

PARK 303

PLANNED AREA DEVELOPMENT

**Zoning Case: ZON20-09
SR19-0305**

**NEC & SEC of Glendale Ave. and State Route Loop 303
and the NEC of Bethany Home Road and State Route
Loop 303**

Glendale, AZ

Submitted: April 7th, 2020

Revised: June 1st, 2020

**Prepared for
Loop 303 at Glendale North, LLC
Loop 303 at Glendale SEC, LLC
Virgin Farms X, LLC
Kakerlee, LLC**

APPROVED

Ord O20-42 6/23/20

ZON20-09

**City of Glendale
Planning Division**

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I. Proposal Overview

Virgin Farms X, LLC; Kakerlee, LLC; Loop 303 at Glendale North, LLC and Loop 303 at Glendale SEC (the “Developers”) plans to develop an approximately 340.22 acre property located at the NEC & SEC of Glendale Ave. and State Route Loop 303 and the NEC of Bethany Home Road and State Route Loop 303 (the “Property”). See **Aerial and Vicinity Map** attached as **Exhibit 1**. This application requests approval of a Planned Area Development (“PAD”) District to allow a combination of commercial, retail, industrial distribution and warehouse uses in a development called Park 303. The Applicant seeks to develop the Property in accordance with the Light Industrial (M-1) and General Commercial (C-2) zoning and modify development standards to create a state-of-the-art industrial development with commercial nearby the expanding State Route 303 Loop transportation corridor.

The Property has been used for agricultural purposes for many years and is unimproved with no buildings. State Route 303 Loop runs along the western boundary of the site from a ½ mile north of Glendale Avenue to Bethany Home Road, which is the southern boundary for the site. The eastern boundary is Sarival Road. Rezoning the property to PAD for industrial and commercial uses will permit the development of commercial, industrial and other uses which are compatible with the City of Glendale General Plan designation of Luke Compatible Land Use (LCLU) and Regional Mixed Use (RMU) which also allows LCLU in addition to Planned Commercial (PC) and comply with state statute 28-8481 concerning land uses within the vicinity of a military installation. While residential is allowed at very low densities along the outside of the 65 LDN for Luke Air Force base, residential land uses will be eliminated as a permitted use, due to the proximity to Luke Air Force Base.

The site is located within the Luke Air Force Base noise contours of 65 DNL and 70 DNL. Industrial land uses for these properties are appropriate, considering the accident potential and noise impacts from daily activities conducted on the base and due to the proximity of the project to the runway.

As noted above, the property is adjacent to the east side of State Route 303 Loop, from approximately ½ mile north of Glendale Road to Bethany Home Road. The property is bounded by the Wildlife World Zoo to the north. A residential neighborhood within Unincorporated Maricopa County is to the east of the site along Sarival Avenue from Orangewood Avenue to Ocotillo Road. The adjacent property to the south across Bethany Home Road is vacant farmland. To the West beyond SR 303 Loop is also vacant land within Unincorporated Maricopa County.

The Park 303 PAD is crafted to permit only uses which are compatible with the mission of Luke Air Force Base, the City of Glendale General Plan, and Arizona Revised Statutes for territory near a military airport. The Planned Area Development regulations are tailored to the intended development.

II. Existing Zoning and General Plan

Approximately 233 acres of the property is currently outside of the City of Glendale and is within Unincorporated Maricopa County. The Unincorporated portion of the site is currently zoned as Rural 43 (RU-43) with 107 acres of the Property zoned M-1 Light Industrial per the City of Glendale Zoning Ordinance. See **Zoning Map** attached at **Exhibit 2**. The Unincorporated portions of the Property will be annexed into the City of Glendale as part of the entitlement process. The developer has submitted a City of Glendale Pre-Annexation Development Agreement with legal descriptions for 233 acres of the site. The Park 303 partners propose to rezone the entire Property from RU-43 (County) and M-1 (City of Glendale) to PAD for industrial and commercial uses. The **Legal Descriptions** for the Project are attached as **Exhibit 10**.

The proposed PAD zoning is consistent with the industrial PAD zoning on nearby properties in the area to the between the Property along the Loop 303 corridor and to the east of Sarival Avenue. There are many other industrial zoning designations that occurs along the nearby Loop 303 Freeway corridor in other jurisdictions as well. The corridor is experiencing rapid growth as a major industrial and distribution hub.

With the annexation into the City of Glendale the current Maricopa County General Plan Land Use classification of Military Compatible and Agriculture will be converted to the closest City of Glendale General Plan Land Use category, which would be the Luke Compatible Land Use (LCLU) and Regional Mixed Use, which allows LCLU and Planned Commercial (PC). The proposed use is consistent with the Glendale General Plan land use LCLU and RMU designations. The Luke Compatible Land Use Area recommends non-residential uses as well as safe and compatible development, like the type proposed with this application. See the **General Plan Map** shown as **Exhibit 3**. Future industrial and commercial development is encouraged. Constructing a commercial, industrial distribution and warehouse development is in conformance with the existing City of Glendale General Plan for the Property.

III. Planned Area Development

a) Overview and Intent

The intent of the Park 303 PAD is to allow commercial, industrial; manufacturing, e-commerce, and office uses as well as development standards that ensure appropriate flexibility for such developments. The PAD will allow commercial, industrial and employment uses that are compatible with the nearby Loop 303 Freeway Corridor and are in conformance with the underlying zoning and uses along this freeway.

A specific user(s) has not been identified at this time. The plans, exhibits, and images presented herein are conceptual only and intending to convey the type, intensity, and quality of development expected at this location. Once specific users are identified, a design review application (site plan, building architecture, landscaping, signage, grading, etc.) will be submitted for administrative review by City of Glendale staff.

b) Permitted Uses

This PAD and its permitted uses defined below are intended to accommodate industries involving office, light manufacturing, assembling, warehousing, e-commerce, and wholesale activities. Associated office and related retail uses are also included within this district. The manufacturing or assembly of finished products so long as the primary use of the property is not the basic processing and compounding of raw materials.

Uses shall include all uses allowed in the Light Industrial (M-1) and General Commercial (C-2) zoning districts of the Glendale Zoning Ordinance as well as offices for professional, administrative, clerical, financial, medical, business, or professional services; medical, dental and clinical laboratories / research facilities; business support services; data center, call centers and data recovery centers; wholesale sales and distribution of finished goods; commercial services, restaurants, retail stores, general merchandising, hardware stores, medical or dental clinics, financial institutions; automotive services; personal services, convenience stores, fueling stations and travel stops (not to exceed 25% of any contiguous 80 acres) to the primary use.

In addition to the uses listed above, all uses subject to conditions per section 5.843 of the Glendale Zoning Ordinance shall be included along with uses subject to conditional use permits per section 5.844, accessory

uses per section 5.845 and temporary uses per section 3.920 of the Glendale Zoning Ordinance.

c) Site Plan

To maximize and attract potential users, the PAD introduces a bubble diagram conceptual site plan to help illustrate how the property could be designed. This ensures optimal flexibility while demonstrating potential development option areas of focus. A bubble diagrams plan shows how the site could possibly be developed but does not necessarily depict what will be constructed on the site. See **Bubble Diagram Site Plan Concept & Circulation** as **Exhibit 4**.

The bubble diagram conceptual site plan indicates layout areas; however, different configurations of M-1 and C-2 uses could be arranged based on market conditions, to attract the widest range of uses and allow maximum flexibility for the development. The largest building site could cover up to 51% of any of the 80-acre parcels. These representative diagrams are based on possible layout concepts shown, but do not reflect an ultimate final site plan. Final site plans could be of different configurations and vary in size with additional square feet. Lot coverages would remain under 50% for most design scenarios.

The proposed site plan has two primary points of access from State Route 303 Loop at Glendale Avenue and Bethany Home Road and multiple points along Sarival Avenue. The circulation shown on the bubble diagram provides a conceptual framework for moving through the site based on anticipated uses and will provide for the separation of cars and trucks where possible. A parking study will be completed to justify the parking provided for the various projected uses based upon the deviations noted in the development standards below and previous parking studies for similar developments in the area.

d) Development Standards

As reflected through Table A below, the development standards for the Park 303 PAD are created to mostly facilitate industrial warehouse development. More specifically, the permitted heights and intensity will permit the development of a highly attractive, state of the art, industrial warehouse development representative of the types of development along the 303 Freeway Corridor throughout the corridor. Should a conflict exist between any provision in this PAD and the Glendale Zoning Ordinance, the PAD shall apply.

