenue, 51st Avenue, 55th Avenue, or Orangewood Avenue, Manistee Boulevard or Frier Drive.

All block walls along the streets, common areas, park, multi-use trail system and walls on corner lots and that portion of the screen wall located between dwelling units and facing the street, shall be stuccoed, stained or integral colored. The walls between dwelling units, not facing or adjacent to public right of way or private open space, can be unfinished block.

Lighting

No outside lighting, other than indirect lighting, may be placed, allowed or maintained on any Lot or Parcel without the Architectural Review Committee's prior written approval and authorization. Exterior lighting must be soft and indirect, with no light sources directly visible to neighboring properties.

Street lighting shall be installed per City of Glendale Standards.

Landscape Theme

At least two (2) 15 gallon trees are required in the front yard of each unit. These will be selected from the palette listed on the "Landscape Master Plan" Exhibit from the selection titled "Local Street Tree". Upon purchase of the home, the home builder will either have installed such landscaping or provide each owner with a certificate redeemable at a specified nursery for these trees. Shrubs will be required in all front yards and will be utilized to soften and screen. Ground cover may be turf, decomposed granite, or other natural rock material approved by the Architectural Review Committee. All bare earth must be covered.

For those yards located adjacent to the roadway designated as "cross section C", the home builder or master developer, will install all landscaping to be located between the sidewalk and the curb. This landscaping shall be in addition to the standard landscape package provided the home buyer by the builder. This landscaping shall be on a separate irrigation system from the individual home owners, and the maintenance of this landscaping shall be the responsibility of the HOA.

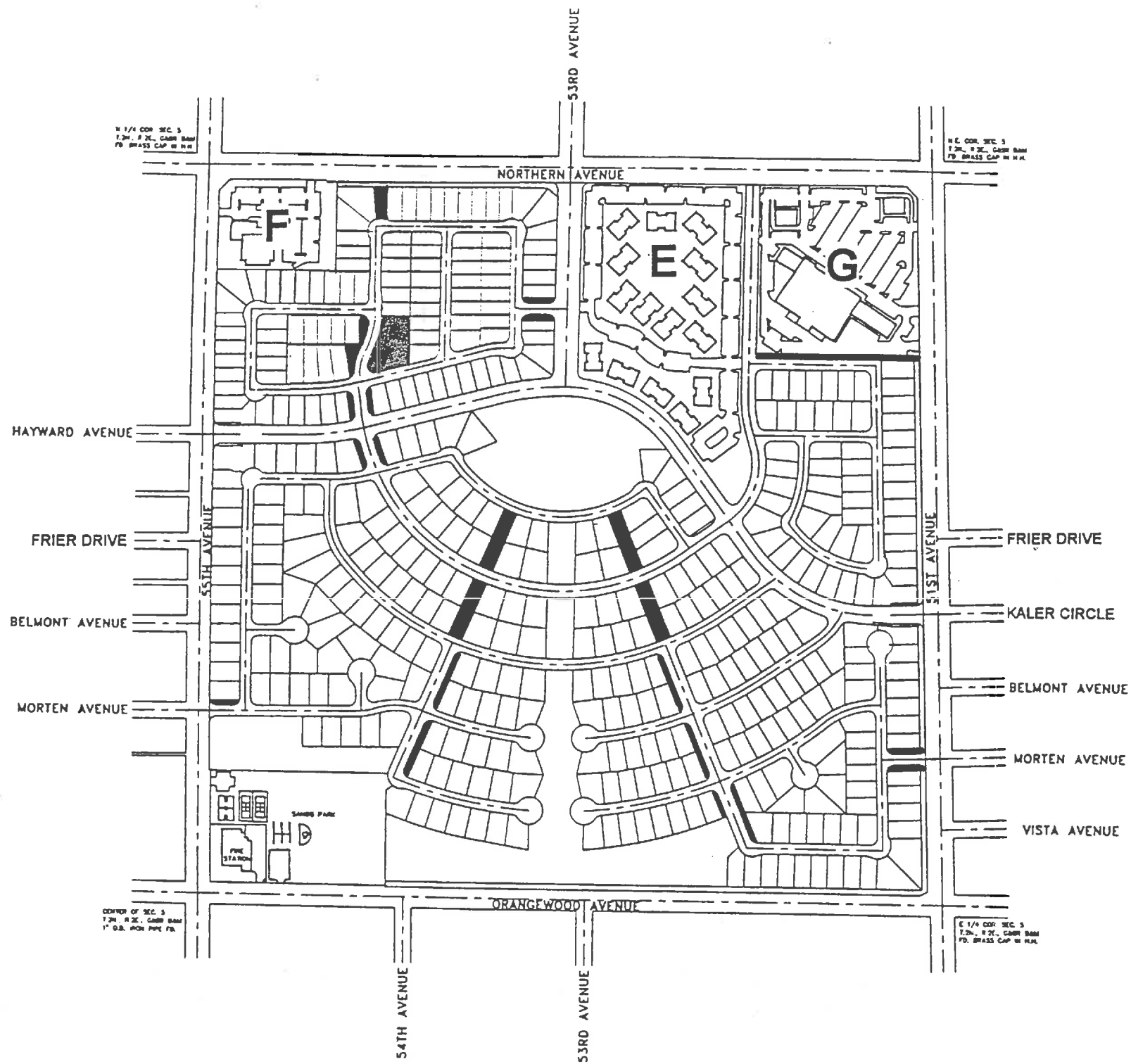
All completed and sold Dwelling Units must have the front yards landscaped and street trees planted within six (6) months of occupancy. All unsold spec units must have the front yards landscaped and street trees planted within ten (10) months of completion. Prior to landscaping, all yards must be maintained in a neat, weed-free, dust-free condition.

