

as the primary use of the property is not the basic processing and compounding of raw materials.	X
4. Medical & dental laboratories.	X
5. Motion picture production, radio and television broadcast studios, but not including transmitter towers.	X
6. Health clubs.	X
7. Commercial, trade or business schools.	X
8. Full service restaurants.	X
9. Financial institutions.	X
10. Barber & beauty shops.	X
11. Business support services.	X
12. Laundry, cleaning & dyeing establishments limited to:	X
1. Maximum 1,000 square feet of floor area to be occupied by or devoted to machinery to be used for laundry, cleaning, dyeing and finishing work.	
2. Retail service to individual customers only and no wholesaling of any commodity or service shall be permitted.	
13. Child care center.	X
14. Fast food restaurants without drive-in or drive-thru facilities.	X
15. Public/semi public utility bldgs. and facilities.	C.U.P.
16. Limited service hotel.	X
17. Motels/hotels with conference and convention facilities.	C.U.P.
18. Self service storage facilities, for storage purposes only.	C.U.P.

19. Wholesale sales & distribution of finished goods.	C.U.P.
20. Incidental commercial retail sales other than those otherwise permitted	C.U.P.
21. Automobile, boat, motorcycle and recreational vehicle dealerships.	C.U.P.
22. Manufacture, assembly, testing & repair of electrical/electronic devices & components.	X
23. Plastic products assembly.	X
24. Studio/office for industrial designing, model making, sculpture, architecture, engineering, planning, drafting, general designing and ceramic arts.	X
25. Assisted care living facility.	C.U.P.
26. Skilled nursing care facility.	C.U.P.

b. Development Standards

These development standards shall apply to all Business Park parcels within Talavi. Unless otherwise noted, all development shall comply with the City of Glendale Zoning Ordinance.

Maximum Floor Area Ratio ..... .50

Building Height ..... 2-4 Stories/30'-50'<sup>1</sup>

Building Setback

Front ..... 25'

Rear ..... 15'; 60' to Res. Uses

Side ..... 15'; 60' to Res. Uses

Street Side ..... 25'

Figure 2 illustrates the building height allowances for Talavi. The locations of the taller buildings were selected because they maximize the project's image and exposure with a minimum of impact on the residential neighborhood to

<sup>1</sup> Building height shall be permitted as shown on Figure 2.

the south. In essence, the tallest buildings are along Bell Road or in the northern 1/3 of the project. The additional standards described below ensure adequate protection for the residential area south of Paradise Lane by requiring greater setbacks as building heights increase.

There shall be additional building setbacks from the 100' Paradise Lane landscape buffer, as follows:

<u>Building Height</u>	<u>Building Setback from Landscape Buffer*</u>
20' or Less	60'
20' - 25'	116'
25' - 31'	176'
31' +	208'

## 2. Commercial

This area will contain a mix of destination retail uses and service retail uses. Commercial pad uses such as restaurants, banks, and small retail users are a necessary and complementary function of a large business park and will blend with the larger commercial area at this intersection. However, the design of these uses and their relationship to the perimeter streets and to the interior of the business park will be carefully controlled. Typical "strip" type development with multiple curb cuts has not, and will not, be allowed.

The goal of the commercial area is to provide for the needs of the business park and surrounding residential areas and to take advantage of the key location to attract destination shoppers purchasing large ticket items. This would be accomplished with a design that relates to the interior of Talavi and which presents a high quality image to the adjacent arterial streets. In addition, the wide landscaped setbacks which do not allow parking on 59th Avenue and Bell Road in front yard areas will provide a visual departure from other commercial developments.

On the parcels east of 57th Avenue, a different architectural theme has been established that complements the high quality established to the west.. The relationship of freestanding buildings to each other will be controlled with shared site elements such as parking and landscaping. The number of pads fronting along Bell Road will be limited to a maximum of three.

---

\* These setbacks shall apply to all permitted uses, except assisted care living facilities, which shall be required to have a 10' setback from the landscape buffer.

Restaurant pads located east of 57th Avenue will encourage outdoor use through clustering and use of open space between buildings and between the restaurants and the hotel site. Parking, driveways, and service access between the pads will be kept to a minimum where possible.

a. Permitted Uses

The uses permitted in the commercial section of Talavi will conform with Glendale zoning ordinance Sections 5.752, 5.753, 5.754 and 5.756, the C-2 General Commercial Section, except that hotels shall be considered a permitted use by right.

Prohibited commercial uses include:

1. Neighborhood Grocery/Drug Stores
2. Adult Entertainment
3. Second Hand Stores
4. Pawn Shops
5. Outdoor Sales
6. Outdoor Storage or Display
7. Bars and Cocktail Lounges, except in conjunction with a Full Service Restaurant
8. Convenience uses, as defined in the Glendale Zoning Ordinance, except one Convenience Restaurant, shall be allowed by right

**b. Development Standards**

Maximum Floor Area Ratio..... .25

**Building Height**

West of 57th Avenue.....2 Stories/30'

East of 57th Avenue.....2-4 Stories/30'-50'\*\*

**Setbacks**

Front.....25'

Rear.....15'

Side .....15'

Street Side.....25'

Service, loading, and utility functions of the commercial buildings shall be screened from the hotel site and business park with the use of landscaping, walls and architectural design features to maintain the open, park-like character of the business park campus.

Pedestrian linkage to the hotel and business park will be incorporated with the use of walkways, landscaping and open space.

---

\*\* Building height shall be permitted as shown on Figure 2.

### III. CIRCULATION SYSTEM

Circulation consists of streets for auto and truck traffic and pedestrian pathways that connect key areas with the project. Figure 3 illustrates the roadways that have been completed to date.

The major interior streets are important design elements, containing four lanes with landscaped medians. These street have established a high-quality image for the main interior areas of the project. The southern portion of the project will have wide streets built to City standards for the Business Park area.

No parking is allowed on any streets. Throughout the development, landscaped setbacks are provided to create a campus-like atmosphere.

The street pattern is designed to provide three major access points at existing or proposed traffic signals. An additional secondary access point is provided at Beverly Lane and 59th Avenue. . The street pattern is designed with no connections from Talavi to the residential areas south and east. All traffic must enter from 59th Avenue or Bell Road. The design capacity of Talavi Boulevard exceeds the estimated traffic needs noted in the traffic studies. Talavi Boulevard has also been designed to accommodate an extension to the north from the intersection of Bell Road and 55th Avenue into the State land property north of Bell Road. This extension would create a unifying element for the general area.

Streets adjacent to the property have also been upgraded. Bell Road has been rebuilt to a 6-lane Road with a landscaped median and shoulders. Major entry points into the project from Bell and 59th Avenue have right turn lanes. Fifty-ninth Avenue has been improved to six lanes with a landscaped median. SunCor dedicated additional right-of-way and participated in the construction of both 59th Avenue and Bell Road to make these improvements possible. All internal streets have been dedicated to the City. Pavement, sidewalks where indicated, drainage, lighting, and curb and gutter are being provided by SunCor.

#### IV. UTILITIES

All developer-provided utilities within the project have been placed underground as depicted on Figure 4. Sites within the project have been provided with water, sanitary sewer, electrical service, and telephone service. Other services such as natural gas, fiber optic communications, and cable television may be provided.

Trash collection is currently served through scheduled City and private collection. Trash collection areas are screened.

Existing 12-inch waterlines are located at the north, east, and west boundaries of the property. The Talavi water system, consisting of 10-inch and 8-inch waterlines, are tied into the existing 12-inch waterlines along Bell Road, 59th Avenue and 55th Avenue.

Existing 10-inch sewer lines are located at the east and south boundaries of the property, and a 15-inch sewer line is along the north boundary, and an 8-inch line that turns into a 12-inch line is located along the west boundary.

The site drains from northeast to southwest at approximately a 0.5% slope. The sewer system, consisting of 8-inch sewer lines, drain to the southwest corner of the site to the existing 12-inch sewer which drains to the south along 59th Avenue.

## V. GRADING AND DRAINAGE

The site is unaffected by offsite runoff. Bell Road intercepts and diverts offsite flows west of the property.

Except for Glendale's special detention requirements, the property is affected only by runoff generated onsite. A series of detention basins fill and cascade to the southwest corner of the property where the water drains back into the 59th Avenue storm sewer system at the maximum permissible rate of 10 CFS.

Runoff for each individual parcel will be contained within its own internal retention system. Storage for the runoff from the 2-hour 100-year storm is required by the City. A series of roadside swales provides a drainage network which is connected to the common detention area. This network will provide a means of collecting street runoff and routing it to the common detention areas, as well as providing an emergency overflow outlet for the individual parcels.

The ultimate discharge of water from the property is at the southwest corner of the site. The entire site outlets via the drain into the 59th Avenue storm sewer with discharge in excess of the storm sewer outlet overflowing into 59th Avenue. Because of the onsite detention provided, the worst case situation after full build-out would result in approximately 70 CFS being discharged into 59th Avenue as compared to 91 CFS under existing conditions for the 100-year event.

The drainage system, combined with the Paradise Lane buffer berm, prevents any water originating on the Talavi property from flowing across Paradise Lane, and as the worst case numbers illustrate, will, in fact, improve the existing conditions.



## VI. LANDSCAPING

The landscape theme for Talavi has been designed to utilize walls, signage, and plant materials to create a southwest, contemporary identity for the project. (See Figure 5, Master Landscape Plan). Materials commonly associated with this region, (sandstone, stucco and copper), are combined with arid region plant materials to create a unique environment and one that also blends with the area. The number of trees and plants actually installed at Talavi is nearly double what Glendale requires by ordinance. Also, the size of the trees installed at major entry areas and boulevards are much larger than city requirements, helping to create a more established look for Talavi.

Monument walls of sandstone, patina copper signage, and rows of arid region trees identify the entrances to the project and the interior core. These indigenous materials are continued throughout the project on site walls, signage, and site elements to maintain a regional character. Low water use trees are used formally along the main roads of the project to create tree lined boulevards. Riparian trees have been used at entryways and along the large detention swale along 59th Avenue. Out of necessity, drainage swales are turfed to prevent unsightly erosion. Design guidelines for individual users will ensure that this regional theme and quality is continued to full build-out. All common areas of the project are maintained by the Talavi Owner's Association.

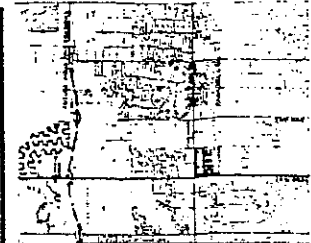
Along Bell Road and 59th Avenue there are 25-foot setbacks in addition to the right-of-way planting. Landscaped with lush arid plant materials the project appears more campus like, less like a business park. The major streets in the project have 25 foot landscaped setbacks and medians. All other streets maintain 20 foot landscaped setbacks. Parking is not allowed in the setback areas.

Along the entire south end of the project, a 100-foot wide buffer has been designed and constructed to protect the adjacent residential area. Within this buffer is a 10-foot high landscaped berm to shield development to the north. SunCor has worked with the adjacent neighborhood to choose plant materials from Glendale's approved plant list. In combination with the berm, a 15-foot wide drainage swale has been installed to prevent any water from the project reaching Paradise Lane. A 5-foot screen wall on the north edge of the buffer will prevent any physical movement between Talavi and Paradise Lane. The buffer has been dedicated to the Talavi Owner's Association, who is also responsible for maintenance of the buffer and detention basin.

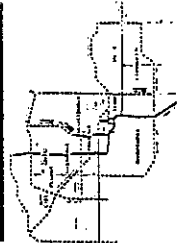


TALAVI  
A BUSINESS PARK

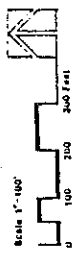
VICINITY MAP



REGIONAL LOCATION



DRILLER'S  
LANDSCAPE ARCHITECT  
1000 10TH AVENUE, SUITE 100  
DENVER, CO 80202  
PHONE: 303.733.1000  
FAX: 303.733.1001  
WWW.LANDSCAPE-ARCHITECT.COM  
LANDSCAPE ARCHITECT  
1000 10TH AVENUE, SUITE 100  
DENVER, CO 80202  
PHONE: 303.733.1000  
FAX: 303.733.1001  
WWW.LANDSCAPE-ARCHITECT.COM



- 4 Story/50'
- 2 Story/30'
- 1 Story/30'

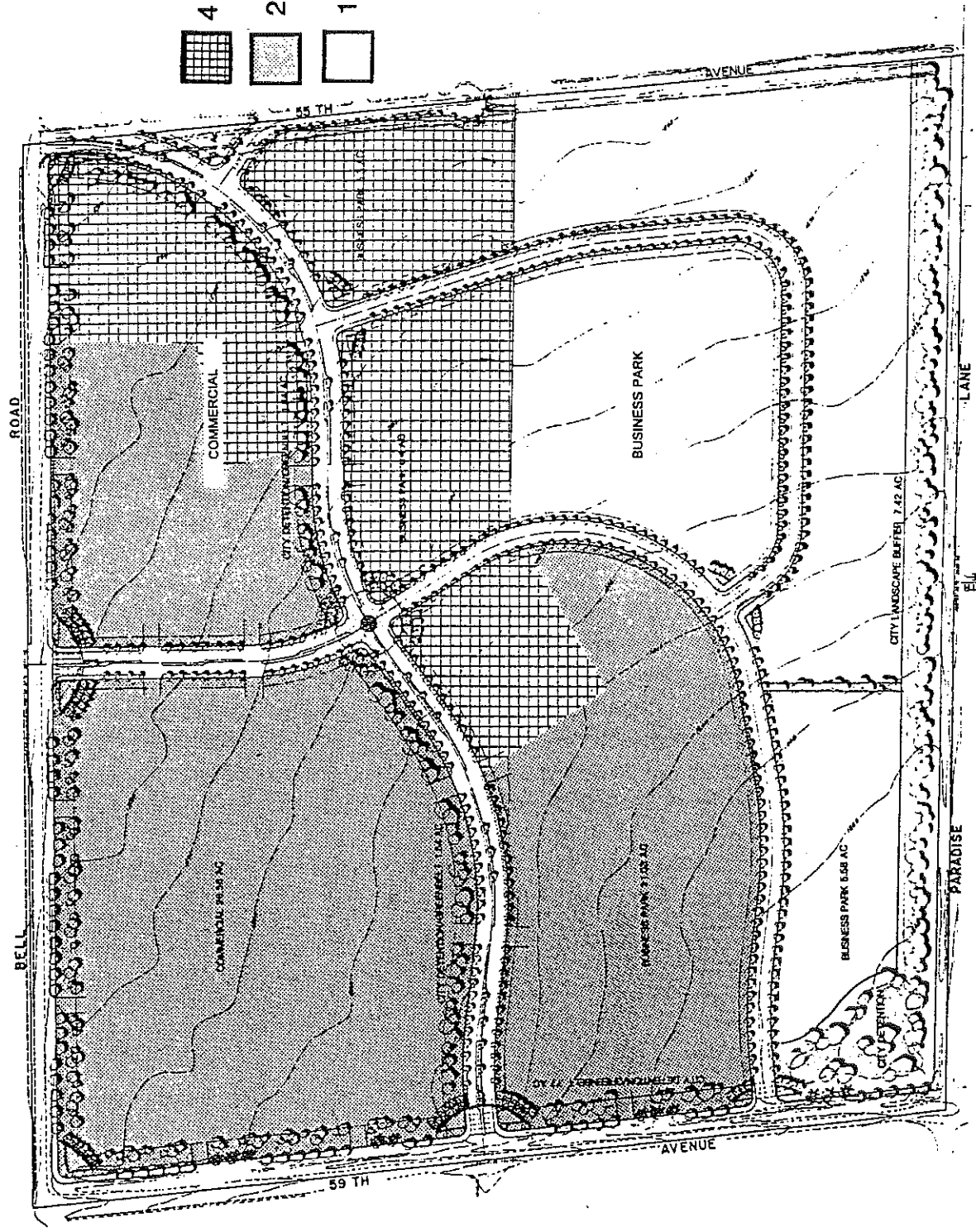


FIGURE 2  
BUILDING HEIGHT ALLOWANCES



## VICINITY MAP



## REGIONAL LOCATION



**TALAVI  
DEVELOPMENT  
MASTER PLAN**

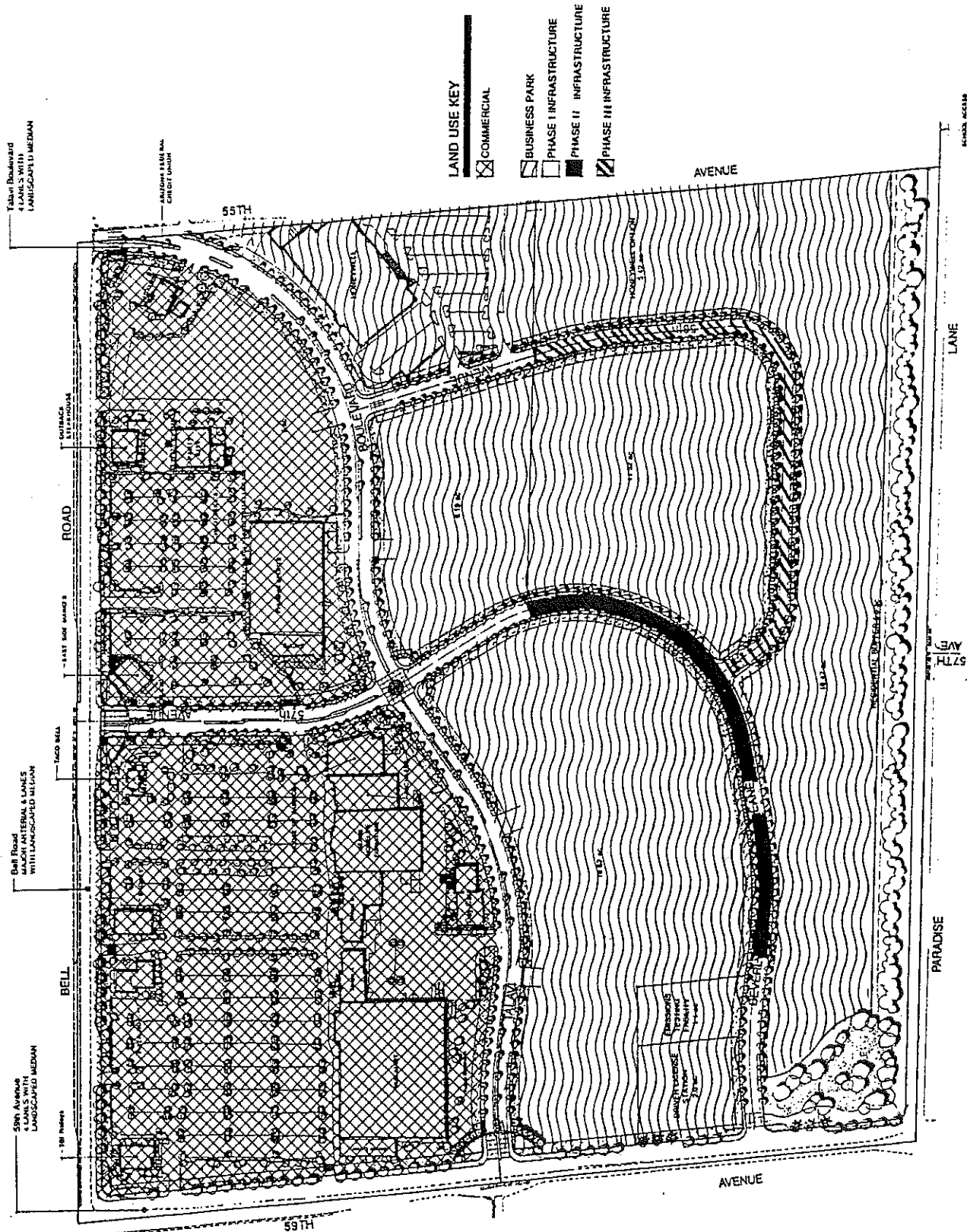
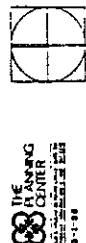
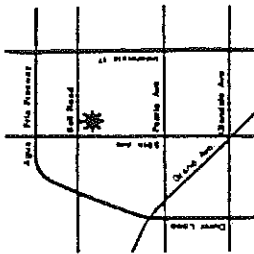