Table A: Comparative Development Standards Table

	M-1	PAD Proposal
Min. Lot Area	6,000	6,000
Max. Lot Area	N/A	N/A
Building Setbacks		
• Front	25'	25'
• Rear	60'	60'
• Side	60'	60'
• Street Side	25'	25'
Max. Building Height	30'	100' Rooftop building appurtenances can exceed roof height up to 115' maximum provided they are more than 20' from the building's roof edge. Roof mounted equipment shall be fully screened from the adjacent public street views. Material silos or other similar building specific support elements may exceed roof height up to 100' maximum.)
Max. FAR	.3	.5 (Mezzanine SF area excluded from FAR ratio)
Parking		
• Warehouse, Distribution & Data Center	1/600 sf	1/2000 sf (Mezzanine SF area excluded from parking calculations)
• Office	1/300 sf	1/500 sf
• Commercial Uses (C-2)		
- Retail	1/300 sf	1/500 sf
- Restaurants	1/100 sf	1/200 sf
- Automotive Services	1/250 sf	1/300 sf

Standard Signage Height	10'	20'
Multi-Tenant Signage	10'	50'

PAD Deviation Rationale

- i. Height:** Building height needs to be flexible to meet specific tenant needs. Typically, the norm for an anticipated industrial building in this market may suggest 40' of clear height inside, resulting in a building height in the 50' range. However, in this case, there is the potential for a unique distribution or manufacturing use that may include multiple levels of storage platforms or automated systems, resulting in the need for increased height. Site appurtenances, such as material silos or other building specific support equipment, may be required to exceed the building height. In such cases, location and treatment of such elements shall be considered and incorporated into the overall design solution.
- ii. FAR:** There is a distinction between additional building floors and storage mezzanines. Storage mezzanines or multi-level automated storage platforms are incorporated into the tall clear height of a large distribution facility. These mezzanines fall within a portion of the already defined volume and footprint of the building and do not impact the visual appearance or height of the exterior of the building, thus not impacting the perceived density addressed by FAR. They are often limited in actual employee population and used for a different type of storage or processing that does not require the otherwise high bay volume of the space.
- iii. Parking:** Reduced parking ratios requested for the warehouse/distribution portion of the building consider the anticipated heavy storage/limited occupancy characteristics of the potential tenant mix for the Development. As storage systems become more automated and based on historical ratios of warehouse employees to actual storage space, fewer employees are required. Mezzanine areas, due to their typical storage use, should not be included in parking calculations unless they are specifically occupied full time by employees as their primary workspace. Such calculations should be evaluated with specific tenant plans when submitted for entitlements. Based on the large open spaces available within the dock areas of these types of buildings, supplemental parking areas are available based on specific tenant needs, providing flexibility to increase parking ratios as required. In addition, consideration should be

given to nearby retail parking that attracts fewer employees, less trips and fewer vehicle trips to nearby, supporting industrial, warehouse, and distribution uses.

- iv. **Signage:** Signage heights need to be flexible to meet specific tenant needs. Typically, the norm for an anticipated industrial development may suggest 20'. However, due to the size and uniqueness of this proposal, there is the potential for multiple tenants throughout the development that may include space that is not directly on the freeway. Typically, businesses that would be attracted this type of development would anticipate some type of proximity to the freeway. These types of freeway monument signs would provide that "proximity" to those businesses and could potentially represent up to 5 major tenants and reach heights of up to 50' with the inclusion of electronic displays. Therefore, a deviation in the code is requested to be allowed for this unique freeway corridor development to encourage development.

e) **Performance Standards/Use Limitations**

- i. **Nuisances:** Uses shall be permitted within this district, unless such uses are or may become obnoxious or offensive by reason of odor, dust, smoke, noise, gas fumes, cinders, vibrations, glare, refuse, or air or water pollution emissions.
- ii. **Enclosures:** All uses permitted in this district shall be typically conducted within a fully enclosed building unless otherwise permitted. Outside storage of materials and equipment related to the primary activity is permitted provided that the outside storage area is screened by a wall. Design and height shall be approved by the approved authorizing administrative body.
- iii. **Hazards:** All explosive and hazardous materials and processes require approval by Glendale Fire Department. All manufacturing, storage, and waste processes shall meet all safety and environmental standards as administered by the fire department.
- iv. **Dark Skies:** Lighting plans shall be submitted with each Design Review application illustrating that on-site lighting does not exceed one-foot candle at the property line. On-sight lighting shall be dark sky compliant and all lighting shall comply with the City of Glendale Outdoor Light Control Ordinance.

f) **Landscape Buffer and Dock Screens**

Landscape buffers and screen wall requirements shall conform to Section 7.200 of the Glendale Zoning Ordinance. The design, materials

and colors for all walls, fences and screening devices visible from public view will be uniform in appearance. An 8' wall enclosing the truck courts shall be provided where appropriate within each parcel or project to help screen the truck loading and maneuvering area.

IV. Landscape Design

Landscaping will be designed to complement the building architecture overall design theme for the site. All materials will comply with the City of Glendale low water use plant palette. The Sarival Avenue frontage landscaping will provide an attractive thematic public edge to the property. Perimeter site boundaries will define the parcel and provide a pleasing thematic common boundary with adjacent sites. Enhanced landscaping will further define potential building entries with canopy trees at City-required spacing to provide shading for the parking areas. A variety of tree species, combined with a colorful combination of shrubs and groundcovers, will provide an overall landscape composition of appropriate scale to enhance the overall development and its visual impact on its surroundings. A conceptual landscape plan is included with this submittal to portray a representative design. More specific details regarding plantings, types, locations and quantities will be a part of future design review applications to address the proportion of landscape materials to specific building design and height. See **Representative Landscape Plan** as **Exhibit 9**.

V. Architecture Form and Character

Design requirements of large industrial facilities vary with specific uses and tenant requirements. Due to the size of this project, a thematic character will be woven into the fabric of the Project that unifies the architecture, signage and landscape during the design review phase of the project. The specific uses combined with careful aesthetic considerations for large building masses will provide general guidance that will inform the design process for the architecture. Design palette must remain flexible as that specific future tenants are unknown at this time. The building may take on the characteristics of a specific tenant, if that tenant is identified prior to development, or may be more 'generic', designed to appeal to a broad range of potential tenants (particularly if development commences before a specific tenant is known). Examples of typical archetypes can be found along the nearby Loop 303 Corridor further to the south.

Scale is an important consideration when looking at the overall design. While the scale of development along the freeway should be appropriate for views at high speeds, this proposal will focus on the more distant views that surround the site. Elements should generally be larger and easier to identify from automobiles along both Loop 303 and Sarival Avenue. Similarly, the building(s) should be set back from Sarival Avenue so the scale of the buildings does not

dominate the views in the area. The level of architectural fenestration and detail will increase adjacent to building entries and commercial corners where pedestrian scaled elements should be included in the architectural design to emphasize human scale. Commercial corners will generally follow a similar industrial design feel set by the nearby warehouse design precedent.

Color and pattern will be used to de-emphasize building mass and develop visual interest that creates an overall pleasing aesthetic on all sides of the building. The color palette may include warm to cool neutral colors that embrace the surrounding desert hues. Unique features may include limited color accents to provide additional visual interest, while also addressing corporate image. The primary building material will be painted, articulated concrete wall panels and may feature accent materials that provide additional texture or colors where areas of enhancement are appropriate. Store front glazing will be incorporated at anticipated office areas to provide daylight to workspaces. Metal canopies help the architecture respond to the climate by providing shade, shadow, and accents to the building.

Building parapets will be extended above the roof line to provide screening of roof top equipment from view at adjacent public right of ways along Sarival Avenue, Glendale Avenue and Bethany Home Road. Dock and outdoor storage areas will be screened with an 8' masonry wall with detail and color to complement the building architecture. A similar 3' high wall will screen parking along Sarival Avenue, Glendale Avenue and Bethany Home Road.