Landscaping should reflect the "old Glendale" character which is the design theme of the overall development:

- Covered open porches, sidewalks, or other features, may be used to supplement and create imaginative landscape design.
- Artificially colored rock yards are not acceptable at any location.

Machinery and Equipment

No machinery, fixtures, or equipment of any type, including but not limited to: heating, cooling, air conditioning and refrigeration equipment, and clotheslines, may be placed on any Lot or Parcel without the prior approval of the Architectural Review Committee. All such equipment shall be ground mounted, except for commercial buildings which must screen all roof and ground mounted equipment. Equipment which is higher than the parapet, must have additional screening compatible with the building design, massing and materials. Screening must be adequate so the equipment is not visible to the adjacent property.



LEGEND

 HOME OWNER'S ASSOCIATION

NO SYMBOL PROPERTY OWNER'S ASSOCIATION
(REMAINDER OF COMMON AREAS)

NOTE:

ALL LANDSCAPING WITHIN TRACTS E, F & G WILL
BE MAINTAINED BY OWNER OF TRACT.
ALL TRACTS WILL BE MEMBERS OF THE
PROPERTY OWNER'S ASSOCIATION.

MANISTEE RANCH

MAINTENANCE RESPONSIBILITY EXHIBIT

GILMORE GRAVES, INC.

5101 W. NORTHERN AVE.
Z-95-03



GILMORE GRAVES, INC.
PHOENIX, AZ SPRING GREEN, WI

LAND USE PLANNING
DEVELOPMENT FEASIBILITY
LANDSCAPE ARCHITECTURE

602-266-5622
602-266-5707 FAX

Manistee Ranch PAD

Z-95-03

by Glendale City Council
on Sept. 26, 1995

Proposed Development Alternatives for Multi Family Parcel E

Located within Manistee Ranch PAD is a proposed Multi Family parcel designated as Parcel E. This parcel consists of approximately 12.8 acres of land. The parcel is located on the southeast corner of what will be 53rd Ave, the main entrance to Manistee Ranch, and west of the proposed commercial corner, which may be a park including the preservation of the existing Ranch House. Development of the parcel for senior living has been suggested by the several neighbors and well as officials of the City. The following are proposed alternatives to the existing R-4 Multi-Family zoning.

Alternative A: Adult Independent Living

The development of the property for this use would allow a building density of 25 du/ gross acre. Permitted uses would be restricted to those which are related to long term occupancy and care of adults. This would be a residential facility for adults within which are provided living and sleeping units, common dining facilities, laundry services, minor medical care facilities, recreational facilities and provisions for room cleaning for residents. Other services related to the primary facility function may also be provided.

The Adult Independent Living alternative will be developed as a part of the overall project. Development will be in compliance with the development standards of the R-5 Multiple Residence District, Section 5.440 of the City of Glendale Zoning Ordinance, which allows congregate care as a permitted use, except as modified below. The following are development standards for this alternative use:

1. Development shall conform to a site plan and detailed elevations, as determined at the time of Development Plan approval (design review approval Section 3.600 of the City of Glendale Zoning Ordinance).
2. The maximum site cover shall be 55%.
3. Maximum density shall be 25 du/ gross acre.
4. Building heights shall be limited to 40 feet.
5. Lighting, exterior and interior, shall be designed and located to confine direct rays to the premises.
6. Trash and storage areas shall be screened from view within a building or an area enclosed by a wall not less than six (6) feet in height and six (6) inches thick.