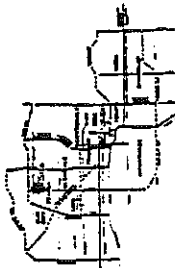
FIGURE 1  
LAND USE PLAN



### VICINETY MAP



REGIONAL LOCATION



**SUNCOR  
DEVELOPMENT  
COMPANY**



**TALAVI  
DEVELOPMENT  
MASTER PLAN**



**000000**



- ROADWAYS/UNDERGROUND UTILITIES COMPLETED

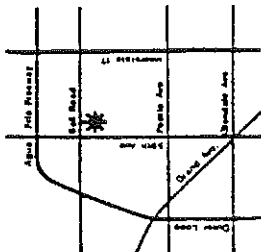
FIGURE 3

EXISTING ROADWAY IMPROVEMENTS

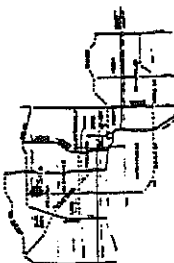


TALAVI

VICINITY MAP



REGIONAL LOCATION



SUNCOR  
DEVELOPMENT  
COMPANY



TALAVI  
DEVELOPMENT  
MASTER PLAN



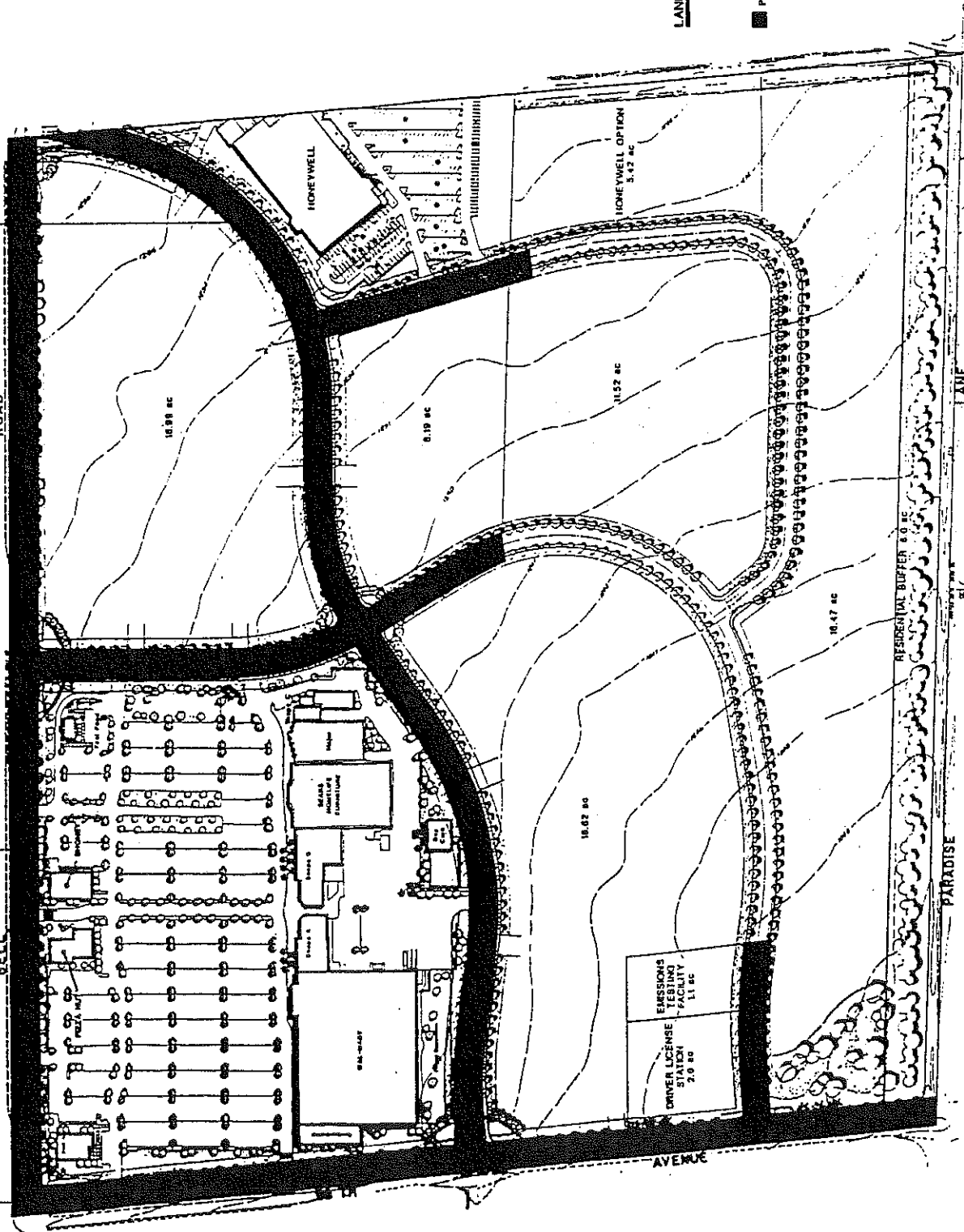
Major Boulevard  
4 Lanes with  
Landscaped Median

Bel Road  
Major Arterial 5 Lanes  
with Landscaped Median

5th Avenue  
4 Lanes with  
Landscaped Median

ROAD

BELL



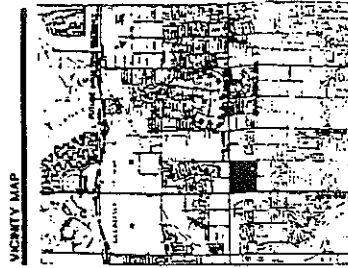
LAND USE KEY

PHASE 1 INFRASTRUCTURE

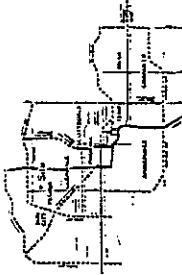
FIGURE 4  
- ROADWAYS/UNDERGROUND UTILITIES COMPLETED  
EXISTING UTILITY IMPROVEMENTS



# TALAVI A BUSINESS PARK



## REGIONAL LOCATION



DEVELOPER  
TALAVI DEVELOPMENT, INC.  
1000 N. GILBERT AVENUE, SUITE 100  
PHOENIX, ARIZONA 85012

PLANNER  
TALAVI DEVELOPMENT, INC.  
1000 N. GILBERT AVENUE, SUITE 100  
PHOENIX, ARIZONA 85012

LANDSCAPE ARCHITECT  
TALAVI DEVELOPMENT, INC.  
1000 N. GILBERT AVENUE, SUITE 100  
PHOENIX, ARIZONA 85012

LANDSCAPE ARCHITECT  
TALAVI DEVELOPMENT, INC.  
1000 N. GILBERT AVENUE, SUITE 100  
PHOENIX, ARIZONA 85012

## MASTER LANDSCAPE PLAN

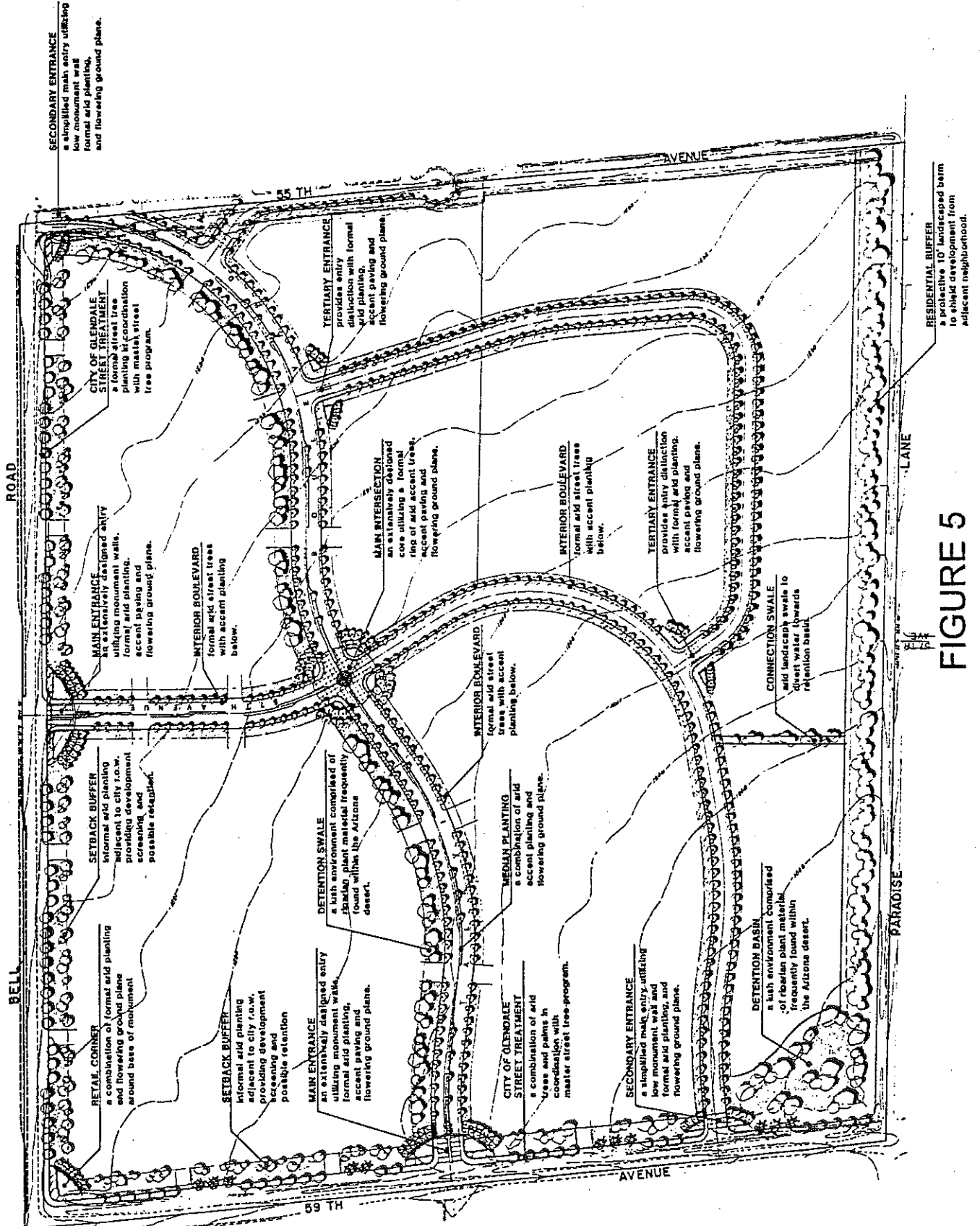
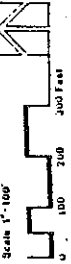
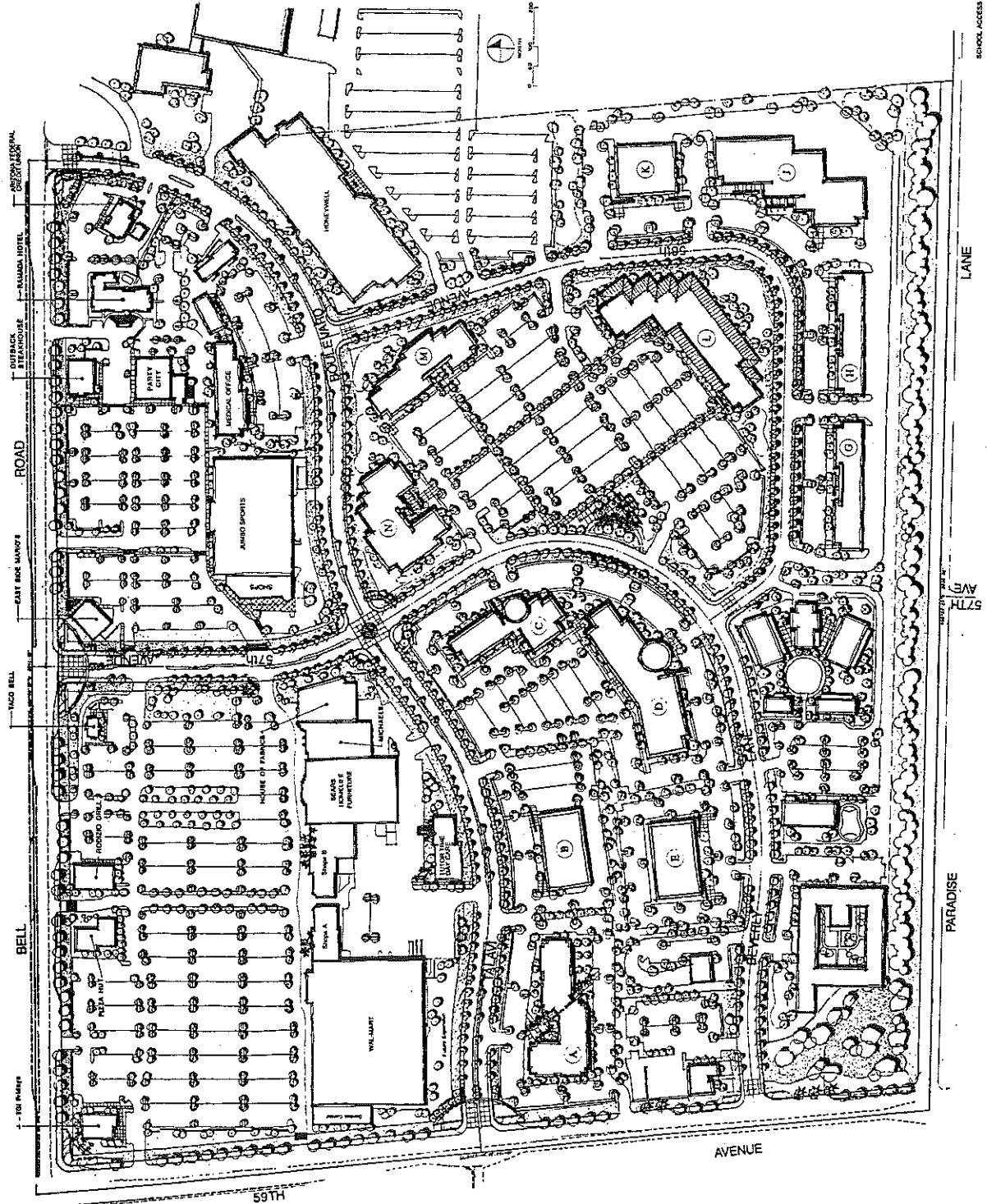


FIGURE 5

MASTER LANDSCAPE PLAN

## **Appendix A**

### **TALAVI MASTER PLAN**





## **Appendix B**

### **GLOSSARY OF TERMS**

**ASSOCIATION.** The association described in the Declaration.

**BUILDING.** The principal structure or structures on any Site, including all projections or extensions thereof, and any ancillary structures and facilities.

**BUILDING FOOTPRINT.** The ground floor area of the Building, not including parking structures.

**COMMON ACCESS EASEMENT.** An easement contained on the Subdivision Plat which provides for common ingress and egress over two adjacent Lots.

**COMMON AREA.** Those areas owned or maintained by the Association for the benefit and use of Owners.

**DECLARATION.** The Declaration of Covenants, Conditions and Restrictions for the Property as Recorded.

**DECLARANT.** The Declarant as provided in the Declaration of Covenants, Conditions and Restrictions for the Property as Recorded and all successors, assigns or designees who shall assume the obligations, and to whom Declarant shall specifically assign in writing some or all of the rights of the Declarant.