A representative architectural elevations collage exhibit is included to convey a representative palette of building styles. The images shown in the elevations collage are consistent with similar approved nearby Planned Area Developments. Specific details regarding architecture, materials, colors, etc. will be a part of the future design review application. See **Typical Architectural Site Plan** as **Exhibit 5** and **Architectural Elevations** as **Exhibit 6**.

VI. Circulation and Access

The Property is well situated from a regional access perspective; it is in immediate proximity of the 303 Freeway and is easily accessible from the two primary arterial streets including Bethany Home Road and Glendale Avenue. Collectors such as Orangewood Avenue, Myrtle Avenue, Ocotillo Road, Maryland Road and Claremont Street will serve as the primary access points from Sarival Avenue and will be mostly private streets that serve the Project.

a) Existing Conditions

In the immediate vicinity of the project, Sarival Avenue is a the primary north-south, two-way, two lane roadway that serves nearby farmland and provides access to surrounding commercial and institutional parcels. Immediately north of the project area, Orangewood Avenue

separates the Project from the World Wildlife Zoo. Both Glendale Avenue and Bethany Home Road provide east-west access to the State Route 303 Loop Freeway.

After discussions with City of Glendale transportation staff, the Projects Annexation will include the west side of Sarival Avenue to the centerline of the road. This combined with other recent annexations will bring most portions Sarival Avenue into the City of Glendale.

b) Proposed Street Improvements

As part of the proposed Park 303 site, offsite improvements for the half street will occur along Sarival Avenue, immediately adjacent to the project site. Glendale Avenue and Bethany Home Road will be widened from a two-lane roadway to a five-lane roadway (with a two-way center left turn lane) with curb, gutter, sidewalk, and associated roadway lighting. Private access road will be constructed internally to provide access to Sarival Avenue. These private drives will be connected to Sarival Avenue throughout the project, which will act as a spine for this development and other similar industrial sites recently approved along this corridor. A traffic study will be provided during the design review process for each project, to determine the final circulation plan for that project. The overall project circulation shall be guided by the culmination of these traffic studies.

VII. Grading and Drainage

The grading and drainage for the site will be designed to retain the 100yr-2hour storm event in accordance with the City of Glendale drainage design guidelines.

Storm drainage will be conveyed via roof drains, downspouts and overland flow across the parking lots and truck dock areas into either catch basins or curb openings which will outfall to a combination of surface and/or underground retention areas. The required storage volume will dissipate within 36 hours via a combination of natural percolation and drywells.

All projects adjacent to public streets shall provide retention for the adjacent half-street within on-site retention basins. The retention basins and storm drain inlets shall be sized for the 100year storm event.

VIII. Infrastructure and Utilities

Water will be provided to the site by Adaman Water District. Adaman has stated that they will allow domestic and fire water to be provided from a 16-inch waterline extension that will run from Northern Avenue to Claremont Street along Sarival Avenue. See the **Park 303 Water Exhibit** attached as **Exhibit 7**.

Sewer will be provided by Epcor. Epcor has a treatment plant south of the site that provides sewer service to this property. A 30" sewer main was being constructed along Sarival Avenue to Bethany Home Road. From that point a new 15" sewer line will extend from the 30" main along Sarival to Myrtle Avenue, just north of Glendale Avenue. See the **Park 303 Sewer Exhibit** attached as **Exhibit 8**.

IX. Signage

This development will provide functional and attractive signage that compliments the architecture of the overall Park 303 site. This PAD application sets forth the general location, quantity, and maximum height of monument signage for Park 303. Freeway monument signs will occur along State Route Loop 303 on each parcel adjacent to the freeway. Project Monument Signs will occur along Sarival Avenue. On-site development identification signs will occur along Glendale Avenue and Bethany Home Road to provide proper project identification. Directional signs may be located throughout the development to point users to their desired destination. These signs will utilize the established color and materials palette that is applied to the building(s) within the Park 303 site. A separate Comprehensive Sign Package shall be submitted to obtain City of Glendale approval for all signs. Deviations from City approval may be obtained through an administrative process if the sign is in substantial conformance with the sign package approved through Design Review.

Three (3) 60'-tall double sided, freeway monument signs are proposed along the 303 Freeway frontage areas of the development. Twenty (20) foot-tall, double-sided project monument signs are proposed throughout the Project. Signs adjacent to the freeway may deviate from the proposed standards an additional 10 feet in height due to the revised site grades and their proximity to the freeway structure. Double-sided monument signs will provide identity for the overall development and may include single-tenant panels, or multi-panel depending upon the future tenant user(s) of the Property. In addition, development identification signs will occur at the mid-block between State Route 303 Loop and Sarival Avenue as needed.

Once future tenants are identified, a Comprehensive Sign Package (CSP) will be provided with consistent signage for tenants and users of Park 303. The future CSP will contain guidelines for color, materials, location of wall signage, allowable areas, illumination, and configuration of logo and copy presentations. The proposed sign locations in this PAD are conceptual and the final determination of sign locations will be identified in the CSP submittal.

X. Billboard Signs

Billboard signs, including double sided, static and digital, shall be permitted within the Park 303 PAD, as located on the site plan, and subject to the standards noted below, in the event that billboard signs are permitted along the 303 freeway corridor:

- Maximum sign height, including any supporting structures, for a Digital Billboard Sign must be no more than sixty (60) feet. Maximum Digital Billboard Sign width must be no more than fifty (50) feet.
- Maximum Billboard Sign area must not exceed six hundred seventy-five (675) square feet.
- The Billboard Sign must be located within three hundred (300) feet of the freeway right-of-way.
- There shall be a minimum distance of four hundred ninety (490) feet between all Digital Billboard Signs within and contiguous to the Park 303 Planned Area Development.
- There shall be no minimum setback from the property line of an adjacent property.
- The message or image of the Digital Billboard Sign may be static or change at specific or programmed time intervals. The change in message or images shall occur no more frequently than once every eight (8) seconds and shall not have fade or dissolve transitions, or full animation or video, or similar subtle transitions or frame effects that have the appearance of moving text or images. A default black display shall be required in the event of malfunction.
- Message sequencing, the use of multiple Digital Billboards in a row to convey a message, shall be prohibited.
- Advertisements shall be limited to single frames.
- One Digital Billboard is permitted as a prelude to other development on a PAD. All additional Digital Billboard Signs shall be integrated into the PAD and have a relationship to the development, including common design elements such as styles and materials, and a functional relationship to the structures, parking, and open spaces in the development. The height, location, materials, color, texture, setbacks, and mass of the additional Digital Billboard Signs must be appropriate to the development, the neighborhood, and the community. The architectural character of the proposed additional Digital Billboard Sign shall be in harmony with, and compatible to, structures in the neighboring environment and the architectural character desired for the city, avoiding excessive variety or monotonous repetition. All additional Digital Billboard Signs shall be reviewed only as part of the review of the Master Development Plan of the property and integrated with surrounding buildings and

- landscaping.
- Design Review approval is required to allow any Digital Billboard Sign.
- Digital Billboard Sign illumination must be extinguished between 11:00 p.m. and sunrise. The only exception to this will be for amber alerts and other governmental emergencies.
- All illuminated Digital Billboard Signs shall be limited to a surface luminosity limit of 5,000 nits during daytime hours and a surface luminosity limit of 150 nits during nighttime hours.
- All Digital Billboard Signs shall provide for automatic dimming based upon ambient lighting conditions, including evening, and overcast weather.
- It shall be unlawful for any Digital Billboard Sign to have an illuminance greater than 1.0-foot candle at the property line of any adjacent property.
- Only one Digital Billboard Sign shall be erected prior to the first phase of development on a PAD.
- All Digital Billboard Signs shall receive all required licenses prior to approval.
- Removal of existing billboard sign are not required for the installation of new billboards within the Park 303 PAD area.
- A minimum 200 sf of landscaping shall be installed around the base of the billboard sign.

XI. Development Phases

The Property may be developed in a single-user phase, or with multiple phases as market conditions warrant. The intent is to install infrastructure and improve the street frontage and access way adjacent to each phase. It is anticipated that the initial phase will include at least one building, street frontage improvements, and retention basins. Plans for individual buildings/phases will be submitted to the City of Glendale to ensure proper and orderly development.