General Requirements

1. All development and redevelopment shall be subject to the City's Development Plan Review Ordinance (design review approval).
2. A detailed site plan shall be approved prior to construction plan approval on any portion of the property.
3. Full perimeter improvements including screen walls, sidewalks and landscaping shall be installed at the time of development of the adjacent Tract.
4. All operations and storage shall be conducted within an enclosed building. Exceptions include outdoor dining and recreational activities.

Alternative B Medium Density Residential

The preferred development option for this parcel is Alternative A. In the event development of the parcel for senior living is found to be not feasible within one year from approval of the Manistee PAD, the parcel maybe developed as medium density residential. The development of the property for this use would allow a maximum building density of 12 du/ gross acre if the parcel is developed as attached units and a maximum density of 8 du/ gross acre if the parcel is developed as single family detached residence. Development will be in compliance with the development standards of the R-2 Multiple Residence District; Section 5.410 of the City of Glendale Zoning Ordinance except as modified below. It is an objective of this section to permit development of different but compatible housing types in Manistee Ranch. The following are development standards for the parcel if it is developed as Alternative B:

1. Development shall conform to a site plan and a subdivision plat as well as to detailed elevations of proposed buildings to be built within the parcel, as determined at the time of Development Plan approval (design review approval Section 3.600 of the City of Glendale Zoning Ordinance).
2. Allowed uses are either single residence dwellings or two (2) to five (5) attached residence dwellings in a single structure. All units shall be designed and all utility provisions shall be for individual ownership of each unit.

3. Setbacks shall be as follows:

- If developed as attached residence dwellings then the Development Standards for R-2 Mixed Residence shall apply.
- If development is as detached residence dwellings at a density of more than 5.1 but less than 8 du/gross acre, then the units shall be patio home type units with only one side yard, and the following standards shall apply:

Side yard	zero (0) and ten (10) feet,
Front yard	fifteen (15) feet.
Rear yard	twenty (20) feet.

4. The maximum site cover shall be 50%.
5. Building heights shall be limited to 30 feet for the main building and 15 feet for any accessory buildings.
6. Lighting, exterior and interior, shall be designed and located to confine direct rays to the premises.
7. Trash and storage areas shall be screened from view within a building or an area enclosed by a wall not less than six (6) feet in height and six (6) inches thick.
8. Minimum common area facilities to include landscape open space with possible active and/or passive recreational facilities.
9. In the event that, at any time in the future, development is proposed on Parcel E for conventional detached single family homes with two side yards, then the development standards for this parcel shall be the same as for Parcel A.

General Requirements

1. All development and redevelopment shall be subject to the City's Development Plan Review Ordinance (design review approval).
2. A detailed site plan shall be approved prior to construction plan approval on any portion of the property.

3. Full perimeter improvements including screen walls, sidewalks and landscaping shall be installed at the time of development of the adjacent Tract.
4. All operations and storage shall be conducted within an enclosed building.

Selection of Alternatives and Timing of Development.

Under the PAD both alternatives will be acceptable. However, the designation of Adult Independent Living shall be applied to Parcel E for a period of 12 months following approval of the PAD. During this time period, the parcel can be developed for only uses which comply with Alternative A. If at the end of the 12 months the Sands family can not locate a developer for this use, the family would continue to seek developers, but would also be able to develop the property in accordance with Alternative B, medium Density Residential. Therefor, at the end of the 12 month time period, the property can be developed according to either alternative.

GAMMAGE & BURNHAM

A PROFESSIONAL LIMITED LIABILITY COMPANY

ATTORNEYS AT LAW

TWO NORTH CENTRAL AVENUE

EIGHTEENTH FLOOR

PHOENIX, ARIZONA 85004

TELEPHONE (602) 256-0566

FACSIMILE (602) 256-4475

RICHARD B. BURNHAM	GRADY GAMMAGE, JR.
F. WILLIAM SHEPPARD	MICHAEL R. KING
RICHARD K. MAHRLE	SHAWN E. TOBIN
CURTIS ULLMAN	MARY B. ARTIGUE
MICHAEL B. WITHEY	THOMAS J. McDONALD
JAMES A. CRAFT	ELLEN HARRIS HOFF
KEVIN R. MERRITT	RANDALL S. DALTON
KEVIN J. BLAKLEY	JOHN R. DACEY
JEFFREY J. MILLER	CAMERON C. ARTIGUE
SUSAN L. WATCHMAN	STEPHEN W. ANDERSON
MARK J.A. HUGHES	COLLEEN E. GRANT
MARGO S. KIRCHNER	CHRISTOPHER A. WOMACK
SUSAN B. ROSS	DAVID J. KOLBE