**DEVELOPER.** SunCor Development Company, an Arizona corporation, its successors and assigns.

**GUIDELINES.** The written Development Guidelines promulgated by the Developer for the development of property as the same may be modified or supplemented by the Developer or the TARC, from time to time, which set forth the design standards and requirements for the construction and maintenance of Improvements on a Site, which Development Guidelines shall be referred to by Developer and the TARC in determining the acceptability of a particular proposed Improvement and/or the use of a Site.

**IMPROVEMENTS.** Buildings, structures, Signs, Site Furniture, driveways, parking, loading and/or storage areas, fences, sidewalks, other walk and/or bicycle ways, paved areas, curbs, gutters, antennae, tanks, towers, hoppers, storage bins, fixed machinery, transformers, walls, screens and barriers, retaining walls, bridges, drainage structures, stairs, decks, landscaping, water hydrants, poles, grading changes, loading areas and all other structures or improvements of every type and kind, name and nature and all additions, alterations and changes thereto.

LANDSCAPE EASEMENT. Those areas identified on the Subdivision Plat which are within lots but are maintained by the Association. Landscape design will be according to the Master Development Plan.

LANDSCAPE AREAS. Those areas within a Site that are not covered by Buildings, paving, or parking and are not within areas designated as Common Landscape Areas.

LOT. Any parcel of real estate contained within the Property as divided or subdivided on a Subdivision Plat or map Recorded in the Official Records.

OCCUPANTS. Any Person, other than an Owner, and the successors and assigns of any thereof that is in possession of or otherwise occupying one or more Sites, at any particular time or times, whether as lessee, sublessee, licensee pursuant to any lease, sublease, license or other right or occupancy with or through the Owner of such Site or Sites.

OFFICIAL RECORDS. Deed records of the Recorder's Office of Maricopa County, Arizona.

OWNER. At any particular time or times, any Person, including Developer, and the successors and assigns of any thereof that owns title to one or more Sites, as shown by the Official Records; provided, however, that a Beneficiary shall not be deemed to be an Owner so long as its interest in the particular Site or Sites for purpose of security only.

PARKING SETBACK. The minimum distance between a parking area and a Property Line.

PERSON. An individual, group of individuals, corporation, partnership, trust, unincorporated business association or such other legal entity as the context in which such term is used to imply.

PROPERTY. All of the real Property described in the Declaration including such additional real property as may be added from time to time hereinafter provided.

RECORD/RECORDED. With respect to any document, the recordation of said document in the Official Records.

SIGN. Any structure, device or contrivance and all parts thereof which are erected or used for advertising, directional or identification purposes or any poster, bill, bulletin, printing, lettering, painting, device or other advertising of any kind whatsoever, which is placed, posted or otherwise fastened or affixed to the ground and/or structures within the boundaries of the Property.

SITE. A contiguous area of land within the Property which is owned or Recorded by the same Owner, whether or not shown as one lot or whether shown as a combination of lots or portions of lots or as one lot or whether shown as a combination of contiguous lots or portions of contiguous lots.

SITE FURNITURE. Any man-made or natural object used on the Site for decorative or incidental purposes (including flagpoles, fountains, statues, benches, tables and decorative walls) which is not a Building, Sign, parking structure, covered parking, parking area, driveway or landscaping. Any Site Furniture requires TARC approval prior to installation.

STREET. Any public or private thoroughfare within the Property.

SUBDIVISION PLAT. That certain plat of subdivision for the Property.

TARC. Talavi Architectural Review Committee.

## **Appendix C**

### **DEVELOPMENT APPROVAL APPLICATIONS**

TALAVI COMMERCIAL  
DEVELOPMENT APPROVAL APPLICATION

Owner: \_\_\_\_\_

Telephone: \_\_\_\_\_

Address: \_\_\_\_\_

Talavi Towne Centre I or II (circle one)

Lot Number: \_\_\_\_\_

Architect: \_\_\_\_\_

Telephone: \_\_\_\_\_

Address: \_\_\_\_\_

Preliminary  
Submittal

Date: \_\_\_\_\_

Final  
Submittal

Date: \_\_\_\_\_

Submittal Fee  
(\$500): \_\_\_\_\_

Site

Plan(s): \_\_\_\_\_

Engineering

Information: \_\_\_\_\_

Architectural

Plan(s): \_\_\_\_\_

Landscape

Plan: \_\_\_\_\_

Signage

Plan: \_\_\_\_\_

TALAVI BUSINESS PARK  
DEVELOPMENT APPROVAL APPLICATION

Owner: \_\_\_\_\_

Telephone: \_\_\_\_\_

Address: \_\_\_\_\_

Talavi Business Park

Lot Number: \_\_\_\_\_

Architect: \_\_\_\_\_

Telephone: \_\_\_\_\_

Address: \_\_\_\_\_

Preliminary

Submittal

Date: \_\_\_\_\_

Final

Submittal

Date: \_\_\_\_\_

Submittal Fee

(\$1000): \_\_\_\_\_

Site

Plan(s): \_\_\_\_\_

Engineering

Information: \_\_\_\_\_

Architectural

Plan(s): \_\_\_\_\_

Landscape

Plan: \_\_\_\_\_

Signage

Plan: \_\_\_\_\_

## **Appendix D**

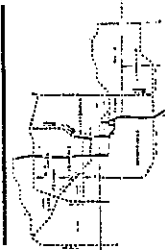
### **BUILDING HEIGHT ALLOWANCES**

**TALAVI**  
A BUSINESS PARK

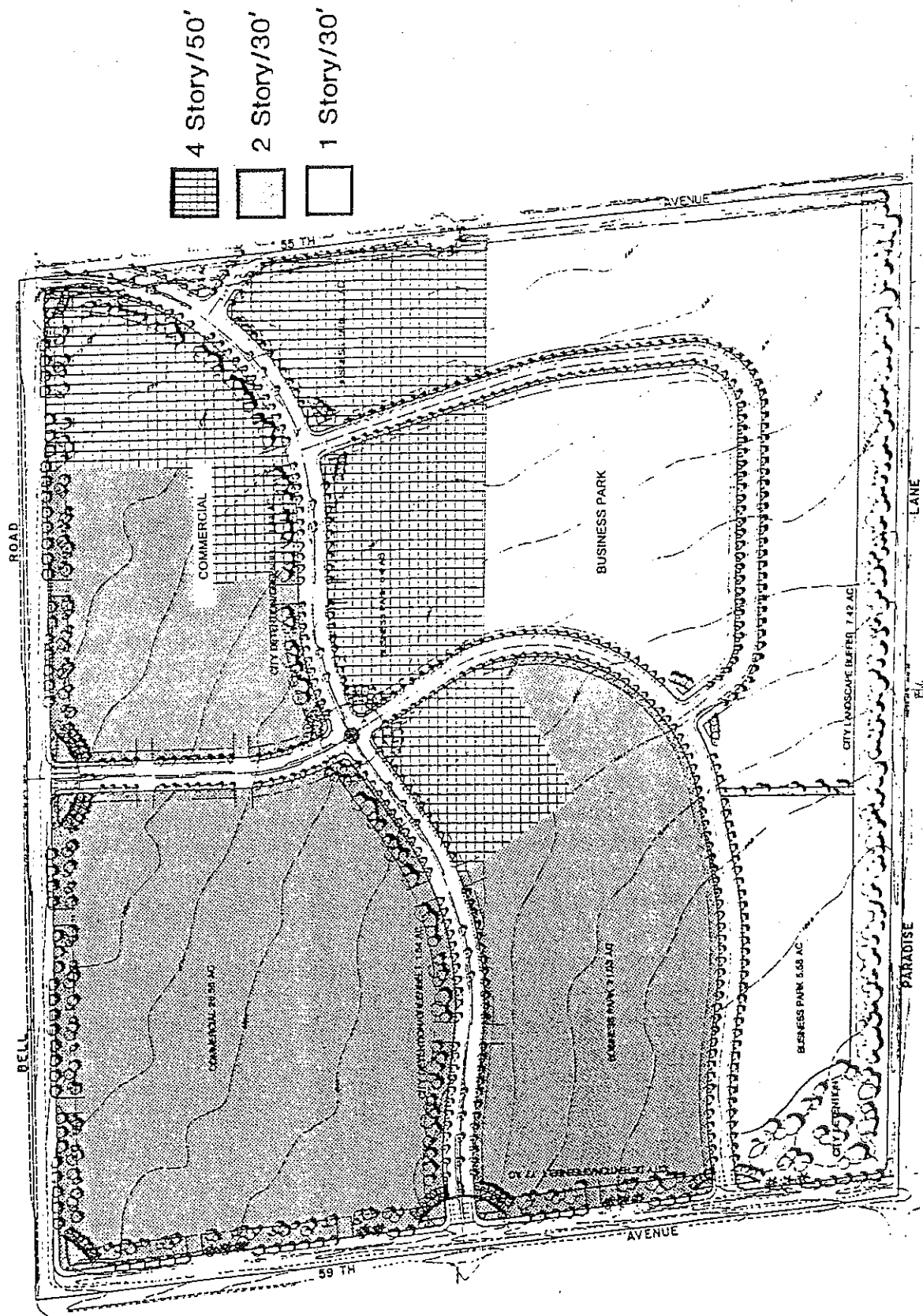
### Community Map



PAUL V. DILLON, JR.

[illegible]

5.  $1^{\circ} - 10^{\circ}$





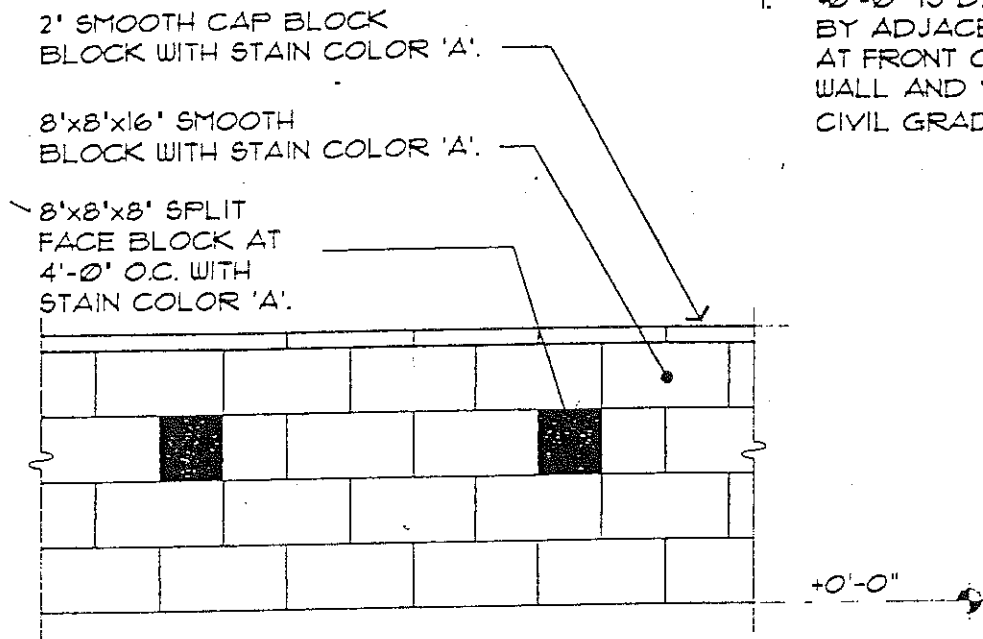
**Appendix E**

**PERIMETER/PARKING SCREEN WALL DESIGN**

## PERIMETER/PARKING SCREEN WALL DESIGN

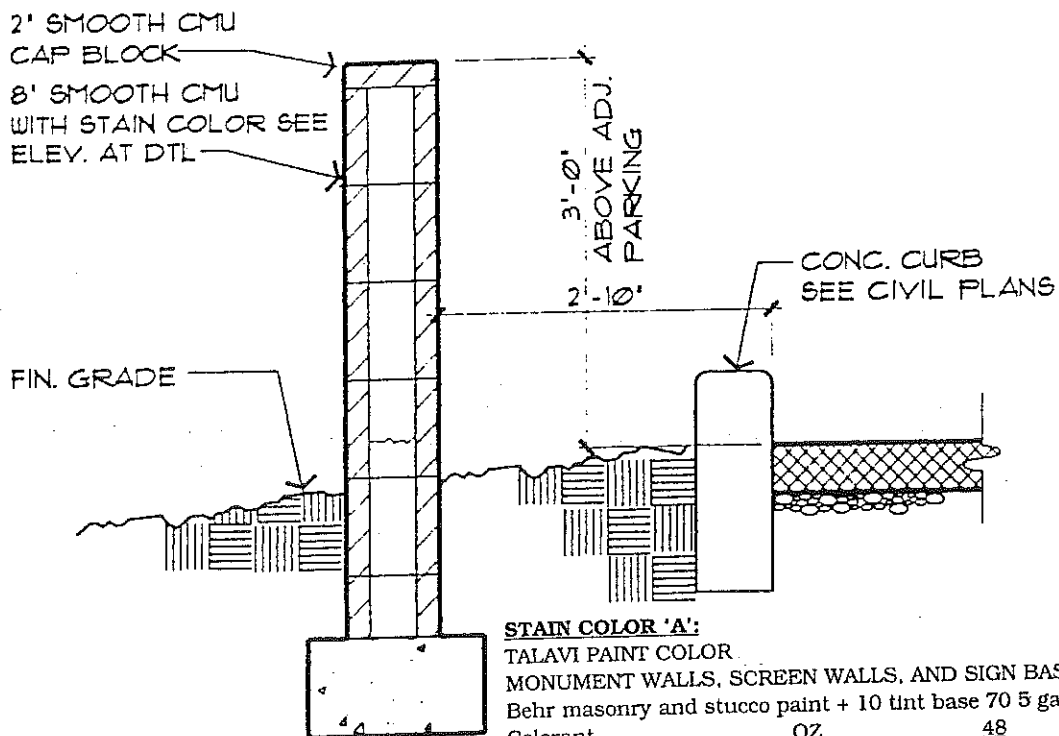
### NOTES:

1.  $\pm 0'-0"$  IS DETERMINED BY ADJACENT PARKING AT FRONT OF SCREEN WALL AND VARIES- SEE CIVIL GRADING PLAN



## SCREEN WALL ELEVATION

SCALE: 1/2" = 1'-0"



Colorant	OZ	48	96
B LAMP BLACK	0	20	0
C YELLOW OXIDE	2	1	0
F RED OXIDE	0	20	0

## C.M.U. SCREEN WALL

SCALE: 3/4" = 1'-0"

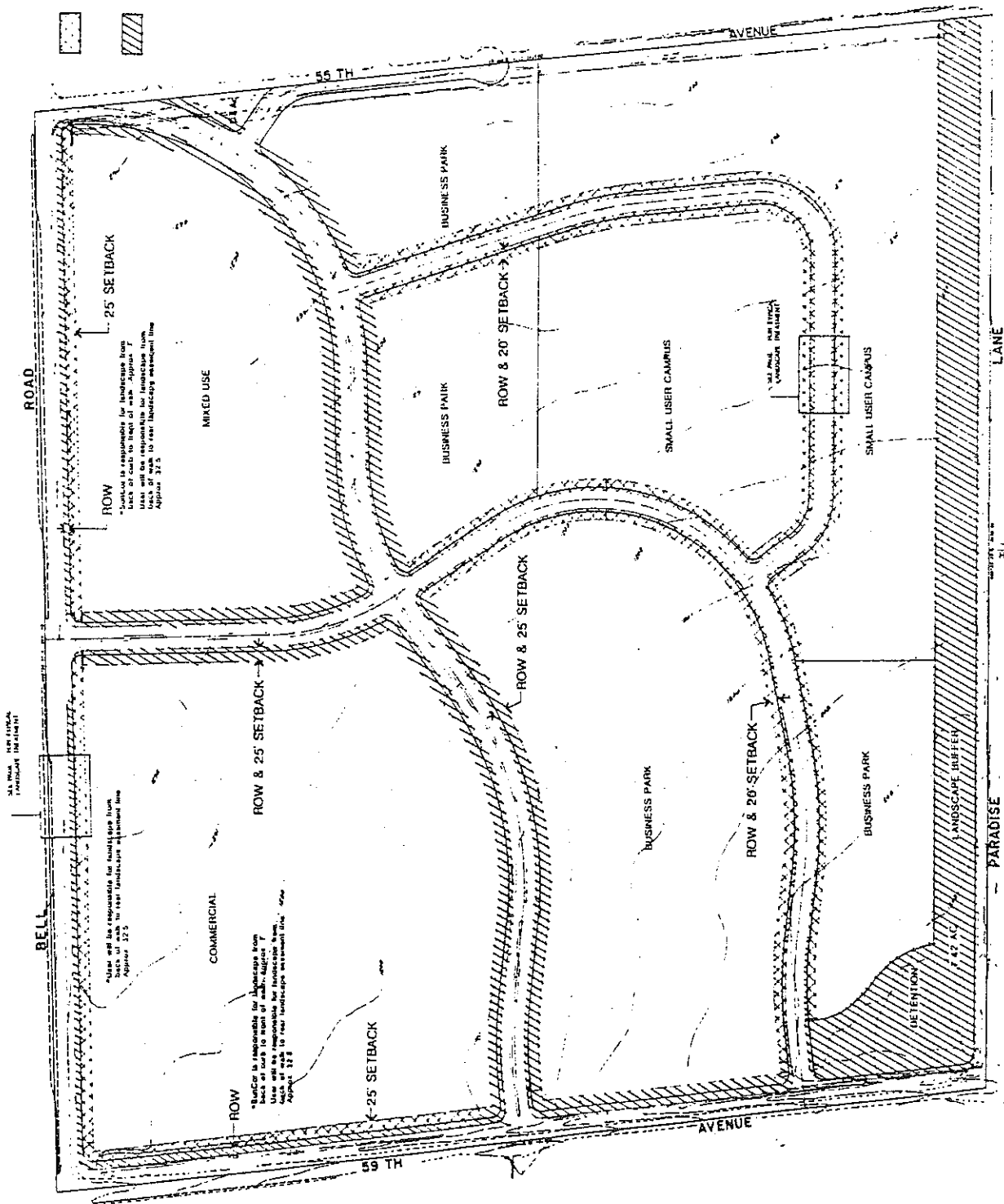
**Appendix F**

LANDSCAPE EXHIBITS A THROUGH D



# TALAVI

LANDSCAPE RESPONSIBILITY



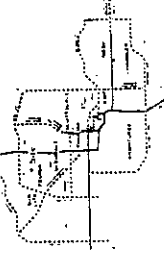
Landscaping Responsibility By User  
See Note