XII. Summary

The PAD and the proposed site plan will provide the required entitlements needed to develop the Park 303. The Property will be zoned PAD and the site is within a General Plan land use designation that encourages development specifically for parcel close to Luke Air Force Base. The proposed development substantially conforms with the development objectives of the General Plan for this location. The development will complement the surrounding area and provide improved benefits and new employment opportunities to the City of Glendale and its residents.

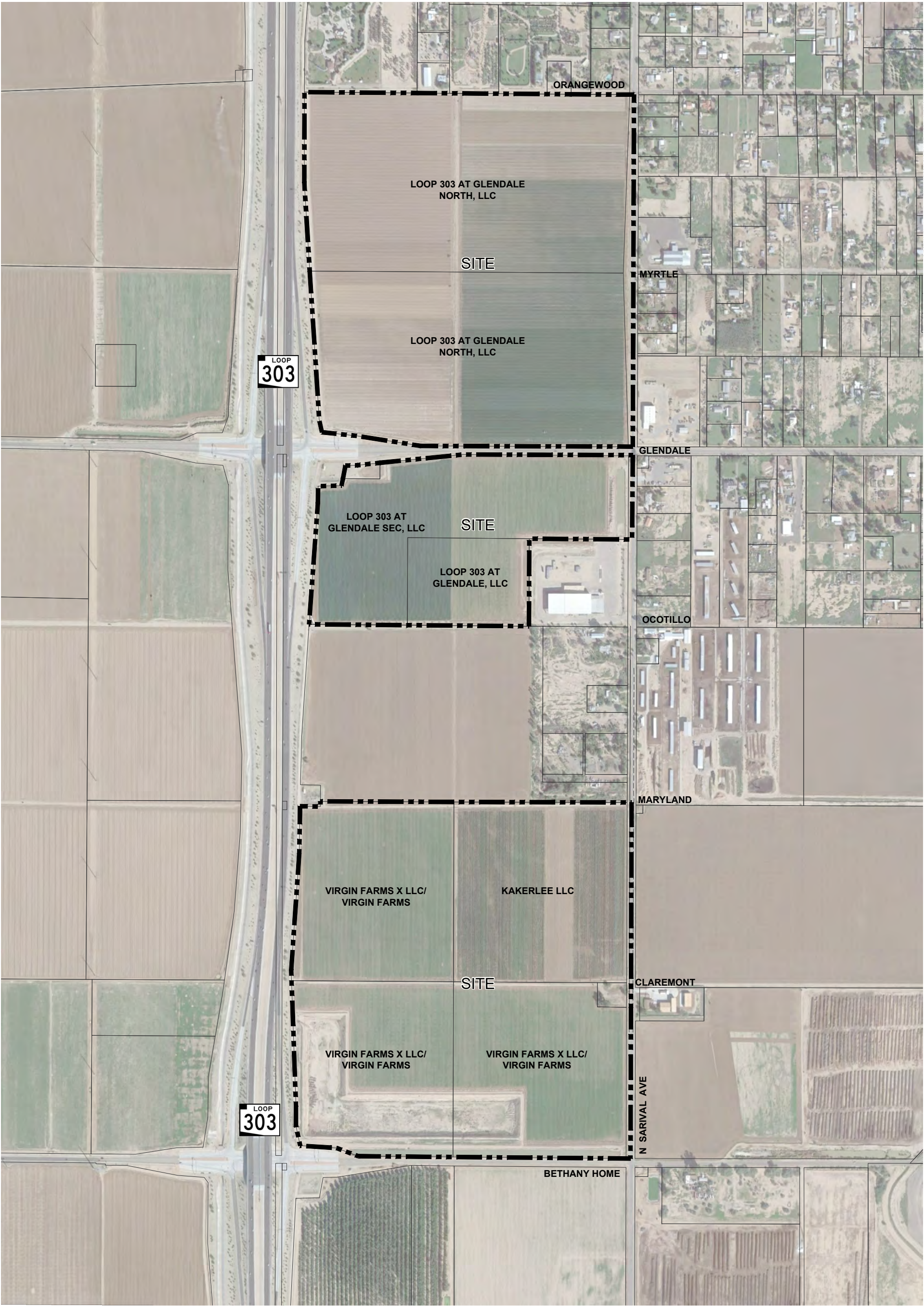
XIII. Consistency with Surrounding PADs

Significant portions of this PAD were referenced from the proposed adjacent PAD, made public record for the Lincoln Logistic property located in what will now become the center of this site. This PAD has attempted to be consistent with Lincoln Logistic This PAD to maintain consistency with the direction and vision of development in the area along the Loop 303 corridor, as requested in discussions with City staff.


Note: Prior to the City's issuance of permit(s) for vertical construction of building(s) or other improvements, Developer shall submit FAA form 7460-1 to the FAA. Regional Office for the FAA's determination of whether such building(s) or other improvements (as designed) would be a hazard to aviation and what additional conditions (if any) are recommended by the FAA.

LIST OF EXHIBITS

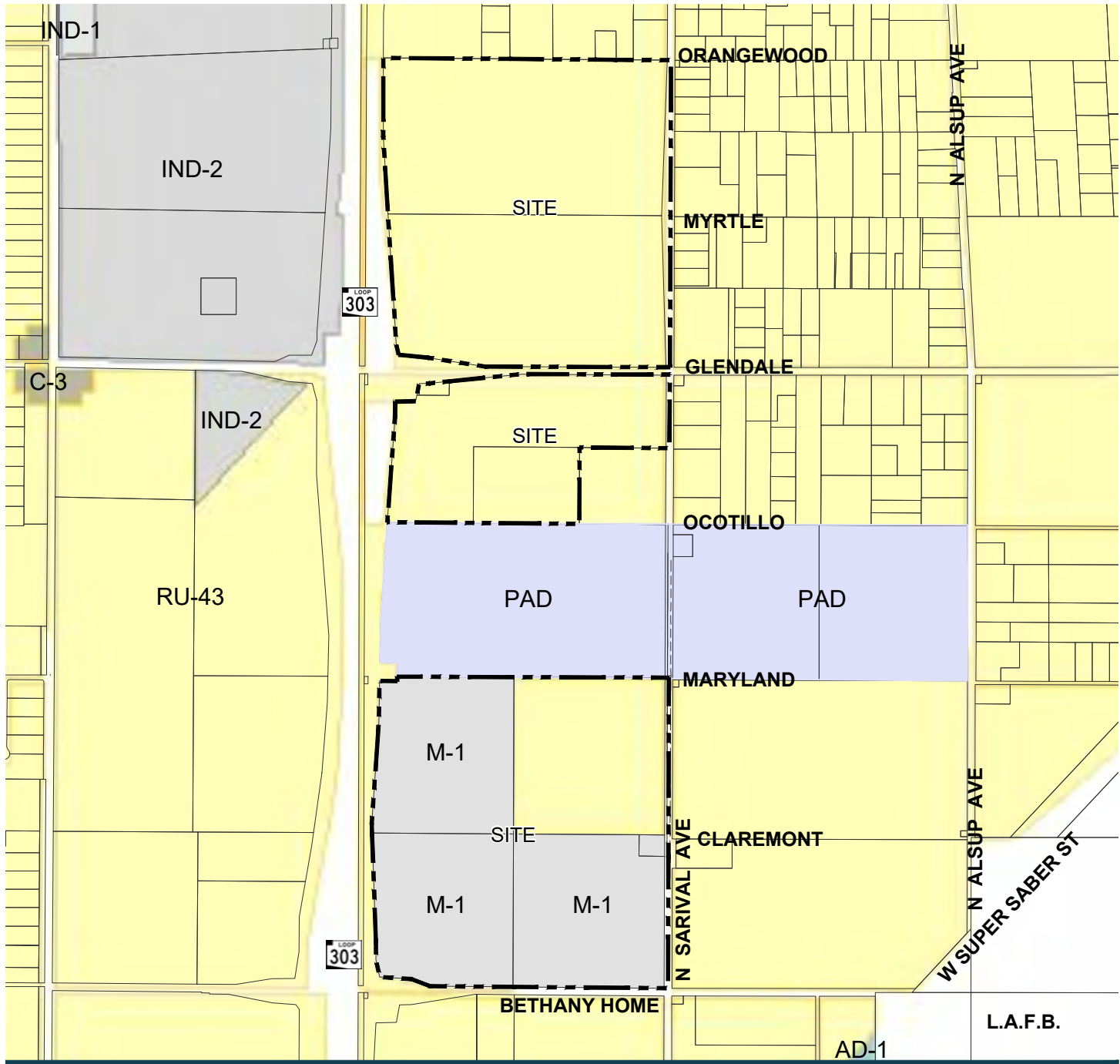
- 1. Aerial and Vicinity Map**
- 2. Zoning Map**
- 3. General Plan Map**
- 4. Bubble Diagram Site Plan Concept & Circulation**
- 5. Typical Architectural Site Plan**
- 6. Architectural Elevations Exhibit**
- 7. Sewer Exhibit**
- 8. Water Exhibit**
- 9. Representative Concept Landscape Plan**
- 10. Legal Description**