March 7, 1996

WRITER'S DIRECT LINE

(602) 256-4469

Dave Prescott
Planning Manager
City of Glendale
5858 W. Glendale Ave.
Glendale, AZ 85301

Re: Manistee Ranch PAD - Parcel G

Dear Dave:

Z-95-03

**APPROVED PLAN
COMMUNITY DEVELOPMENT
CITY OF GLENDALE**

*by Glendale City Council
on April 23, 1996*

As you will recall, when the Manistee Ranch PAD was approved by the Glendale City Council last fall Parcel G, an approximately 8.3 acre parcel located at the immediate southwest corner of 51st Avenue and Northern was postponed by the Council until after the decisions by the Arizona State Parks Board regarding Heritage Fund Grant applications. Since that time, the City of Glendale's Heritage Fund grants were received and favorably acted upon by the State Parks Board. Chris Lund, the Real Estate Manager for the City of Glendale, has recently contacted the Sands family to indicate that it is the City's desire to move forward in the immediate future on acquisition of the historic Manistee Ranch house on behalf of the Glendale Historical Society and the "date palm grove" property on behalf of the City itself for use as a City park. That being the case, it is appropriate now to reactivate the postponed portion of the PAD application with regard to Parcel G and reach a final conclusion on that portion of the PAD as soon as possible.

We are in the process of drawing up legal descriptions for what will become the three sub parcels within Parcel G. Those sub parcels, I assume, will be generally consistent with the attached exhibit which was prepared in connection with the staff report on the original PAD. Under that exhibit the parcels are referred to as Parcel G-1, a 1.9 acre parcel including the historic ranch house itself (which parcel is to be acquired by the Glendale Historical Society); Parcel G-2, the 3.5 acre date palm grove parcel (which is to be acquired by the City of Glendale as a public park); and Parcel G-3, the 3 acre immediate corner parcel (which is to remain in the ownership of the Sands family).

We propose that the portion of the PAD application which was postponed now be readvertised and considered. Consistent with the City staff report which was dated September 26, 1995, the development standards to be applied to the 3 parcels would be as follows:

1. **Parcel G-1 - Manistee Ranch PAD:**

Parcel G-1, which is occupied by the main house at Manistee Ranch and comprises approximately 1.9 total acres, shall be historically preserved and allowed for residential restoration or commercial adaptive reuse. In the event of commercial adaptive reuse, permitted uses include restaurants, bed and breakfast facilities, museums, retail shops, offices, or other similar uses which allow historic preservation of the structure and which respect the character and architecture of the building. The adaptive reuse and rehabilitation shall be reviewed by the Historic Preservation Commission and City Council. This property shall be zoned "PAD" under the Manistee Ranch PAD and shall also carry historic preservation or "HP" overlay zoning.

2. **Parcel G-2 - Manistee Ranch PAD:**

Parcel, G-2 which is located generally between the main house and Northern Avenue including the loop driveway and the date palm grove and also including a "dogleg" strip of land giving the parcel direct access onto 51st Avenue, shall be acquired by the City of Glendale and developed as a public park. The only permitted uses within that area are those uses consistent with the parcel's status as a public park and uses consistent with a public park but ancillary to the operation of the main Manistee Ranch house. It is the intent of the City that the park will be essentially a passive public park, not including large organized sports play areas. The site shall retain as much of its historic landscaped character as possible and may be used for public assembly uses, special events, as well as individual open space appreciation. Street furniture such as benches, tables and chairs may be added to the park, with the intent that they be consistent with the historic character of the area.

3. **Parcel G-3 - Manistee Ranch PAD:**

Parcel G-3 is the 3 acre corner of 51st Avenue and Northern. This site shall be developed with general commercial uses in accordance with the use and development standards of the C-2 zoning district. The design of any commercial buildings or projects must consider the historic character of the adjacent main house and palm grove and be designed with appropriate buffering and orientation to respect the Historic Ranch house and City park. Such review for compatibility shall be subject to the standard City Design Review Process. This parcel is not covered by HP overlay zoning.

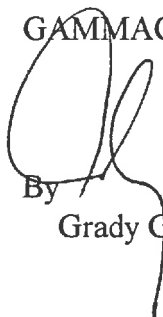
Dave Prescott
March 7, 1996
Page 3

Please contact me with any suggestions you have for modification of this proposed language. Please also let me know what likely hearing dates will be.

Thank you for your consideration of this request.

Sincerely,

GAMMAGE & BURNHAM P.L.C.


By
Grady Gammage, Jr.

Attachment
GG/jm