Landscaping Responsibility By SunCor

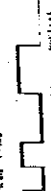
VICINITY MAP

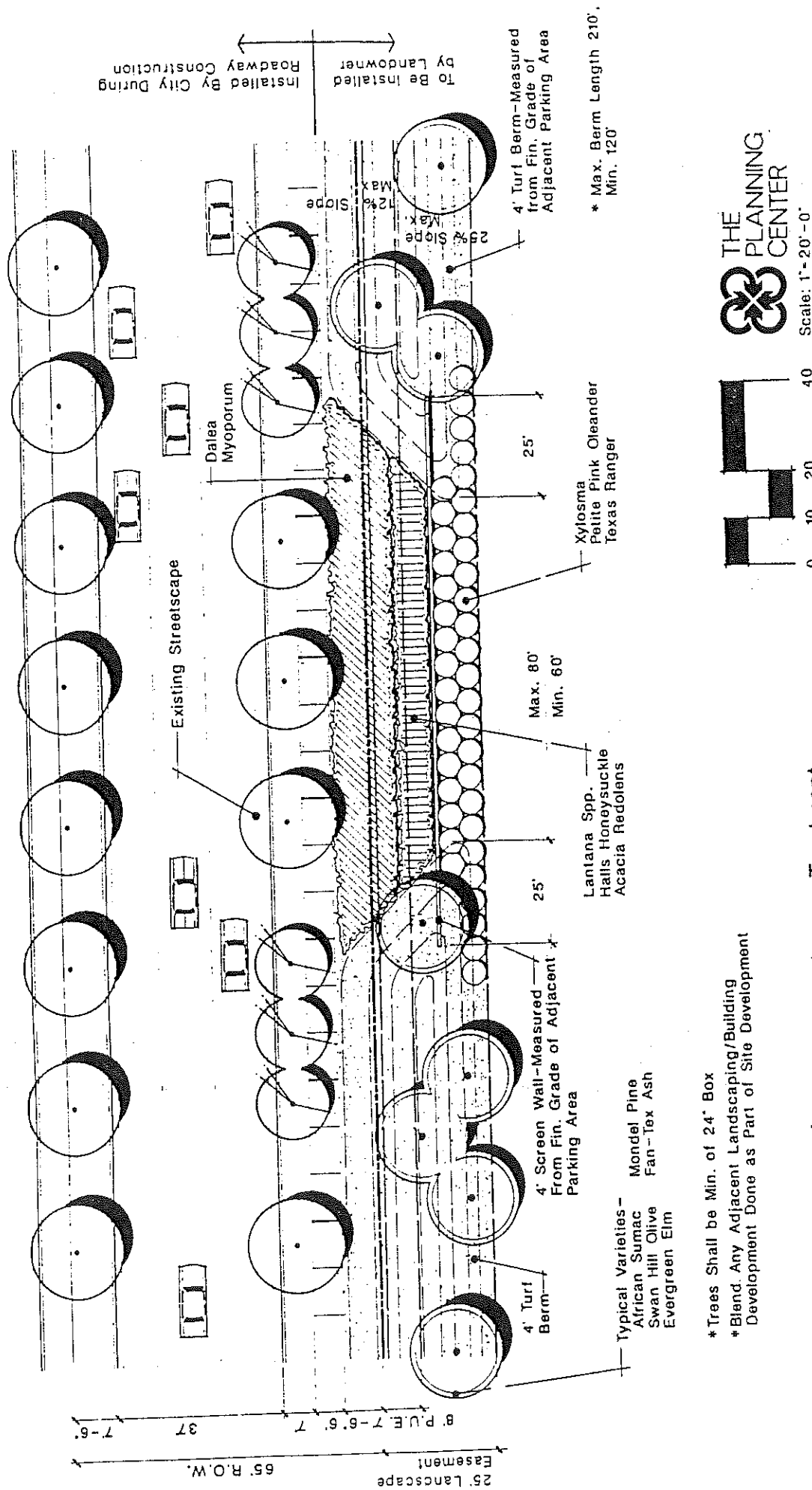


UTAHN HIGHWAY



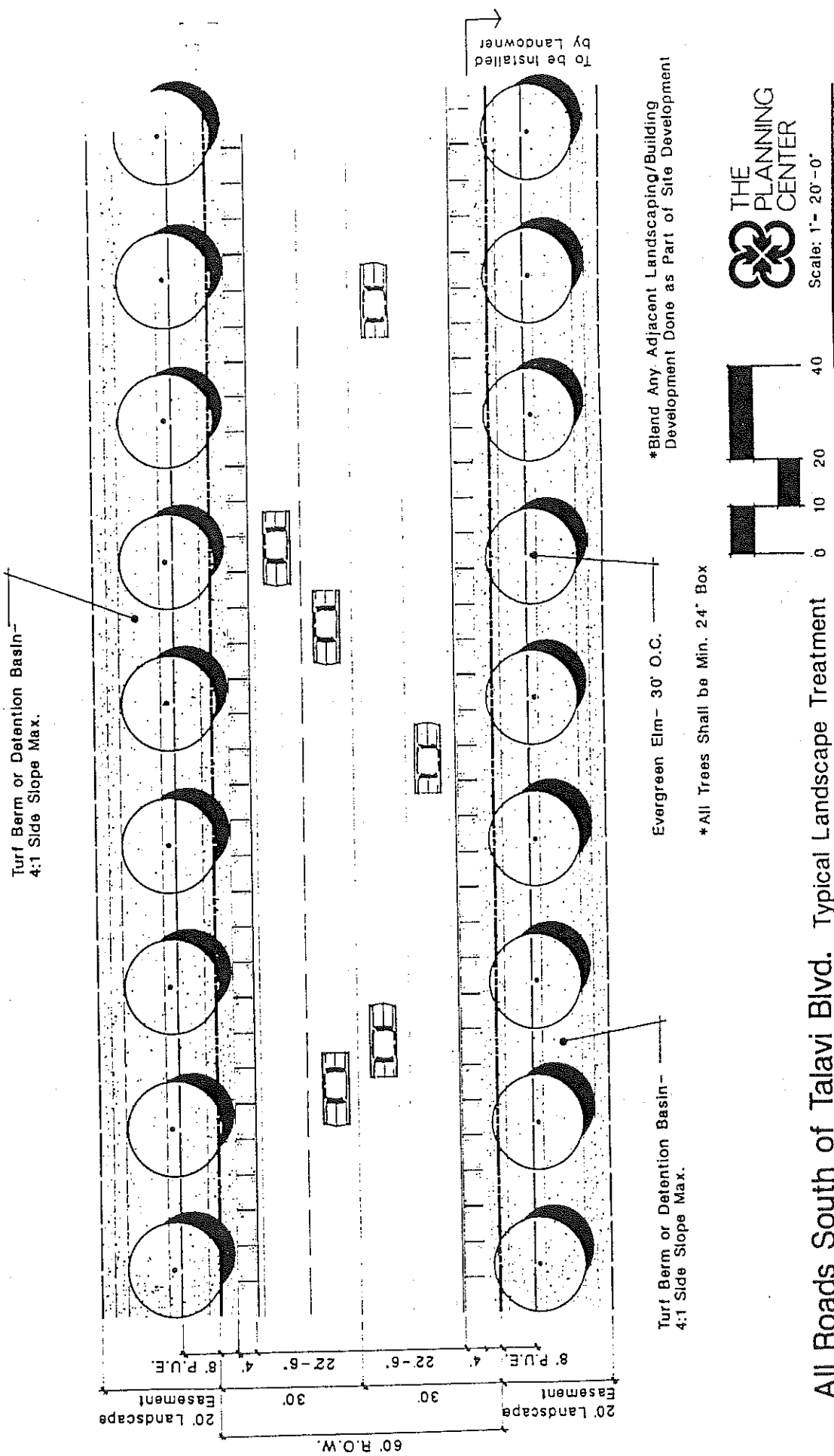
IN WELDER  
SUNCOR DEVELOPMENT COMPANY, INC.  
PLANNING, DESIGN & CONSTRUCTION  
LINE 1: TRAFFIC ENGINEER  
LINE 2: TRAFFIC ENGINEER  
LINE 3: TRAFFIC ENGINEER  
LINE 4: TRAFFIC ENGINEER  
LINE 5: TRAFFIC ENGINEER  
LINE 6: TRAFFIC ENGINEER  
LINE 7: TRAFFIC ENGINEER  
LINE 8: TRAFFIC ENGINEER  
LINE 9: TRAFFIC ENGINEER  
LINE 10: TRAFFIC ENGINEER  
LINE 11: TRAFFIC ENGINEER  
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LINE 21: TRAFFIC ENGINEER  
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LINE 99: TRAFFIC ENGINEER  
LINE 100: TRAFFIC ENGINEER





# 59th Ave. & Bell Road Typical Landscape Treatment

To Be Installed By Adjacent Landowner



All Roads South of Talavi Blvd. Typical Landscape Treatment  
To Be Installed By Landowner

R.O.W. and Common Landscape Easement

Trees 30' on Center Minimum Spacing

5' Minimum Between  
Parking and Wall  
6' Minimum Screen  
Wall Around Refuse

Additional Landscape  
Adjacent to Loading  
Dock

6' Minimum Screen  
Wall and Gate

Trees Screening  
30' on Center

Covered Parking

Landscaping Adjacent  
to Structure

Landscaping Adjacent to Side and  
Rear Yards at Building Face

Loading  
Doors

Storage  
Yard

3' Wall and or Berm

120' Maximum  
Parking

6' Screen Wall Typical

Typical Parcel Development

EXHIBIT D

## Appendix G

### APPROVED PLANT LIST

The following approved plant list is composed of plant materials that have low water requirements and are compatible with desert landscaping themes.

Plant materials that have higher water usage, such as grass, shall be used in carefully designed Common Areas to achieve a formal effect. It is the intent of the Guidelines that the individual site utilize an informal desert landscape theme.

Plant material not on the list will be considered by the TARC on the case-by-case basis. Consultation with a professional landscape architect/designer is encouraged to determine the appropriateness and suitability of the listed plant materials for any specific site or Building.

#### TREES

<u>Scientific Name</u>	<u>Common Name</u>
Acacia saligna	Willow Acacia
Acacia shaffneri	Shaffneri Acacia
Acacia smallii*	Sweet Acacia
Albizia julibrissin	Mimosa, Silk Tree
Cercidium floridum	Blue Palo Verde
Cercidium praecox	Sonoran Palo Verde
Chilopsis linearis	Desert Willow
Eucalyptus microtheca	Coolibah Tree
Eucalyptus spathulata	Narrow-leaf Gimlet
Gleditsia triacanthos inermis	Honey Locust
Jacaranda mimosifolia	Jacaranda
Lysiloma thornberi	Desert Fern, Feather bush
Olneya tesota	Ironwood, Desert Ironwood
Pithecellobium flexicaule	Texas Ebony
Pittosporum phillyraeoides	Willow Pittosporum
Platanus wrightii	Arizona Sycamore
Prosopis alba	Argentine Mesquite
Prosopis grandulosa "Torreyana"	Chilean Mesquite
Prosopis "South American Hybrid"	South American Hybrid Mesquite
Pyrus kawakamii*	Evergreen Pear
Rhus lancea	African Sumac
Ulmus parvifolia	Chinese Elm
Vitex agnus-castus	Monks Pepper, Chaste Tree

\*These trees are not to be used in parking areas.



## SHRUBS

<u>Scientific Name</u>	<u>Common Name</u>
Acacia redolens	Trailing Acacia
Caesalpinia gilliesii	Yellow Bird of Paradise
Caesalpinia pulcherrima	Red Bird of Paradise
Calliandra eriophylla	Fairy Duster
Cassia nemophylla	Green Cassia
Cassia wislizeni	Shrubby Senna
Dodonaea viscosa	Hopseed Bush
Encelia farinosa	Brittlebush
Justicia brandegeana	Shrimp Plant
Justicia ghiesbreghtiana	Mexican Honeysuckle
Lantana camara "Radiation"	Bush Lantana
Larrea tridentata	Creosote Bush
Leucophyllum frutescens	Texas Sage Cultivar, Texas Ranger
Nerium oleander	Oleander Standard
Nerium oleander "Salmon Pink"	Dwarf Oleander
Plumbago auriculata	Cape Plumbago
Rosmarinus officinalis	Rosemary
Ruellia peninsularis	Ruellia
Salvia species	Salvia
Simmondsia chinensis	Jojoba
Sophora secundiflora	Mescal Bean
Tecoma stans	Yellow Bells
Vauquelinia californica	Arizona Rosewood

## GROUND COVER

<u>Scientific Name</u>	<u>Common Name</u>
Asparagus densiflorus	Asparagus Fern
Lantana montevidensis	Trailing Lantana
Myoporum parvifolium	Myoporum*
Oenothera berlandieri	Mexican Primrose
Osteospermum fruticosum	Trailing African Daisy
Santolina species	Santolina
Trachelospermum species	Trailing Jasmine
Verbena species	Trailing Verbena
Vinca major	Periwinkle

\*Existing only.

## VINES

<u>Scientific Name</u>	<u>Common Name</u>
Antigonon leptopus	Queen's Wreath
Bougainvillea species	Bougainvillea
Ficus pumila	Climbing Fig, Creeping Fig
Gelsemium sempervirens	Carolina Jasmine
Lonicera japonica "Halliana"	Hall's Honeysuckle
Macfadyena unguis-cati	Cat's Claw
Rosa banksiae	Lady Bank Rose

## SPECIALTY PLANTS

<u>Scientific Name</u>	<u>Common Name</u>
Agave species	Agave
Aloe species	Aloe
Carnegiea gigantea	Saguaro
Dasyllirion wheeleri	Desert Spoon
Echinocereus endlemanni	Hedge Hog
Ferocactus wislizenii	Barrell Cholla
Fouquieria splendens	Ocotillo
Hesperaloe parviflora	Red Yucca
Opuntia species	Prickly Pear
Yucca species	Yucca

## **Appendix H**

### **COMPREHENSIVE SIGNAGE PLAN**

# COMPREHENSIVE SIGN PLAN

## TALAVI BUSINESS PARK

### I. INTRODUCTION

The intent of the sign criteria is to establish and maintain a continuity of quality and aesthetics throughout the Talavi Business Park for the mutual benefit of all building Owners and Occupants and to comply with the regulations of the Talavi Architectural Review Committee ("TARC") and the City of Glendale.

Sign criteria for Talavi Towne Centre I and Talavi Towne Centre II (developments north of Talavi Boulevard) has previously been established in separate sign criteria prepared by Leo A. Daly and P/D Architects. These criteria has previously been submitted and approved by the City of Glendale.