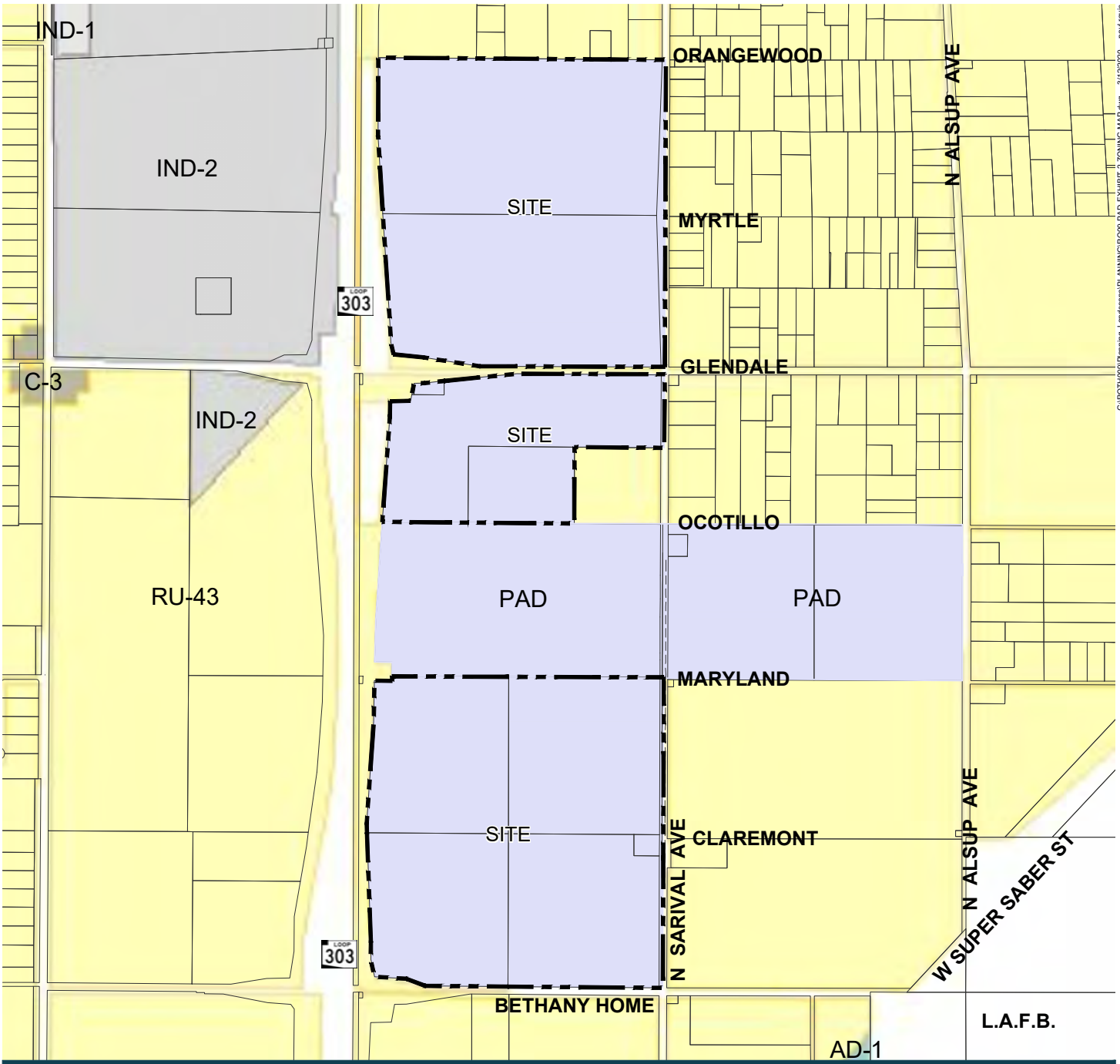
PARK 303
EXHIBIT 1 - AERIAL AND VICINITY MAP

 0 300 600 Feet
This plan is for conceptual purposes only
Not to be used for construction
3/12/2020
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Glendale, Arizona

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Existing Zoning



Proposed Zoning

MARICOPA COUNTY

- RU-43
- IND-1
- IND-2
- C-3
- AD-1

CITY OF GLENDALE

- PAD
- M-1 LIGHT INDUSTRIAL

PARK 303 EXHIBIT 2 - ZONING MAP

0 600 1200 Feet

This plan is for conceptual purposes only
Not to be used for construction

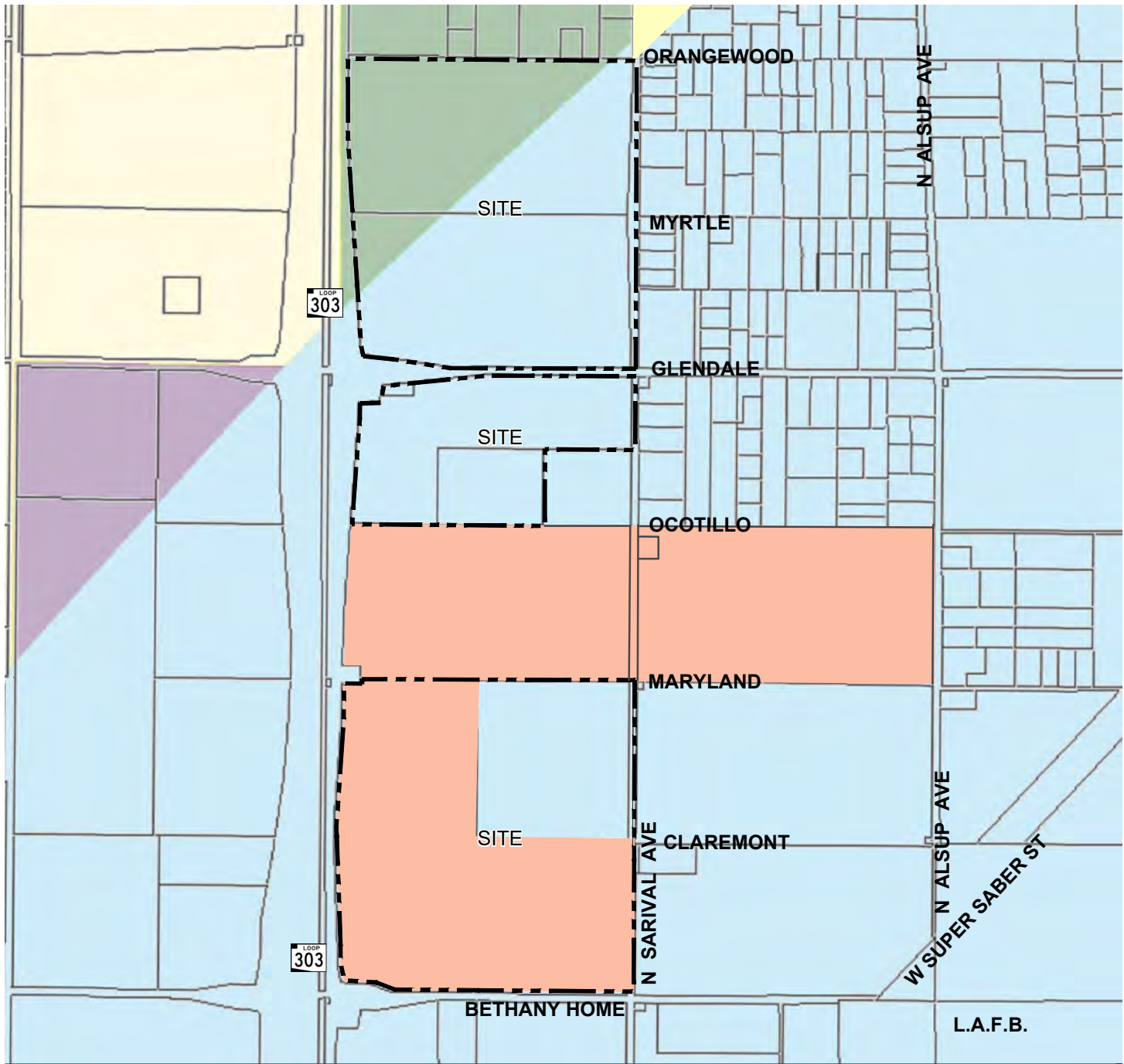
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Office: 480.991.3985 • www.hunterengineeringco.com