### II. GENERAL

- A. Talavi Architectural Review Committee ("TARC") and the City of Glendale shall have the right to approve all signs in writing prior to their installation.
- B. All signs shall be located in general conformance with the Sign Placement Plan. **(Exhibit 1)**
- C. Owners/Occupants, at their sole cost, may identify their premises with building mounted signage as described in Section III.
- D. Owners/Occupants may identify their premises on a freestanding building tenant identification sign located along the street frontage on which their building faces as described in Section IV.
- E. Three (3) corner center identification monument walls shall be provided to create a sense of entry to Talavi Business Park. The corner center identification monument walls are located on each of the corners at 59<sup>th</sup> Avenue and Talavi Boulevard and a future monument is planned for the corner of Bell Road and Talavi Boulevard. Corner center identification monument walls shall be made up of a combination of Rosa flagstone, painted stucco, and individual letters, which read *Talavi Business Park*. *Talavi* letters shall be twenty-four (24) inch, individual, reverse pan channel copper letters with patina finish, stud mounted, halo lit. *Business Park* letters shall be twelve (12) inches, individual, non-illuminated, reverse pan channel letters, made from 22 gauge metal, painted black, and stud mounted. **(Exhibit 2)**

## Exhibit 1—SIGN PLACEMENT PLAN



**TALAVI**  
BUSINESS PARK



# PROJECT DATA

BUILDING AREA	BUILDING HEIGHT	PARKING SPACES
12,000 S.F.	1 STORY	66 : 1000
25,000 S.F.	1 STORY	48 : 1000
40,000 S.F.	1 STORY	45 : 1000
40,000 S.F.	1 STORY	45 : 1000
38,000 S.F.	1 STORY	50 : 1000
38,000 S.F.	1 STORY	50 : 1000
22,000 S.F.	1 STORY	50 : 1000
22,000 S.F.	1 STORY	50 : 1000
22,000 S.F.	1 STORY	60 : 1000
22,000 S.F.	1 STORY	50 : 1000
85,000 S.F.	1 STORY	50 : 1000
60,000 S.F.	2 STORY	47 : 1000
70,000 S.F.	2 STORY	47 : 1000

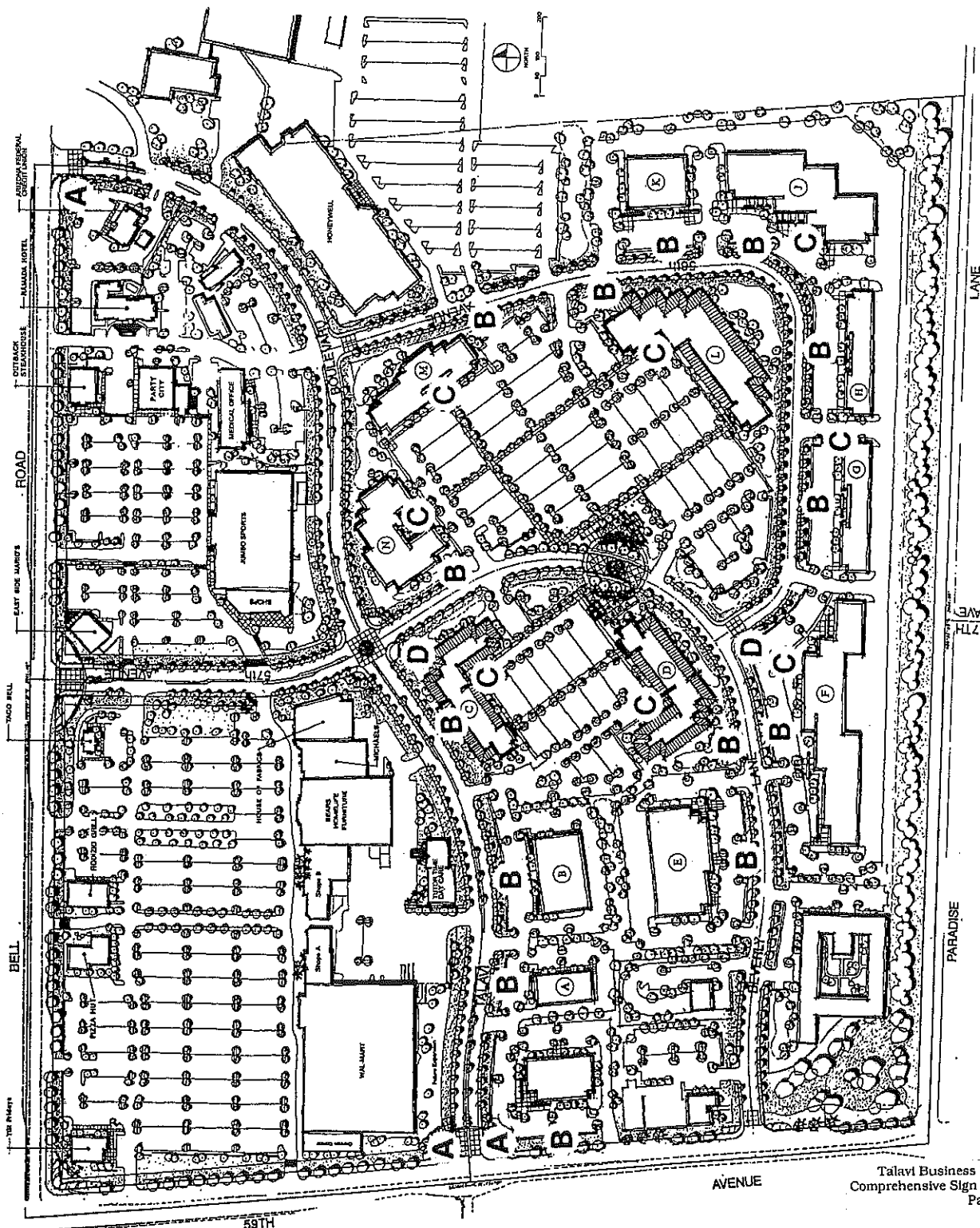
# VICINITY MAP



# REGIONAL LOCATION



Butler Design Group  
Architects & Planners



59TH AVE

PARADISE

LANE

SCHOOL ACCESS

- A** CORNER CENTER IDENTIFICATION MONUMENT WALLS
- B** FREESTANDING BUILDING TENANT IDENTIFICATION SIGNS
- C** EXTERIOR BUILDING DIRECTORY SIGNS
- D** SITE PLAN DIRECTORY SIGNS

# SIGN PLACEMENT PLAN Exhibit 1

## **Exhibit 2—CORNER CENTER IDENTIFICATION MONUMENT WALLS**

EXISTING LETTERS & LOGO



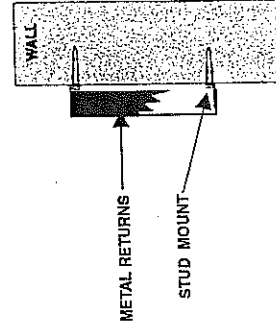
TALAVI  
BUSINESS PARK

4'-6"

( 12" x 14'-0" )

FABRICATE NEW REVERSE PAN NON-ILLUMINATED LETTERS  
(ONLY) "BUSINESS PARK" 22 GA PAINTLOCK SHEET METAL WITH  
3/4" RETURNS. PAINTED MATTHEWS SATIN BLACK STUD MOUNTED  
FLUSH TO FACIA.

REVERSE PAN CHANNEL LETTERS  
STUD MOUNTED NON-ILLUMINATED  
SIDE VIEW



## CORNER CENTER IDENTIFICATION MONUMENT WALLS EXHIBIT 2

FILE NAME: SUN-TAL6

DATE

X APPROVED BY

THIS CUSTOM DESIGN SUBMITTED FOR YOUR PERSONAL USE  
IS THE EXCLUSIVE PROPERTY OF BOOTZ & DUKE SIGN CO. OF  
PHOENIX, ARIZONA. IT MAY NOT BE REPRODUCED, COPIED, OR  
EXHIBITED IN ANY FASHION TO ANYONE OUTSIDE OF YOUR  
ORGANIZATION WITHOUT THE WRITTEN PERMISSION OF AN  
AUTHORIZED OFFICIAL OF BOOTZ & DUKE SIGN CO.

CUSTOMER	SUNCOR "TALAVI"
SALESMAN	BRENT VANDEMAN
DESIGNER	B.W.
DATE	1-21-1998
SCALE	3/16"=1'

**BOOTZ & DUKE Signs**  
4028 W. WHITTON PHOENIX, AZ. 85019  
272-9356 FAX 272-4608



## Exhibit 3—BUILDING MOUNTED SIGNAGE

## F. Submittal and Compliance

1. Each Owner/Occupant shall submit or cause to be submitted to TARC for review and approval, prior to submitting for permits or manufacturing, two (2) sets of detailed shop drawings of proposed signage indicating the location, size, design, color, materials, lettering, graphics, conduits, junctions boxes, sleeves and other mounting apparatus.

Submit drawings to: Talavi Architectural Review Committee  
c/o SunCor Development Company  
3838 N. Central Avenue, Suite 1500  
Phoenix, AZ 85012  
Attention: Tricia DeVito  
Phone: (602) 285-6849  
Fax: (602) 285-6801

2. Signs installed without written approval of the TARC or inconsistent with approved drawings may be subject to removal and proper installation at Owner's/Occupant's expense.
3. Owner/Occupant and his sign contractor shall repair any damage caused during installation of signage.
4. Owner/Occupant shall be responsible for obtaining all sign permits from the City of Glendale prior to installation of signage.
5. No flashing, animated, blinking, rotating, moving, audible, or portable signs, posters, banners, or flags shall be permitted.
6. No window signs are permitted without the written approval of TARC.

## III. BUILDING MOUNTED SIGNAGE

### A. Single-Tenant Building. (Exhibit 3)

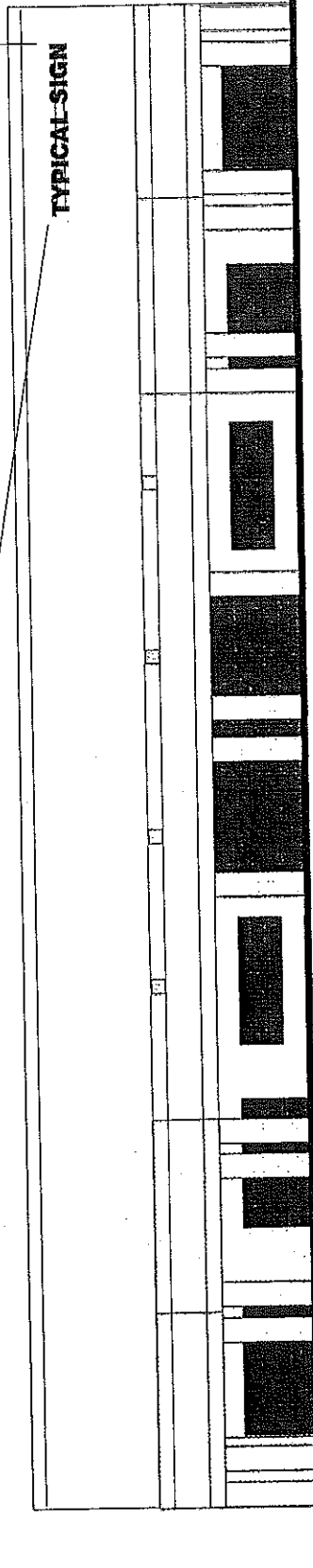
1. Owner/Occupant shall be permitted one (1) square foot of sign area for each lineal foot of the exterior building elevation along the street frontage on which the sign is displayed.
2. Owner/Occupant shall be permitted, sign area of one-half (1/2) square foot for each lineal foot of exterior building elevation where the sign is displayed on two (2) additional elevations.
3. Maximum aggregate sign area for each Owner/Occupant is two hundred (200) square feet.

# TYPICAL SIGN

30'-10"

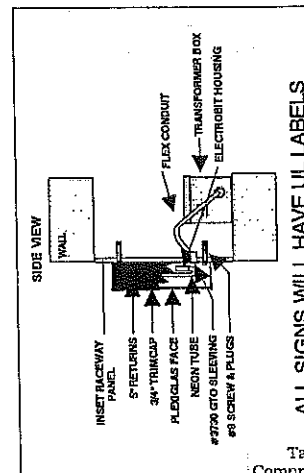
39"

TYPICAL SIGN



NOTE: MAXIMUM SIGNAGE  
AREA TO BE 200 SQ. FEET.  
MAXIMUM SIGN HEIGHT TO  
BE 48".

SPECIFICATIONS FOR SINGLE TENANT BUILDINGS:  
ALL BUILDING SIGNAGE TO BE PAN CHANNEL ILLUMINATED  
LETTERS ATTACHED TO AN INSET BUILDING MOUNTED RACEWAY  
SYSTEM. LETTERS, STYLES, FACE COLORS, AND LOGOS SHALL  
BE OWNER / OCCUPANT'S CHOICE FOR NATIONAL FIRMS.  
LETTERS ARE TO HAVE A 1" BLACK TRIMCAP AND 5" SATIN BLACK  
RETURNS. RACEWAY TO BE PAINTED TO MATCH THE BUILDING  
FASCIA.  
NEON - 12MM #6500 WHITE.



ALL SIGNS WILL HAVE UL LABELS

## BUILDING MOUNTED SIGNAGE (MULTI-STORY BUILDING) EXHIBIT 3

FILE NAME: SUN-TA11

DATE

X APPROVED BY

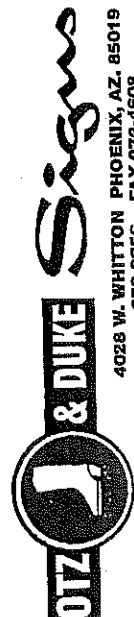
THIS CUSTOM DESIGN SUBMITTED FOR YOUR PERSONAL USE  
IS THE EXCLUSIVE PROPERTY OF BOOTZ & DUKE SIGN CO. OF  
PHOENIX, ARIZONA. IT MAY NOT BE REPRODUCED, COPIED, OR  
EXHIBITED IN ANY FASHION TO ANYONE OUTSIDE OF YOUR  
ORGANIZATION WITHOUT THE WRITTEN PERMISSION OF AN  
AUTHORIZED OFFICIAL OF BOOTZ & DUKE SIGN CO.

CUSTOMER SUNCOR

SALESMAN BRENT VANDEMAN

DESIGNER B.W.

DATE 1-22-1998 SCALE 1/4"=1'



4028 W. WHITTON PHOENIX, AZ. 85019  
272-9356 FAX 272-4608

4. Owner/Occupant shall be allowed only one line of copy.
5. Minimum letter height for single line of copy: 18 inches  
Maximum letter height for single line of copy: 48 inches
6. All building mounted signage shall be pan channel illuminated letters attached to an inset building mounted raceway system. However, if building is constructed with concrete tilt-up panels, exposed raceways will be permitted. Raceway to be painted and or textured to match the building fascia. Letter styles, face colors and logos shall be Owner/Occupants choice when Owner/Occupant is a national firm so that they may be consistent with any corporate standards. All letters shall have 1" black trim cap and 5" returns painted black satin. Final approval will be at the sole discretion of the TARC and the City of Glendale.
7. Logos may be allowed and may be fabricated as an individual can sign. The area must be calculated as part of the total square footage allowed per building elevation. No cabinet signs may be substituted for individual letters.
8. All building mounted signage shall be placed on the building elevation as generally depicted on Exhibit 3. Locations must also be approved by TARC.
9. Address numbers shall also be permitted; however, the area of these numerals shall not be included in calculating the allowed sign area. Address numbers shall be individual, non-illuminated, reverse pan channel, 22 gauge metal letters, stud mounted, painted black satin.

**B. Multi-Tenant-Building. (Exhibit 4)**

1. Owners/Occupants occupying a multi-tenant building shall be permitted (1) square foot of sign area for each lineal foot of their leased frontage of the exterior building elevation where the sign is displayed. In no case shall sign exceed 80% of the leased frontage in overall length.
2. Owner/Occupant shall be allowed only one line of copy.
3. Minimum letter height for single line of copy: 18 inches  
Maximum letter height for single line of copy: 48 inches
4. All building mounted signage shall be non-illuminated, reverse pan channel letters attached to an inset building mounted raceway system. However, if building is constructed with concrete tilt-up panels, exposed raceways will be permitted. Raceway to be painted and/or textured to match the building fascia. All letters shall have 2"

returns and painted satin black. Final approval will be at the sole discretion of the TARC and the City of Glendale.

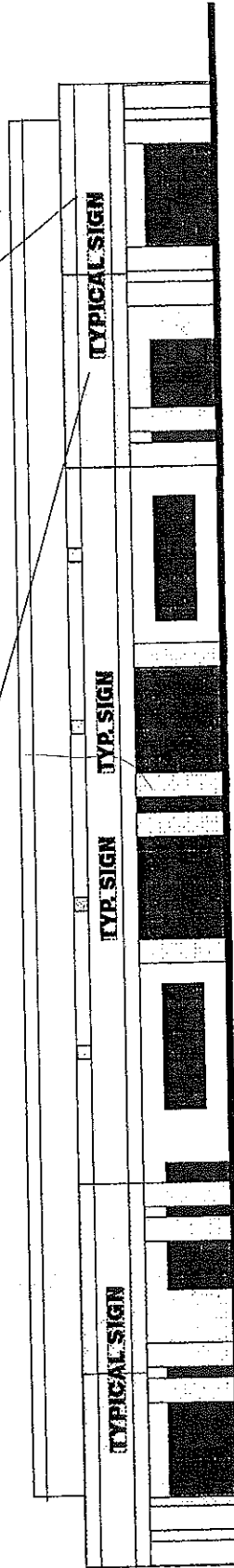
5. No logos shall be permitted on multi-tenant buildings.
6. All building mounted signage shall be placed on the building elevation as generally depicted on Exhibit 4. Locations must also be approved by TARC and the City of Glendale.
7. Address numbers shall also be permitted; however, the area of these numerals shall not be included in calculating the allowed sign area. Address numbers shall be individual, non-illuminated, reverse pan channel, 22 gauge metal letters, stud mounted, painted satin black.

## Exhibit 4—MULTI-TENANT BUILDING

# TYPICAL SIGN

20'

2"



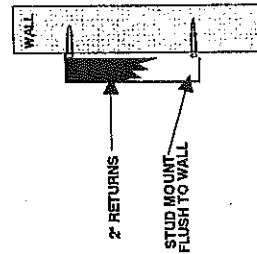
NOTE: MAXIMUM SIGNAGE  
AREA TO BE 2' X 20'.

SPECIFICATIONS FOR MULTI TENANT BUILDINGS:  
ALL BUILDING SIGNAGE TO BE NON-ILLUMINATED METAL LETTERS.  
LETTERS TO HAVE 2" RETURNS PAINTED SATIN BLACK

"LETTERS TO BE STUD MOUNTED FLUSH TO BUILDING"

## BUILDING MOUNTED SIGNAGE (SINGLE-STORY BUILDING) EXHIBIT 4

REVERSE PAN CHANNEL LETTERS  
SIDE VIEW



FILE NAME: SUN-TAL8

DATE

X  
APPROVED BY

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IS THE EXCLUSIVE PROPERTY OF BOOTZ & DUKE SIGN CO. OF  
PHOENIX, ARIZONA. IT MAY NOT BE REPRODUCED, COPIED, OR  
EXHIBITED IN ANY FASHION TO ANYONE OUTSIDE OF YOUR  
ORGANIZATION WITHOUT THE WRITTEN PERMISSION OF AN  
AUTHORIZED OFFICIAL OF BOOTZ & DUKE SIGN CO.

CUSTOMER SUNCOR

SALESMAN BRENT VANDEMAN

DESIGNER B.W.

DATE 1-22-1998 SCALE 1/4"=1'

**BOOTZ & DUKE Signs**  
4028 W. WHITTON PHOENIX, AZ. 85019  
272-9356 FAX 272-4608

#### IV. FREESTANDING BUILDING TENANT IDENTIFICATION SIGNS (Exhibit 5)

- A. There may be one (1) freestanding building tenant identification sign per building, except on parcels with multiple street frontages there shall be one (1) sign permitted for each street if the frontage adjacent to the building is at least three hundred thirty (330) feet. TARC, at its sole discretion, may limit one (1) freestanding building tenant identification sign per building.
- B. Each freestanding building tenant identification sign shall identify a maximum of three (3) major Occupants.
- C. Each freestanding building tenant identification sign shall be double-faced.
- D. The freestanding building tenant identification sign shall not exceed a height of six (6) feet.
- E. The maximum sign area for each freestanding building tenant identification sign is twenty-four (24) square feet not including base and area for address numbers.
- F. The freestanding building tenant identification sign must include the number of the street address. The minimum height of the numerals shall be six (6) inches and the maximum height shall be twelve (12) inches. The area of these numerals shall not be included in calculating the allowed sign area. Address numbers shall be individual, non-illuminated, reverse pan channel, copper letters with patina finish, and stud mounted.
- G. Freestanding building tenant identification signs shall be double-faced illuminated directory sign with .090 aluminum tenant panels painted stucco panels and cabinet. Copy to be routed out and backed up with 1/8" day/night plex that appears black opaque during the day and white translucent at night. Panels to be internally stud mounted.
- H. The sign base shall have an aggregate width of one hundred (100) percent of the width of the sign, a maximum depth of twelve (12) inches, and a height of two (2) feet. Base shall be constructed with 12" x 12" Rosa flagstone (dry stack all joints), a copper reveal with patina finish, and a copper Talavi logo with patina finish. All sign bases shall match the base detail common to Talavi Business Park.
- I. Freestanding building tenant identification signs shall be set back from the front property line and shall be contained within a planting area which may consist of turf or selected ground cover. Signs may not be placed in the right of way.



J. Freestanding building tenant identification signs shall be located so as not to obstruct sight distance and/or visibility required for traffic safety.

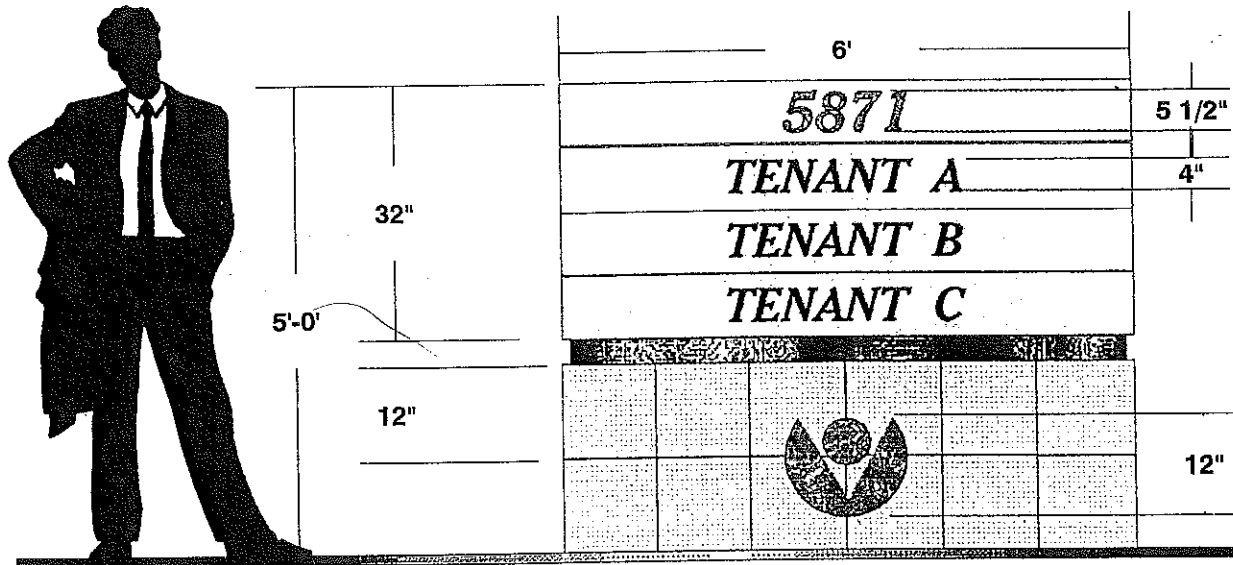
## **Exhibit 5—FREESTANDING BUILDING TENANT IDENTIFICATION SIGNS**

# BUILDING TENANT IDENTIFICATION SIGN

DOUBLE FACED ILLUMINATED DIRECTORY SIGN  
(CABINET)  
.090 ALUMINUM TENANT PANELS  
PAINTED STUCCO PANELS & CABINET  
COPY TO BE ROUTED OUT & BACKED UP WITH  
1/8" DAY / NIGHT PLEX WHICH APPEARS BLACK OPAQUE  
DURING THE DAY AND WHITE TRANSLUCENT AT NIGHT  
PANELS TO BE INTERNALLY STUD MOUNTED

(LOGO)  
.032 COPPER WITH PATINA FINISH  
3/4" RETURN DEPTH  
(REVEAL)  
.032 COPPER WITH PATINA FINISH

BASE TO BE FLAGSTONE TILES 12" x 12" (DRystack ALL JOINTS)



## FREESTANDING BUILDING TENANT IDENTIFICATION SIGNS EXHIBIT 5

X

DATE

APPROVED BY

THIS CUSTOM DESIGN SUBMITTED FOR YOUR PERSONAL USE  
IS THE EXCLUSIVE PROPERTY OF BOOTZ & DUKE SIGN CO. OF  
PHOENIX, ARIZONA. IT MAY NOT BE REPRODUCED, COPIED, OR  
EXHIBITED IN ANY FASHION TO ANYONE OUTSIDE OF YOUR  
ORGANIZATION WITHOUT THE WRITTEN PERMISSION OF AN  
AUTHORIZED OFFICIAL OF BOOTZ & DUKE SIGN CO.

FILE NAME: SUN-TAL5



4028 W. WHITTON PHOENIX, AZ. 85019  
272-9356 FAX 272-4608

CUSTOMER	SUNCOR (TALAVI)
SALESMAN	BRENT VANDEMAN
DESIGNER	B.W.
DATE	4-15-1999

Talavi Business Park  
Comprehensive Sign Plan  
Page 16

## V. DIRECTIONAL SIGNS (Exhibit 6)

- A. Directional signs shall be located where required to assist the flow of traffic.
- B. Directional signs will display directional and/or regulatory information for circulation within a site.
- C. Directional signs shall be single-faced.
- D. Directional signs shall not exceed a height of three (3) feet except for stop and yield signs.
- E. Sign base shall have an aggregate width of one hundred (100) percent of the width of the sign, a maximum depth of twelve (12) inches, and a height of two (2) or three (3) feet. Base shall be constructed with 12" x 12" Rosa flagstone (dry stack all joints), a copper reveal with patina finish, and a copper Talavi logo with patina finish. All sign bases shall match the base detail common to Talavi Business Park.
- F. The maximum sign area for each sign is six (6) square feet not including base.
- G. Directional signs may include business identification by word or by symbol on up to twenty-five (25) percent of the sign area. No corporate logos shall be permitted.

## Exhibit 6—DIRECTIONAL SIGNS

## DIRECTIONAL SIGNS

SINGLE FACED NON-ILLUMINATED STOP SIGN  
 .090 ALUM. CONSTRUCTION, PAINTED STUCCO  
 CABINET.  
 'STOP' TO BE REVERSE PAN PANEL .032 COPPER WITH  
 PATINA FINISH & 3/4" RETURN DEPTH.  
 \*RED BACKGROUND TO BE RED REFLECTIVE VINYL  
 (APPLIED FIRST) THEN PATINA APPLIED TO COPPER.

"EMPLOYEE PARKING ONLY"  
 ROUTED OUT COPY BACKED UP WITH 1/8" DAY / NIGHT PLEX  
 WHICH APPEARS BLACK OPAQUE DURING THE DAY AND  
 WHITE TRANSLUCENT AT NIGHT. PANELS TO BE INTERNALLY STUD  
 MOUNTED.

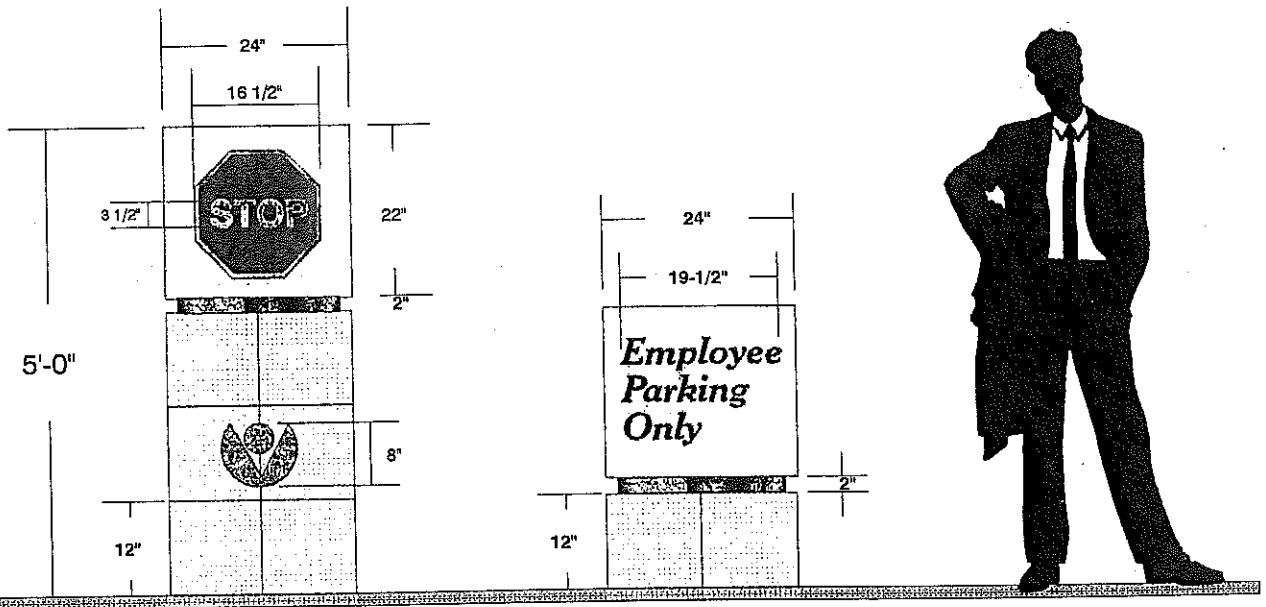
BASE TO BE FLAGSTONE TILES 12" X 12" (DRystack ALL JOINTS)

## LOGO

.032 COPPER WITH PATINA FINISH  
 3/4" RETURN DEPTH

## REVEAL

.032 COPPER WITH PATINA FINISH



## DIRECTIONAL SIGNS EXHIBIT 6

X

DATE

APPROVED BY

THIS CUSTOM DESIGN SUBMITTED FOR YOUR PERSONAL USE  
 IS THE EXCLUSIVE PROPERTY OF BOOTZ & DUKE SIGN CO. OF  
 PHOENIX, ARIZONA. IT MAY NOT BE REPRODUCED, COPIED, OR  
 EXHIBITED IN ANY FASHION TO ANYONE OUTSIDE OF YOUR  
 ORGANIZATION WITHOUT THE WRITTEN PERMISSION OF AN  
 AUTHORIZED OFFICIAL OF BOOTZ & DUKE SIGN CO.

FILE NAME: SUN-TAL2



4028 W. WHITTON PHOENIX, AZ. 85019  
 272-9356 FAX 272-4608

CUSTOMER SUNCOR (TALAVI)

SALESMAN BRENT VANDEMAN

DESIGNER B.W.

DATE 12-18-1997

Talavi Business Park  
 Comprehensive Sign Plan  
 Page 19

## VI. EXTERIOR BUILDING DIRECTORY SIGNS (Exhibit 7)

- A. Exterior building directory signs shall be located near the main entry of each building.
- B. Exterior building directory signs will identify all building Occupants with their corresponding suite numbers.
- C. Exterior building directory signs shall be single-faced.
- D. Exterior building directory signs shall not exceed a height of six (6) feet.
- E. The maximum sign area for each exterior building directory sign is eighteen (18) square feet not including base or area for address numbers.
- F. Exterior building directory signs must include the street address numerals. The height of the numerals shall be six (6) inches. The area of these numerals shall not be included in calculating the allowed sign area. Address numerals shall be copper letters with patina finish.
- G. Exterior building directory signs will be internally illuminated constructed from .090 aluminum with painted stucco cap and cabinet painted to match corner center identification monument walls. Cabinet to have double layer faces (1) 1/8" white lexan with vinyl copy (inner) and (1) 1/8" clear lexan (outer).
- H. The base shall have an aggregate width of one hundred (100) percent of the width of the sign, a maximum depth of twelve (12) inches, and a height of three (3) feet. Base shall be constructed with 12" x 12" Rosa flagstone (dry stack all joints), a copper reveal with patina finish, and a copper Talavi logo with patina finish. All sign bases shall match the base detail common to Talavi Business Park.

## Exhibit 7—EXTERIOR BUILDING DIRECTORY SIGNS

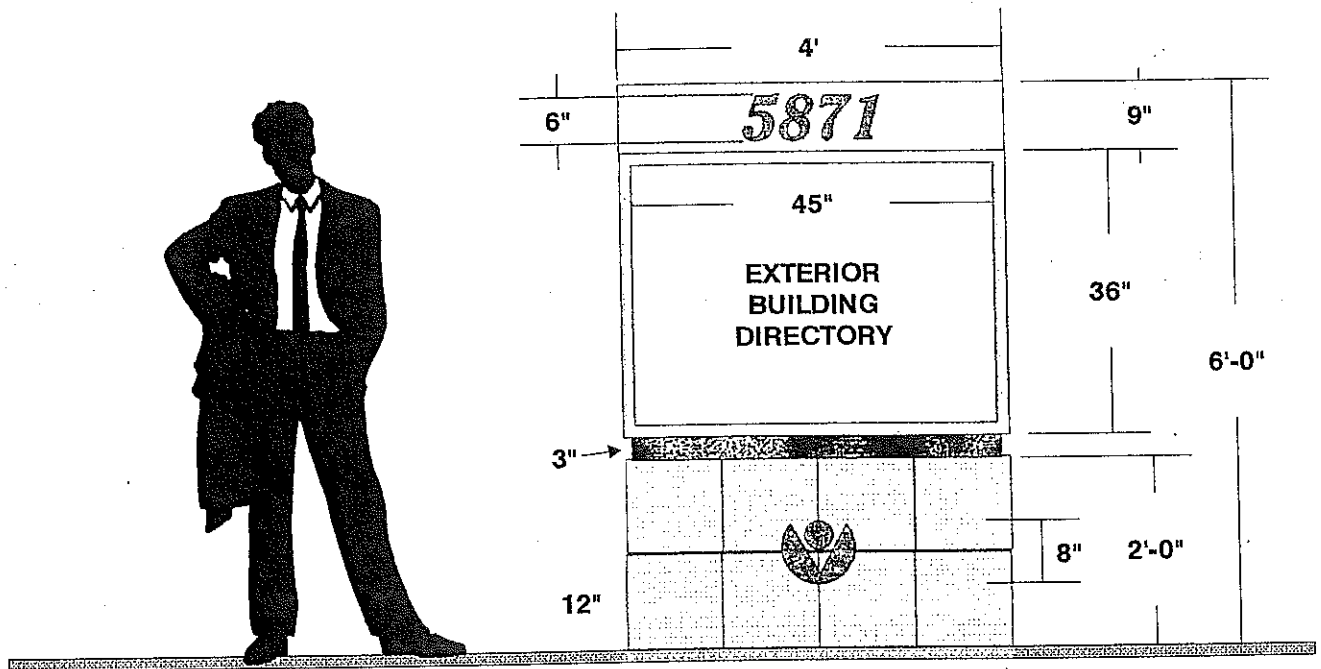


## EXTERIOR BUILDING DIRECTORY SIGN

SINGLE FACED ILLUMINATED DIRECTORY SIGN .090 ALUM.  
 PAINTED STUCCO CAP & CABINET. CABINET TO HAVE  
 DOUBLE LAYER FACES-  
 (1) 3/16" WHITE LEXAN WITH VINYL COPY (INNER)  
 (1) 3/16" CLEAR LEXAN (OUTER)

ADDRESS NO.'S & LOGO  
 .032 COPPER WITH PATINA FINISH  
 3/4" RETURN DEPTH  
 REVEAL  
 .032 COPPER WITH PATINA FINISH

(BASE BY OTHERS)  
 BASE TO BE FLAGSTONE TILES 12" X 12" (DRystack ALL JOINTS)



### EXTERIOR BUILDING DIRECTORY SIGNS EXHIBIT 7

X \_\_\_\_\_ DATE \_\_\_\_\_  
 APPROVED BY  
 THIS CUSTOM DESIGN SUBMITTED FOR YOUR PERSONAL USE  
 IS THE EXCLUSIVE PROPERTY OF BOOTZ & DUKE SIGN CO. OF  
 PHOENIX, ARIZONA. IT MAY NOT BE REPRODUCED, COPIED, OR  
 EXHIBITED IN ANY FASHION TO ANYONE OUTSIDE OF YOUR  
 ORGANIZATION WITHOUT THE WRITTEN PERMISSION OF AN  
 AUTHORIZED OFFICIAL OF BOOTZ & DUKE SIGN CO.

FILE NAME: SUN-TAL7



CUSTOMER	SUNCOR (TALAVI)
SALESMAN	BRENT VANDEMAN
DESIGNER	B.W.
DATE	12-18-1997

Talavi Business Park  
 Comprehensive Sign Plan  
 Page 22

## **VII. TEMPORARY SIGNS**

### **A. Project Signs**

1. One (1) non-illuminated four (4) foot by eight (8) foot project sign pertaining only to the property on which it is located shall be permitted during construction.
2. Sign shall have a maximum area of thirty-two (32) square feet and a maximum height of eight (8) square feet.

### **B. Sale and Leasing Signs**

1. One (1) non-illuminated sign pertaining only to the property on which it is located shall be permitted for each street frontage.
2. A maximum of two (2) signs shall be permitted per parcel.
3. Sign shall have a maximum area of twelve (12) square feet and a maximum height of six (6) feet.