G:\ROTH\009\Planning_Landscape\PLANNING\ROB-PAD-EXHIBIT 2 ZONING MAP.dwg 3/12/2020 paul rayle



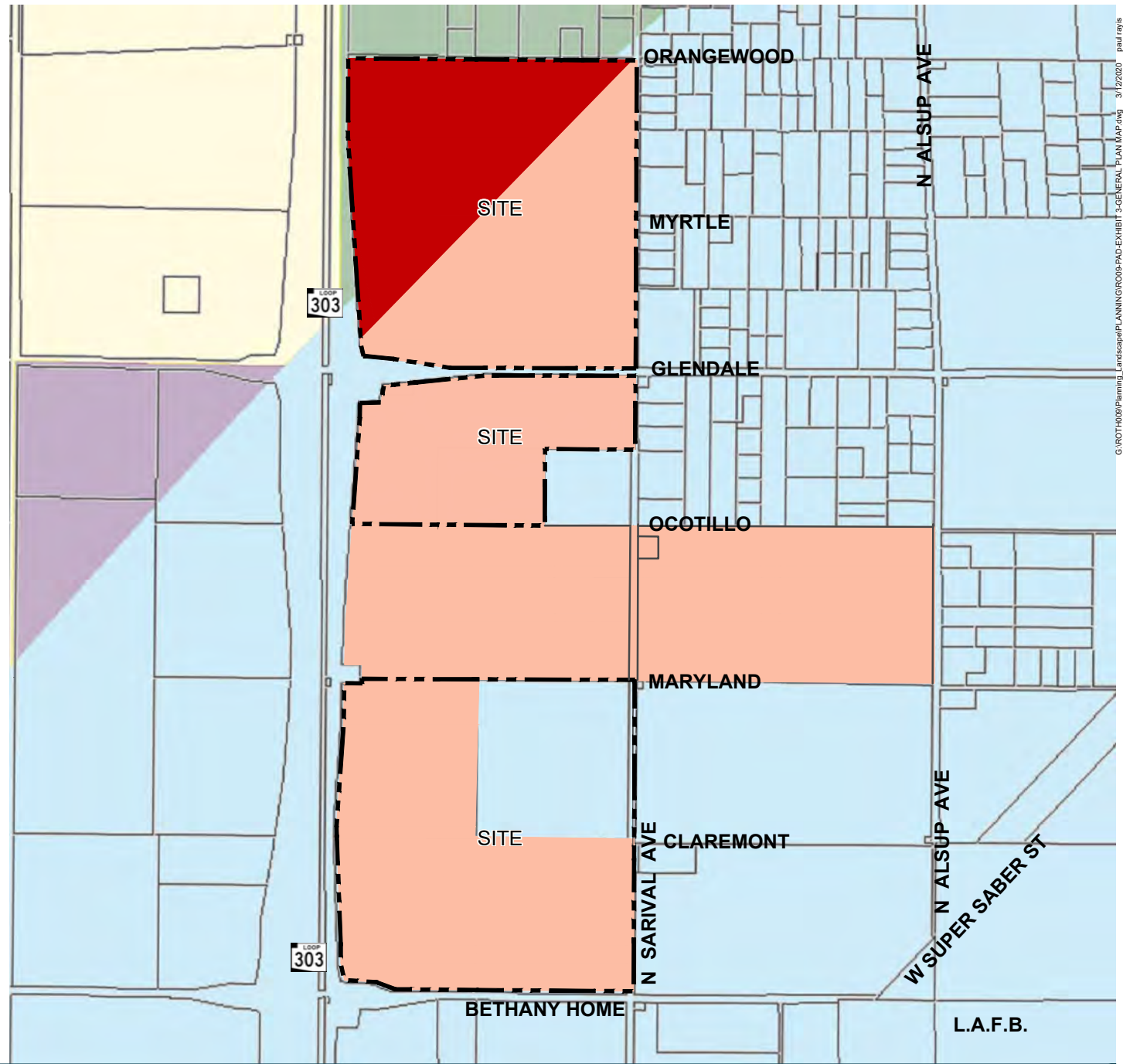
Existing General Plan

MARICOPA COUNTY

- MILITARY COMPATIBLE
- RURAL DENSITIES (0-1 DU/AC)
- AGRICULTURAL
- MIXED-USE EMPLOYMENT

CITY OF GLENDALE

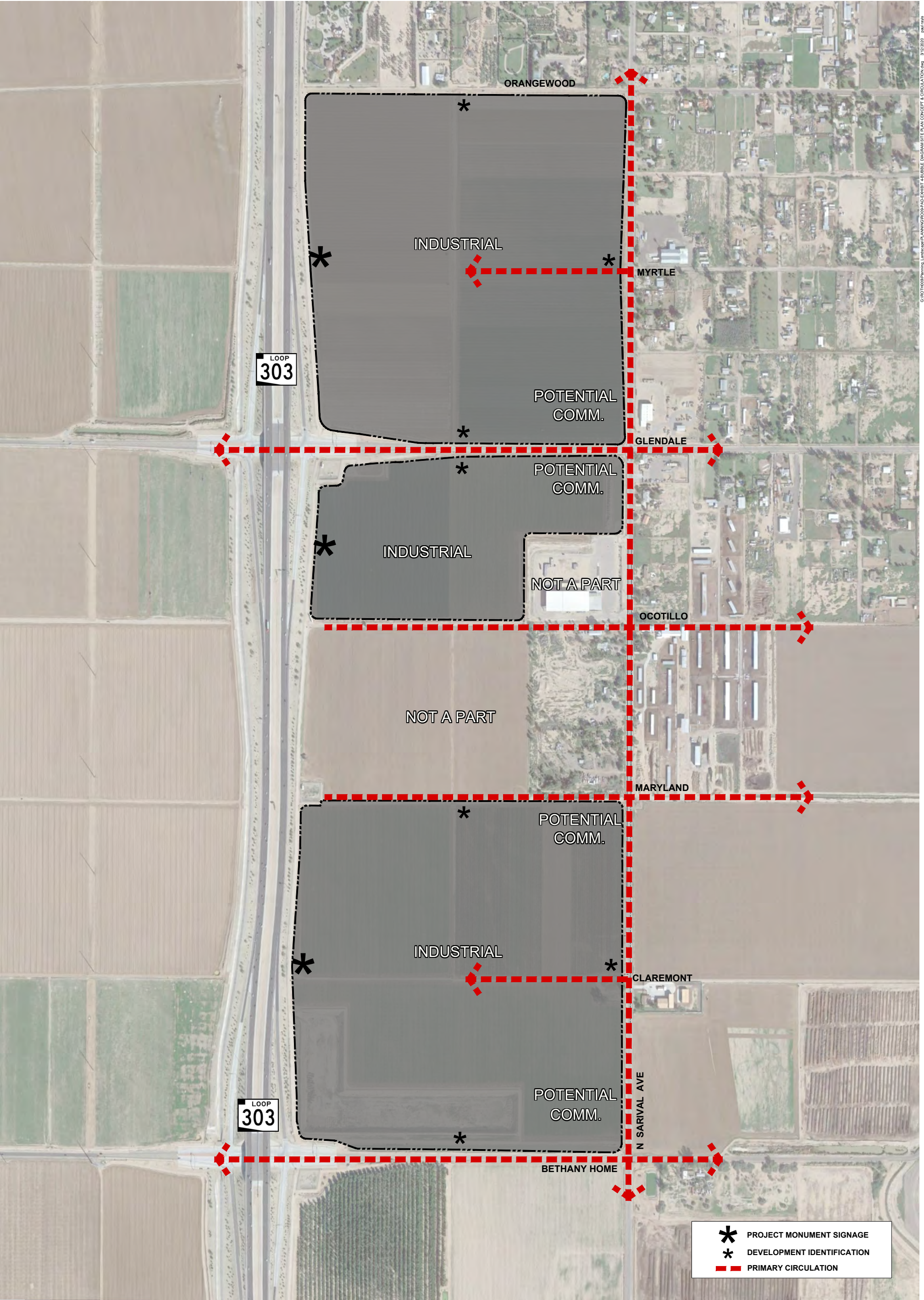
- GC - GENERAL COMMERCIAL
- LCLU - LUKE COMPATIBLE LAND USE AREA
- PF - PUBLIC FACILITIES
- LDR 1 - LOW DENSITY RESIDENTIAL 0-1 DU/AC



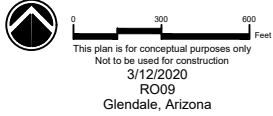
Proposed General Plan

PARK 303

EXHIBIT 3 - GENERAL PLAN MAP



PARK 303
EXHIBIT 4 - BUBBLE DIAGRAM SITE PLAN & CIRCULATION





SITE DATA	
TOTAL SITE AREA	: 3,085,640 S.F. (70.84 AC.)
TOTAL BUILDING AREA	: 1,039,000 S.F.
BUILDING A	
WEST SITE AREA	: 1,755,756 S.F. (40.31 AC.)
WEST BUILDING AREA	: 600,000 S.F.
PARKING REQUIRED	
WHS./DIST. 1 : 2000 SF	: 285 SPACES
OFFICE (5%) 1 : 300 SF	: 100 SPACES
	385 SPACES
PARKING PROVIDED	
	: 459 SPACES *
*ADDITIONAL PARKING AVAILABLE IN DOCK AREAS AS REQUIRED	
TRAILER PARKING PROVIDED	
	: 105 SPACES
BUILDING B	
EAST SITE AREA	: 1,329,883 S.F. (30.53 AC.)
EAST BUILDING AREA	: 439,000 S.F.
PARKING REQUIRED	
WHS./DIST. 1 : 2000 SF	: 209 SPACES
OFFICE (5%) 1 : 300 SF	: 74 SPACES
	283 SPACES
PARKING PROVIDED	
	: 532 SPACES *
*ADDITIONAL PARKING AVAILABLE IN DOCK AREAS AS REQUIRED	
TRAILER PARKING PROVIDED	
	: 79 SPACES
NOTE: NUMBER OF TENANTS AND ACTUAL OFFICE LOCATION UNKNOWN. SITE PLAN TO BE ADJUSTED TO FIT ACTUAL TENANT REQUIREMENTS.	

This artistic rendering is for conceptual design only and should not be referred to as a construction document.

PARK 303

EXHIBIT 5 - TYPICAL ARCHITECTURAL SITE PLAN

This plan is for conceptual purposes only
Not to be used for construction
03/12/2020
R009
Glendale, Arizona





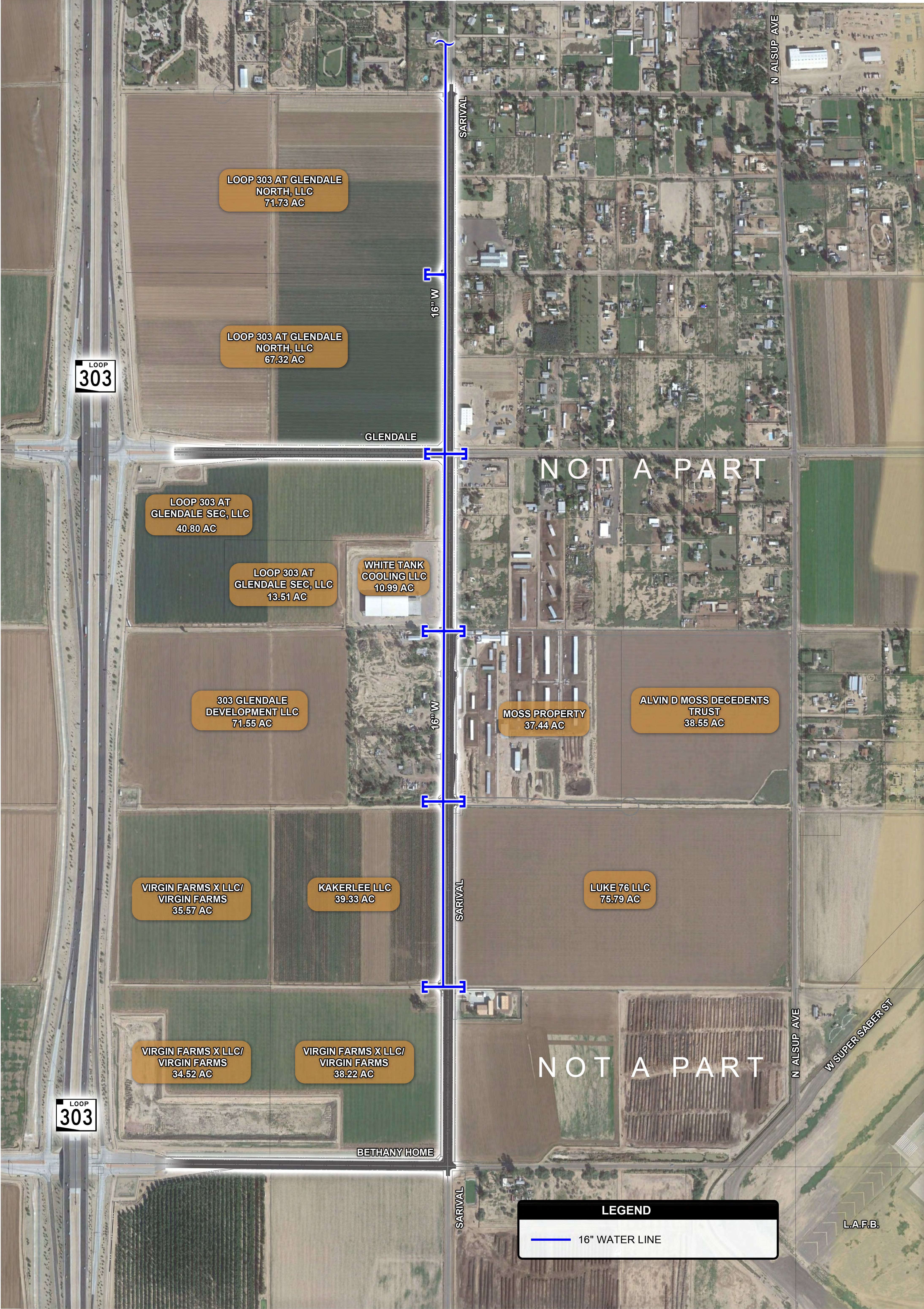
This artistic rendering is for conceptual design only and should not be referred to as a construction document.