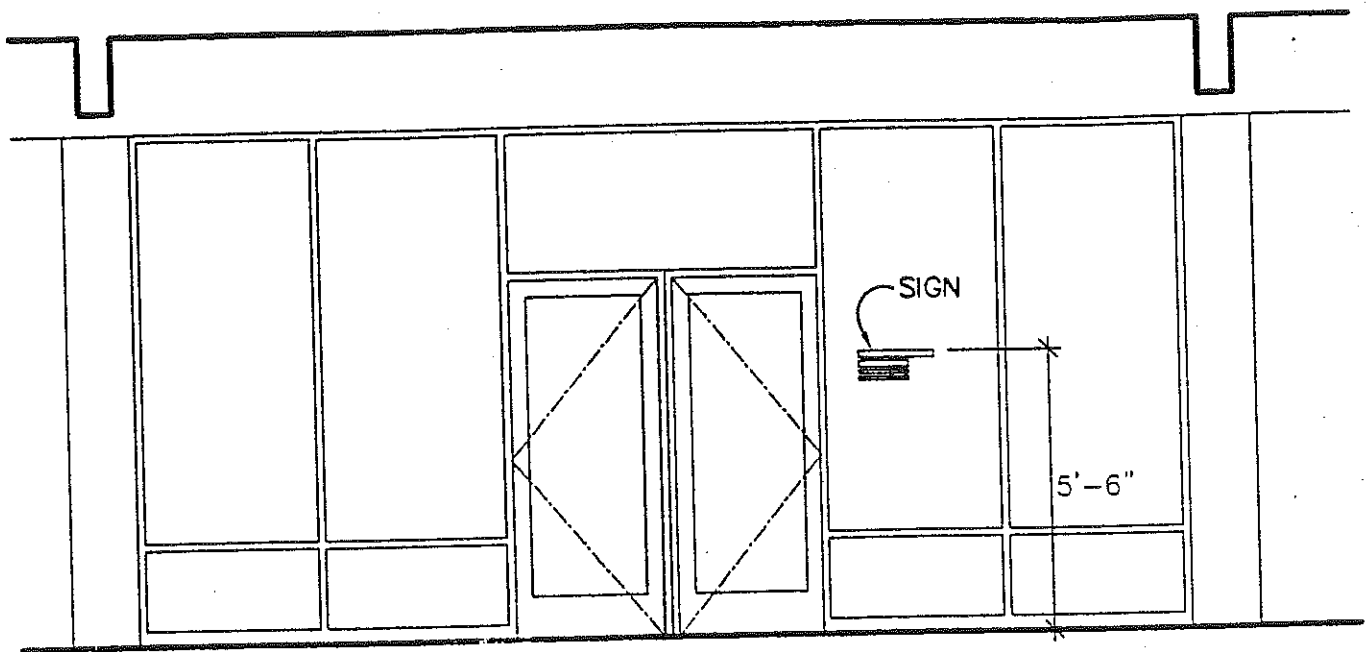
## **VII. STOREFRONT SIGNS (Exhibit 8)**

- A. Owners/Occupants of single-story buildings shall be allowed to place a sign in the window panel adjacent to their entrance door.
- B. Owner/Occupant name, suite number, and hours of business shall be die cut vinyl letters, Helvetica medium, white, with letter height as described on Exhibit 8.
- C. No other window signage will be allowed without TARC approval.

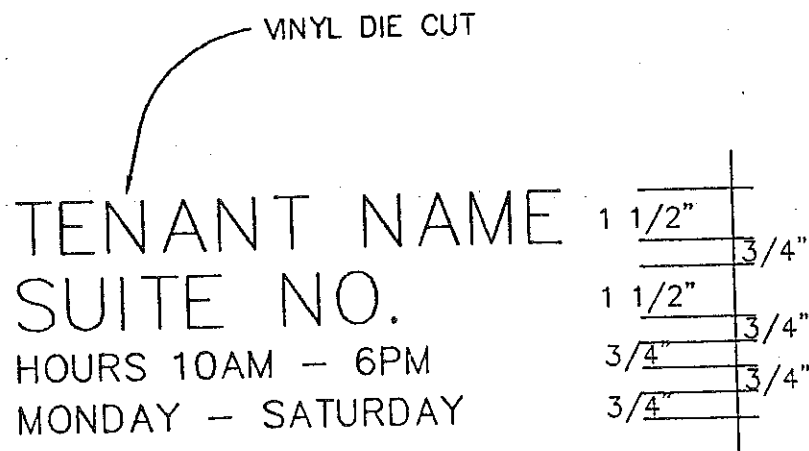
## **IX. REAR SERVICE DOOR SIGN**

- A. An Owner/Occupant may identify their rear overhead service door for delivery and emergency purposes only.
- B. Signs shall identify suite number only with flat cut out letters, 1/8" thick metal, painted black, 6" maximum letter height.
- C. Numbers shall be centered above the rear overhead service door.

## Exhibit 8—STOREFRONT SIGNS



STOREFRONT ELEVATION



## **X. CONSTRUCTION REQUIREMENTS**

- A. All sign bolts, fastenings, sleeves, and clips shall be of hot dipped galvanized iron, stainless steel, aluminum, brass, or bronze and no black iron material of any type will be permitted.
- B. No labels shall be permitted on the exposed surface of signs, except those required by local ordinance. Those required shall be applied in an inconspicuous location.
- C. All penetrations of the building structure, letters, conductors, tubing, or other equipment required for sign installation shall be neatly sealed in a watertight condition.
- D. All exposed metals shall be painted to render them inconspicuous.
- E. All neon shall have P-K housings.
- F. Sign contractor and/or Owner/Occupant shall pay for any damage to the fascia, canopy, structure, roof, or flashing caused by sign installation. Owner/Occupant shall be fully responsible for the operations of Owner/Occupant's sign contractor.
- G. No exposed tubing, ballasts, crossovers, conductors, transformers, or conduit will be permitted.
- H. Locations of all openings for conduit and sleeves in building walls shall be indicated by the sign contractor on drawings submitted for approval of the TARC. The contractor shall install the same in accordance with the approved drawings.
- I. All signs and their installation must comply with all applicable uniform building and electrical codes used in the City of Glendale. All electrical signs shall bear U.L. label.
- J. All sign companies contracted with by Owner/Occupant must be a licensed contractor in the State of Arizona and must carry workman's compensation and public liability insurance against all damage suffered or done to any and all persons and/or property while engaged in the construction or erection of signs in the amount of one million and no/100 dollars (\$1,000,000.00) per occurrence.

## **Appendix I**

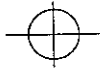
### **LOGO STANDARDS**

# Talavi Logotype Reproduction Materials.

When reproducing the Talavi logotype, use only the following camera-ready artwork

## Two-color use.

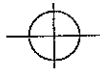
Whenever possible use this two-color application which has been color separated for your convenience. Please use the font Frutiger Bold



TALAVI



Crown Foil #940



Black Ink



## One-color use.

You may use black ink for one color applications. Please use the font Frutiger Bold



TALAVI



TALAVI



TALAVI



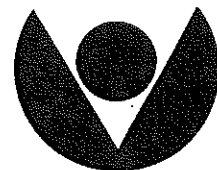
TALAVI



TALAVI



TALAVI



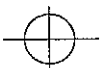
TALAVI

# Talavi Logotype Reproduction Materials.

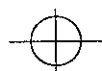
When reproducing the Talavi logotype, use only the following camera-ready artwork

## Two-color use.

Whenever possible use this two-color application which has been color separated for your convenience. Please use the font Frutiger Bold



**TALAVI**  
BUSINESS PARK



Crown Foil #940



Black Ink



## One-color use.

You may use black ink for one color applications Please use the font Frutiger Bold



**TALAVI**  
BUSINESS PARK



**TALAVI**  
BUSINESS PARK



**TALAVI**  
BUSINESS PARK



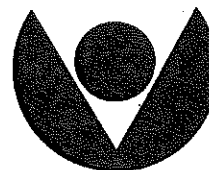
**TALAVI**  
BUSINESS PARK



**TALAVI**  
BUSINESS PARK



**TALAVI**  
BUSINESS PARK

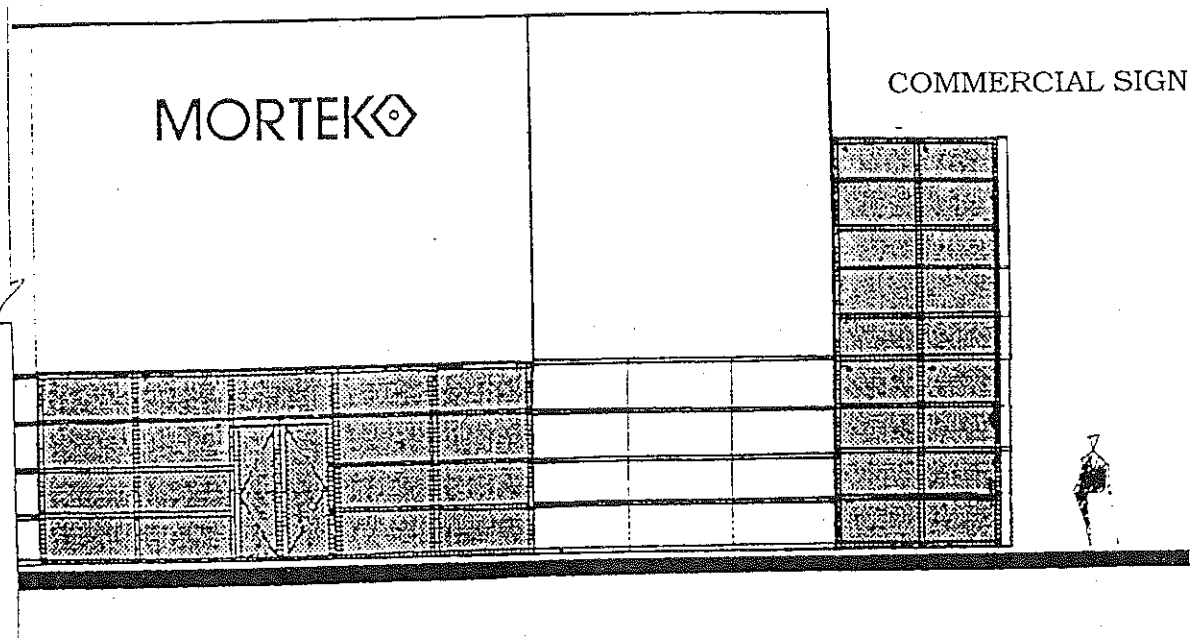


**TALAVI**  
BUSINESS PARK



**Appendix J**

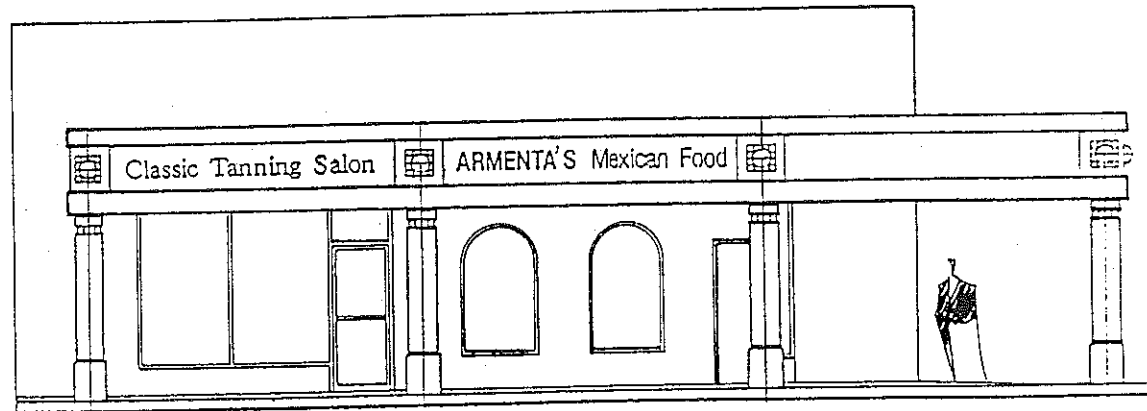
**COMMERCIAL SIGNAGE EXAMPLES**



COMMERCIAL SIGN EXAMPLES

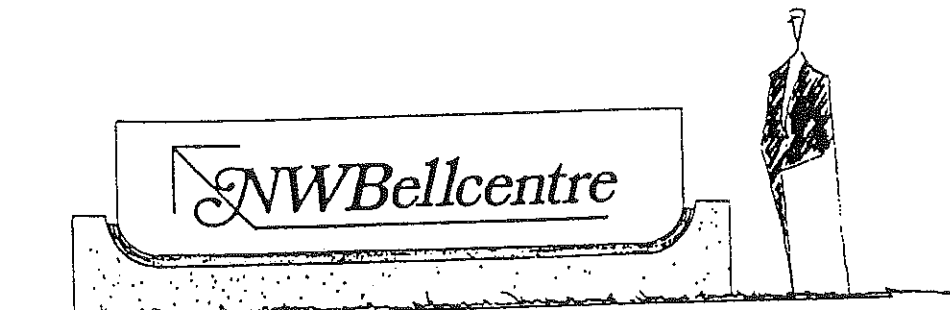
### WALL SIGNAGE

INDIVIDUAL METAL DIMENSIONAL LETTERS, LIGHTED.  
 MAXIMUM HEIGHT ABOVE GRADE, 24'-0"  
 MAXIMUM LETTER HEIGHT, 30". MAXIMUM AREA 60 SQ. FT.



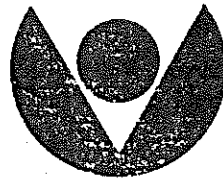
### RETAIL SIGN BAND OPTION

UNIFORM SIGNAGE ZONES ARCHITECTURALLY INTEGRATED INTO THE BUILDING'S STRUCTURE AND FLUSH WITH ITS FACE.  
 MATERIAL TO BE ALUMINUM FACING WITH LETTERS ROUTED OUT, INFILLED WITH TRANSLUCENT ACRYLIC PLASTIC AND BACK LIGHTED. MAXIMUM SIGN HEIGHT ABOVE GRADE, 24'-0". MAXIMUM LETTER HEIGHT, 30".



### FREESTANDING SIGNAGE

MAXIMUM HEIGHT ABOVE GRADE, 4'-0"  
 MAXIMUM AREA 60 SQ. FT.



# TALAVI

## DEVELOPMENT PLAN AMENDMENT

SunCor Development Company  
2828 North Central Avenue  
Suite 900  
Phoenix, AZ 85004  
(602) 285-6800

Landscape Architects:  
The Planning Center  
2525 E. Arizona Biltmore Circle  
Suite 236  
Phoenix, AZ 85016  
(602) 957-2218

Planners:  
Dick & Fritsche Design Group  
5110 North 40th Street  
Suite 107  
Phoenix, AZ 85018  
(602) 954-9060

Civil Engineer:  
Rick Engineering  
2702 North 44th Street  
Suite 100-A  
Phoenix, AZ 85008  
(602) 957-3350

Traffic Engineer:  
Pekala & Associates  
8433 N. Black Canyon Highway  
Phoenix, AZ 85021  
(602) 864-1818

January 21, 1993

## TALAVI

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	- Water Master Plan Report	
	- Wastewater Master Plan Report - Master Drainage Study	

\*These elements are included by reference and are available under separate cover.

## I. PROJECT STATEMENT

### A. Background

The word "Talavi" is Hopi for "Sunrise". The word and its meaning illustrate the conceptual basis for the proposed development. A Hopi word was chosen to reflect the area's southwestern heritage. "Sunrise" represents a new beginning - a bright future. "Talavi" is thus a reflection both of our heritage and a bright future.

These concepts inherent in the word "Talavi" were employed in the physical planning of the project. The landscape is a lush desert look - one that is appropriate to the area and which is uniquely southwestern. Entry features, walls, and signage structures utilize indigenous and familiar materials: sandstone, stucco, and weathered copper and bronze in a contemporary manner. These features give a recognizable identity to the project.

The intent of the project is to create a high quality business park incorporating employment (light industrial/office) and commercial uses (retail/services/hotel). The land uses are carefully arrayed to relate to each other and to adjacent land uses beyond the property. Detailed guidelines for permitted uses, building architecture, landscaping, signage, and property maintenance have been prepared and will be incorporated into the CC & R's.

SunCor has assembled a team of planners, landscape architects, engineers, and marketing specialists who have thoroughly analyzed the property to determine its physical constraints, most appropriate uses, and methods to mitigate negative impacts on adjacent residential areas. Issues such as traffic, drainage, noise and visual buffering, and appropriate land use mix have been addressed and resolved through a series of meetings with Glendale Development Services and Planning Staff. Ongoing discussions with adjacent neighbors have led to plan revisions that addressed each of their concerns. We have also agreed as part of the zoning process to dedicate additional right-of-way on 59th Avenue and Bell Road, as well as land for the City detention area to address existing regional problems.

## B. Development Plan Goals and Objectives

The overall goal for the development plan for Talavi is to build a unique and marketable project that strengthens the City's planning concepts for the Planned Area Development (PAD) Zoning. Development of the plan for Talavi was guided by the following ten specific objectives. These objectives respond to issues that became apparent during plan evaluation. A later section of this report describes the proposed rezoning and ways in which the planning objectives are realized.

- Detailed Master Planning
- Landscaping, Signage and Architectural Design Control
- Use Restrictions
- Controlled Vehicular Access
- Buffering of Adjacent Neighborhood
- Landscaped Open Space
- Provision for City Storm Water Detention
- Establishment of a Major Focal Point at the Bell Road Entry to Glendale
- Provision for a Wide Range of Employment Opportunities
- Inclusion of Complementary Retail, Restaurant, and Hotel Services

## II. LAND USE

### A. Overview

The land uses were selected to provide for employment uses predominantly, with approximately one-third of the project as retail commercial to serve the Talavi employees' needs, as well as other destination-retail users. Activities within each land use, as well as architectural design, signage, lighting, landscaping, and property maintenance will be carefully controlled. Extensive design guidelines and CC & R's are in place to assure high quality development.