PARK 303

EXHIBIT 6 - ARCHITECTURAL ELEVATIONS EXHIBIT

This plan is for conceptual purposes only
Not to be used for construction
02/24/2020
RO09
Glendale, Arizona





PARK 303
EXHIBIT 8 - WATER EXHIBIT

EXHIBIT 10

LEGAL DESCRIPTION FOR LOOP 303 AT GLENDALE NORTH, LLC 501-04-004A & 501-04-005A & SARIVAL AVE RW

THAT PORTION OF THE SOUTHEAST QUARTER OF SECTION 1, TOWNSHIP 2 NORTH, RANGE 2 WEST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF SAID SECTION 1, MARKED BY AN ALUMINUM CAP FLUSH STAMPED "MARICOPA COUNTY" WITH SECTION LABELS, FROM WHICH THE SOUTH QUARTER CORNER OF SAID SECTION 1, MARKED BY A BRASS CAP FLUSH STAMPED "A.Z.D.O.T. 2014 SE. 1/2 BEARS NORTH 89°44'27" WEST, FOR A MEASURED DISTANCE OF 2639.22 FEET;

THENCE NORTH 89°44'27" WEST, ALONG THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 1, A DISTANCE OF 1573.70 FEET

THENCE NORTH 00°15'33" EAST, A DISTANCE OF 33.00 FEET;

THENCE NORTH 81°06'24" WEST, A DISTANCE OF 479.87 FEET;

THENCE NORTH 84°02'36" WEST, A DISTANCE OF 260.10 FEET;

THENCE NORTH 12°25'20" WEST, A DISTANCE OF 99.47 FEET;

THENCE NORTH 03°07'01" WEST, A DISTANCE OF 172.38 FEET;

THENCE NORTH 03°42'55" WEST, A DISTANCE OF 1582.79 FEET;

THENCE NORTH 00°17'04" EAST, A DISTANCE OF 673.29 FEET TO A POINT ON THE NORTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 1;

THENCE SOUTH 89°31'50" EAST, ALONG SAID NORTH LINE, A DISTANCE OF 2446.40 FEET TO AN ALUMINUM CAP IN HANDHOLE MARKING THE EAST QUARTER CORNER OF SAID SECTION 1;

THENCE CONTINUING SOUTH 89°31'50" EAST, A DISTANCE OF 33.00 FEET TO A POINT ON A LINE PARALLEL WITH AND 33.00 FEET EAST OF THE EAST LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 1;

THENCE SOUTH 00°12'59" WEST, ALONG SAID PARALLEL LINE, A DISTANCE OF 2643.16 FEET;

THENCE NORTH 89°44'27" WEST, A DISTANCE OF 33.00 FEET TO THE POINT OF BEGINNING.

EXHIBIT 10

**LEGAL DESCRIPTION
FOR LOOP 303 AT GLENDALE NORTH, LLC
501-03-006F, 501-03-006H & S.RW GLENDALE AVE. & SARIVAL AVE. RW (GLENDALE
AVE. TO OCOTILLO RD.)**

THAT PORTION OF THE NORTHEAST QUARTER OF SECTION 12, TOWNSHIP 2 NORTH, RANGE 2 WEST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF SAID SECTION 12, MARKED BY AN ALUMINUM CAP FLUSH STAMPED "MARICOPA COUNTY" WITH SECTION LABELS, FROM WHICH THE NORTH QUARTER CORNER OF SAID SECTION 12, MARKED BY A BRASS CAP FLUSH STAMPED "A.Z.D.O.T. 2014 SE. 1/2 BEARS NORTH 89°44'27" WEST, FOR A MEASURED DISTANCE OF 2639.22 FEET;

THENCE SOUTH 89°44'27" EAST, A DISTANCE OF 33.00 FEET TO A POINT ON A LINE PARALLEL WITH AND 33.00 FEET EAST OF THE EAST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 12;

THENCE SOUTH 00°11'39" WEST, ALONG SAID PARALLEL LINE, A DISTANCE OF 1302.46 FEET;

THENCE NORTH 89°55'06" WEST, A DISTANCE OF 66.00 FEET TO A POINT ON A LINE PARALLEL WITH AND 33.00 FEET WEST OF THE EAST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 12;

THENCE NORTH 00°11'39" EAST, ALONG SAID PARALLEL LINE, A DISTANCE OF 650.00 FEET;

THENCE NORTH 89°44'43" WEST, A DISTANCE OF 737.16 FEET;

THENCE SOUTH 00°11'37" WEST, A DISTANCE OF 650.00 FEET;

THENCE NORTH 89°44'43" WEST, A DISTANCE OF 1627.82 FEET;

THENCE NORTH 03°57'13" EAST, A DISTANCE OF 904.72 FEET;

THENCE NORTH 00°43'09" EAST, A DISTANCE OF 124.28 FEET;

THENCE NORTH 88°29'52" EAST, A DISTANCE OF 173.87 FEET;

THENCE NORTH 11°08'19" EAST, A DISTANCE OF 153.73 FEET;

THENCE NORTH 88°29'52" EAST, A DISTANCE OF 88.13 FEET;

THENCE NORTH 84°10'21" EAST, A DISTANCE OF 789.43 FEET;

THENCE NORTH 00°15'33" EAST, A DISTANCE OF 33.03 FEET TO A POINT ON THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 12;

THENCE SOUTH 89°44'27" EAST, ALONG SAID NORTH LINE, A DISTANCE OF 1261.33 FEET TO THE POINT OF BEGINNING.

EXHIBIT 10

LEGAL DESCRIPTION FOR KAKERLEE, LLC APN 501-03-005C

THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 12, TOWNSHIP 2 NORTH, RANGE 2 WEST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA:

EXCEPT ANY PART OF THAT PARCEL OF LAND DESCRIBED IN DOCUMENT NO. 2016-0476167 OF THE MARICOPA COUNTY RECORDS, MARICOPA COUNTY, ARIZONA

EXHIBIT 10

LEGAL DESCRIPTION FOR LOOP 303 AT BETHANY HOME ROAD 501-03-007A & 501-03-008A, 501-00-011B & SARIVAL AVE RW

THAT PORTION OF THE SOUTHEAST QUARTER OF SECTION 12, TOWNSHIP 2 NORTH, RANGE 2 WEST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF SAID SECTION 12, MARKED BY A BRASS CAP IN HANDHOLE, FROM WHICH THE SOUTH QUARTER CORNER OF SAID SECTION 12, MARKED BY A BRASS CAP FLUSH BEARS NORTH 89°30'22" WEST, A DISTANCE OF 2632.91 FEET;

THENCE NORTH 89°30'22" WEST, ALONG THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 12, A DISTANCE OF 1634.60 FEET TO THE POINT OF BEGINNING;

THENCE CONTINUING, NORTH 89°30'22" WEST, A DISTANCE OF 385.68 FEET;

THENCE NORTH 00°29'38" EAST, A DISTANCE OF 33.00 FEET;

THENCE NORTH 69°14'33" WEST, A DISTANCE OF 170.35 FEET;

THENCE NORTH 86°14'14" WEST, A DISTANCE OF 271.84 FEET;

THENCE NORTH 12°14'06" WEST, A DISTANCE OF 150.07 FEET;

THENCE NORTH 00°06'44" EAST, A DISTANCE OF 146.11 FEET;

THENCE NORTH 02°02'20" WEST, A DISTANCE OF 1009.92 FEET;

THENCE NORTH 03°59'56" EAST, A DISTANCE OF 866.01 FEET;

THENCE NORTH 00°58'42" EAST, A DISTANCE OF 350.52 FEET;

THENCE SOUTH 89°04'03" EAST, A DISTANCE OF 150.00 FEET;

THENCE NORTH 01°03'14" EAST, A DISTANCE OF 38.80 FEET TO A POINT ON THE NORTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 12;

THENCE SOUTH 89°44'59" EAST, ALONG SAID NORTH LINE, A DISTANCE OF 990.74 FEET;

THENCE SOUTH 00°08'27" WEST, A DISTANCE OF 1332.93 FEET;

THENCE SOUTH 89°37'44" EAST, A DISTANCE OF 1317.42 FEET TO A POINT ON THE EAST LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 12;

THENCE NORTH 89°57'28" EAST, A DISTANCE OF 65.00 FEET TO A POINT ON A LINE PARALLEL WITH AND 65.00 FEET EAST OF THE EAST LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 12;

THENCE SOUTH 00°10'18" WEST, ALONG SAID PARALLEL LINE, A DISTANCE OF 248.00 FEET;

THENCE NORTH 90°00'00" WEST, A DISTANCE OF 32.00 FEET TO A POINT ON A LINE PARALLEL WITH AND 33.00 FEET EAST OF THE EAST LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 12;

THENCE SOUTH 00°10'18" WEST, ALONG SAID PARALLEL LINE, A DISTANCE OF 1 120.95 FEET TO A POINT ON A LINE PARALLEL WITH AND 33.00 FEET SOUTH OF THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 12;

THENCE NORTH 89°30'22" WEST, ALONG SAID PARALLEL LINE, A DISTANCE OF 1667.79 FEET;

THENCE NORTH 0°29'38" EAST, A DISTANCE OF 33.00 FEET TO THE POINT OF BEGINNING.