The land use plan was developed as a response to the existing physical characteristics of the site, known future developments such as the Bell Road Parkway, the desire of Glendale to provide "high image" uses at this key intersection, and SunCor's desire to provide a wide range of land use possibilities. (See Figure 1, Master Plan)

The land use mix was determined by several economic analyses of the study area, the greater northwest Valley area, and the Valley in general. These analyses are prepared periodically to keep current with changing market conditions and are performed by several specialized real estate market analysis firms which consider potential uses, probability of success of those uses, build-out time, return on investment, and potential tax revenues for the City of Glendale. The mix of uses was also selected as being self-reinforcing. For example, users of modern business parks expect to find retail services, restaurants, and lodging in close proximity. The mix was also designed so that uses do not negatively affect one another.

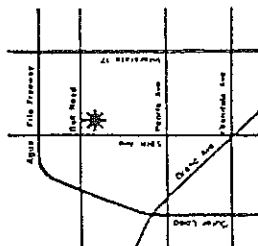
The pattern of land use, the "Master Plan", is based upon the arrangement of the land use mix across the property. Physical characteristics of the property that were considered in establishing the pattern of development were its relationship to adjacent existing development, access, visibility, drainage, street circulation, potential lot sizes, and thematic and urban design concepts.

The main "windows" into the business park area are designed to establish a strong identity so that the business park is not obscured by the commercial and hotel areas.

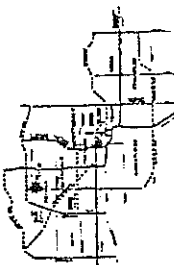
As Talavi develops, periodic evaluation of the land use plan is necessary to ensure that the overall goals of the project are being met. The land use plan should be responsive to the intent of the PAD Zoning as well as to the needs of Talavi's marketability. Also, evaluation of the Glendale General Plan should be made to balance the mix at Talavi with the overall needs of the City of Glendale.



## VICINITY MAP



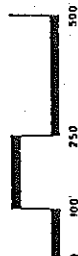
## REGIONAL LOCATION



SUNCOR  
DEVELOPMENT  
COMPANY

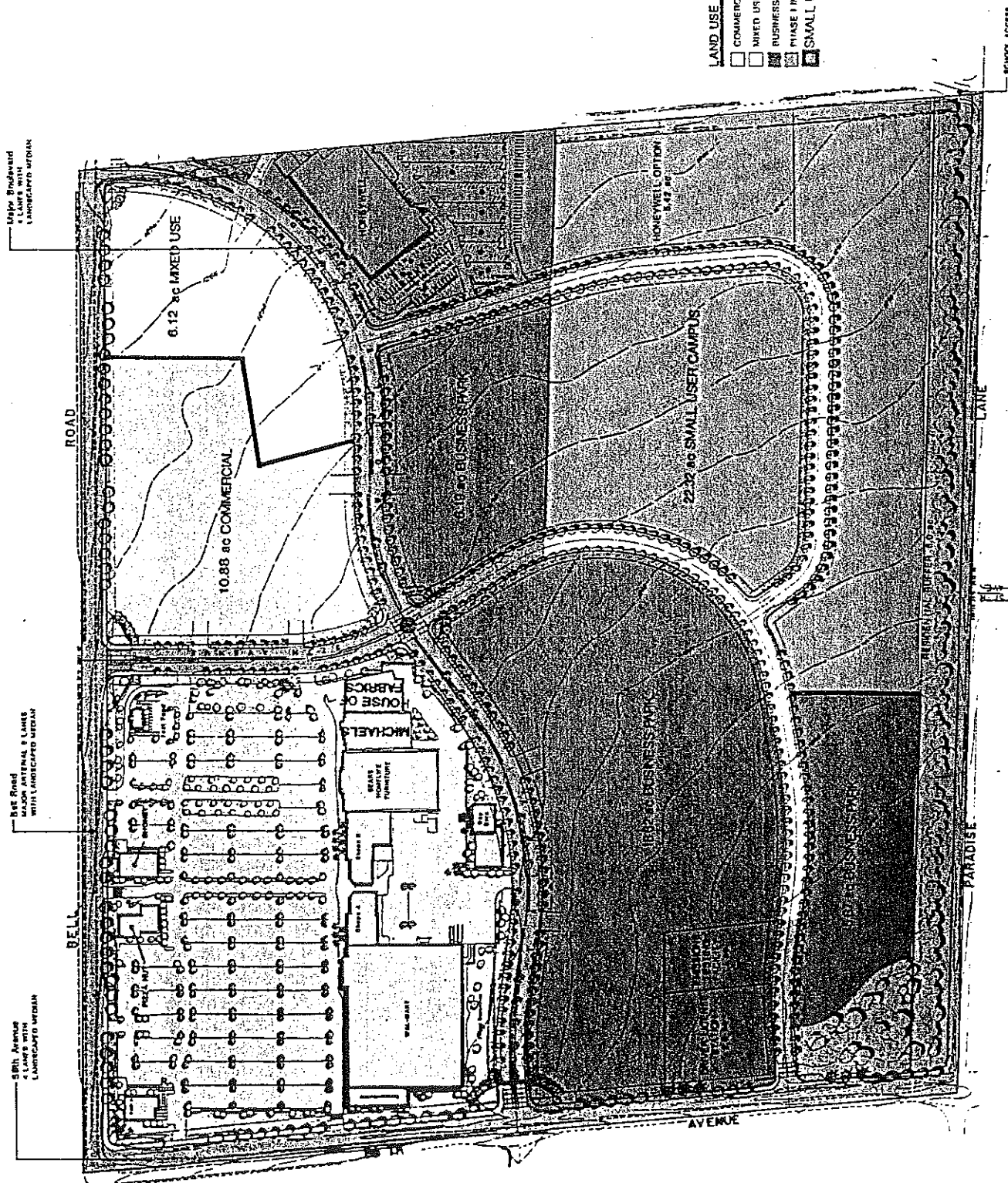


**TALAVI  
DEVELOPMENT  
MASTER PLAN**



## LAND USE KEY

- ☐ COMMERCIAL  
☐ MIXED USE  
☒ BUSINESS PARK  
☒ PHASE I INFRASTRUCTURE  
☒ SMALL USER CAMPUS





## B. Definitions/Goals

"Mixed Use" - This area is bounded by Bell Road, the alignment of 56th Avenue, and Talavi Boulevard (the main east/west thoroughfare). This prime location will be a planned mix of predominantly office with hotel and associated commercial uses. It may be developed as a single project or as several complementary projects. In either case, an urban design theme will be the unifying element. The project proposes a four-story/50-foot maximum height for this area.

The goal of the mixed use area is to create a major image statement near the important Bell Road entry into Glendale. The buildings will be larger and of a higher standard of quality than will be demanded of interior parcels. Landscaping will be extensive.

"Business Park" - This area is visualized as having larger light industrial, research & development, or office uses aligned along Talavi Boulevard. The setbacks, landscaping, and architectural treatments will receive special attention. The buildings will generally be limited to two-story/30 feet, but may rise four-story/50 feet at the intersection of 57th Avenue and Talavi Boulevard. Areas designated "Business Park" not along Talavi Boulevard will share in the landscape and facility size requirements, but will be limited to two-story/30 feet because they are closer to the residential area to the south, or to lower heights where necessary to comply with the Paradise Lane Buffer Stipulations. (See Figure 2, Maximum Height Diagram)

The goal of the business park area is to provide opportunities for a variety of employment in a desirable setting that is competitive with other areas within the Valley.

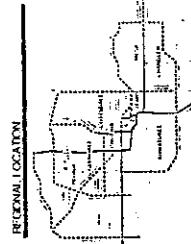
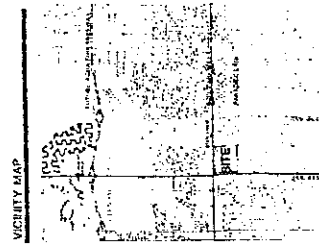
"Small User Campus" - This area provides for smaller, freestanding, light industrial, R & D, or office users. Lots will range in size from .6-acre to 2 acres. Lots may be combined to form multi-tenant buildings. The plan separates this area from the remainder of the project to give it a special campus identity. Buildings will be limited to one-story/30 feet. The goal of the Small User Campus is to provide a location for the smaller single-user freestanding building, or for smaller multi-tenant buildings or "incubator" spaces. As the term indicates, some of these users may "grow up" to occupy areas in the prime areas of the project.

"Commercial" - This area will contain a mix of destination retail uses and service retail uses. Commercial pad uses such as restaurants, banks, and small retail users are a necessary and complementary function of a large business park and will blend with the larger commercial area at this intersection. However, the design of these uses and their relationship to the perimeter streets and to the interior of the business park will be carefully controlled. Typical "strip" type development with multiple curb cuts will not be allowed.

The goal of the commercial area is to provide for the needs of the business park (restaurants, services, lunch-time shopping) and to take advantage of the key location to attract destination shoppers purchasing large ticket items. This would be accomplished with a design that relates to the interior of Talavi and which would present a high quality image to the adjacent arterial streets. In addition, the wide landscaped setbacks which do not allow parking on 59th Avenue and Bell Road Parkway in front yard areas will provide a visual departure from other commercial developments.



**TALAVI**  
A BUSINESS PARK

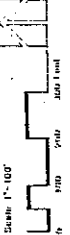
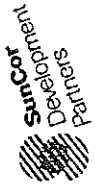


**DEVELOPER**  
SUNCOAST DEVELOPMENT, INC.  
10000 N. 10TH AVENUE, SUITE 100  
DENVER, COLORADO 80231

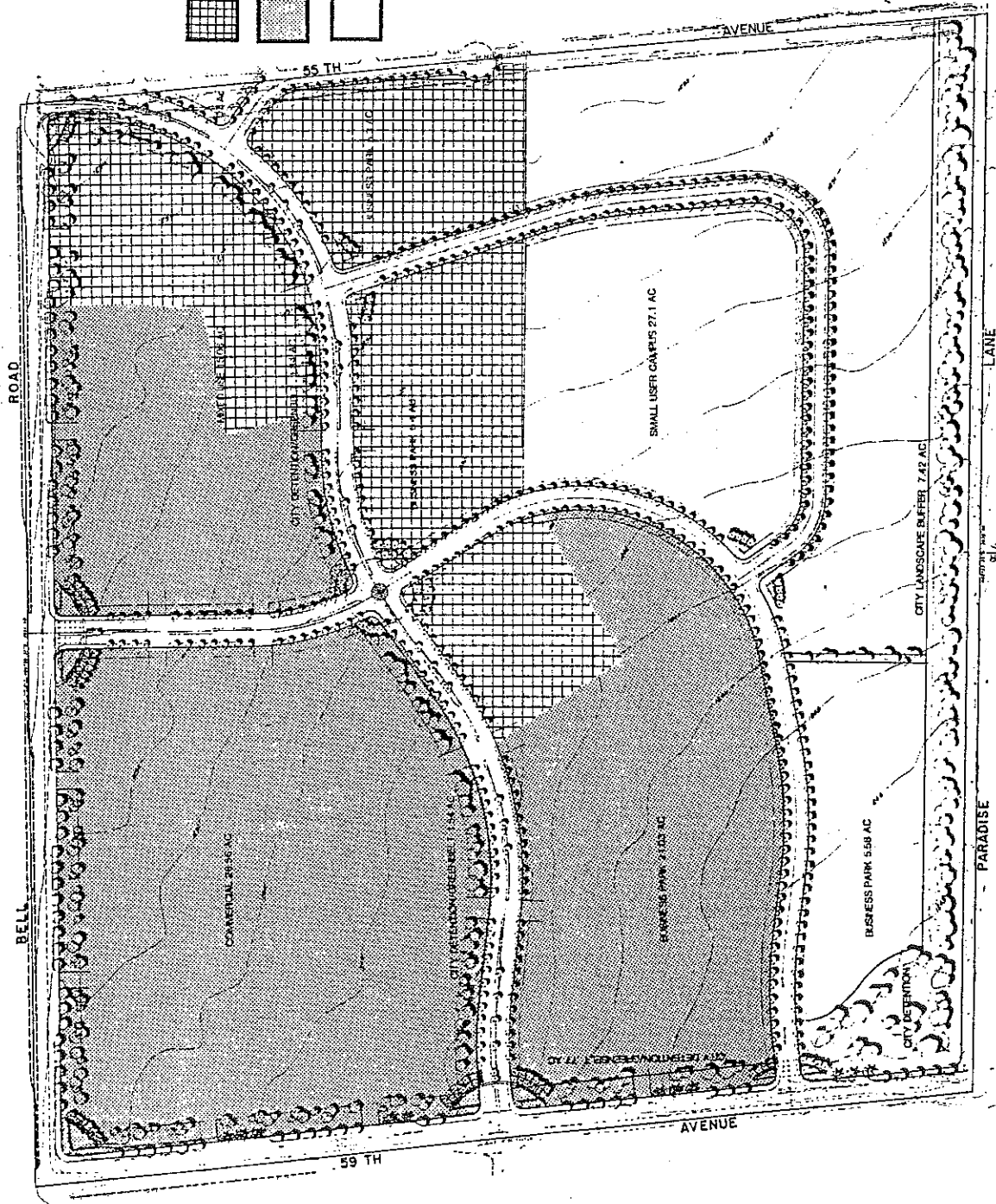
**PLANNER**  
SUNCOAST DEVELOPMENT, INC.  
10000 N. 10TH AVENUE, SUITE 100  
DENVER, COLORADO 80231

**LANDSCAPE ARCHITECT**  
SUNCOAST DEVELOPMENT, INC.  
10000 N. 10TH AVENUE, SUITE 100  
DENVER, COLORADO 80231

**CIVIL ENGINEER**  
SUNCOAST DEVELOPMENT, INC.  
10000 N. 10TH AVENUE, SUITE 100  
DENVER, COLORADO 80231



- 4 Story/50'
- 2 Story/30'
- 1 Story/30'



**FIGURE**

"Commercial - Lot 2" - On Lot 2 it is contemplated that a different architectural theme will be established that complements the high quality established on Lot 1. The relationship of freestanding buildings to each other will be controlled with shared site elements such as parking and landscape. The number of pads fronting along Bell Road will be limited to no more than three.

Typical uses anticipated include large furniture showroom/warehouses, home centers, designer showrooms, large retailers, and minor associated shops. These shops include services associated with the business park such as printing shops, card shops, travel agencies, professional services, sit-down and carry out restaurants and delicatessens, and other retail sales. Prohibited uses include convenience uses (as defined in Ordinance No. 1512) except one convenience restaurant may be allowed as a use-by-right, neighborhood grocery/drugstores, adult entertainment (bookstore, movie theatre, live entertainment), second hand stores, pawn shops, outdoor sales, outdoor storage or display, bars or cocktail lounges except in conjunction with a full-service restaurant.

It is the intent to locate restaurant pads on Lot 2 to encourage outdoor use through clustering and implementing open space between buildings and between the restaurants and the hotel site. Parking, driveways, and service access between the pads will be kept to a minimum where possible.

Service, loading, and utility functions of the commercial buildings shall be screened from the hotel site and business park with the use of landscaping, walls and architectural design features to maintain the open, park-like character of the business park campus.

Pedestrian linkage to the hotel and business park will be incorporated with the use of walkways, landscaping and open space.

### C. Proposed Amendment

The existing zoning is "PAD, Planned Area Development". This zoning was established by City Council on March 8, 1988. In addition to ordinance restrictions, the previous zoning case established a set of stipulations pertaining to the mitigation of potential adverse effects of the project on the neighborhood to the south. We have responded to all of these stipulations in the construction and development of Talavi.

Based on the success of the existing commercial center and the positive reception of 59th Avenue and Bell Road as a major community-level commercial hub, SunCor has determined that a portion of the acreage originally designated "mixed use" on the original Master Plan is more appropriate for retail-oriented development. Accordingly, SunCor is requesting a modification to the approved Talavi master plan to change approximately 11 acres in Parcel 2 from "mixed use" to "commercial" (as shown on Figure 3). The remaining 5 acres of "mixed use" will be reserved as a hotel site.

The rest of the project which will remain unchanged is defined as business park with two distinct areas provided. The areas closest to 59th, Bell, and Talavi Boulevard will have larger buildings. It is anticipated that smaller scale buildings will be located in the area toward the southeast corner of the project.

The height diagram illustrates the locations of the 4-story buildings. These locations were selected because they maximize the project's image and exposure with a minimum of impact on the residential neighborhood to the south. In essence, the tallest buildings are along Bell Road or in the northern 1/3 of the project. The property is located in the "Bell Road Corridor Character Area" as defined in the Draft Glendale General Plan. The goal for this area as specified in the Draft General Plan is as follows:

"The Bell Road Corridor is to be one of the City's major employment and activities centers. Bell Road's superior accessibility allows the development of regionally based employment and retail shopping activities. Emphasis for development along the corridor is on business park employment, regional shopping, general office, and multi-family housing. Hotels, entertainments, and community services can also be accommodated here." (Draft General Plan, p. 42.)

The master plan meets the goal stated above by providing for business park, shopping, general office, and hotel uses. The mix of uses proposed will result in a wide range of employment opportunities from retail sales clerks to office and manufacturing workers to engineers and high tech personnel.

#### SITE DATA SUMMARY

<u>Proposed Use</u>	<u>Gross Area</u>	<u>Proposed FAR</u>	<u>Proposed Height</u>
Commercial	38.92 AC	.25	2 stories/30'
Mixed Use	6.12 AC	.5	4 stories/50'
Business Park	39.74 AC	.5	2 stories/30'
Small User	27.74 AC	.5	1 story/30'
Open Space	7.42 AC		
Total	119.94 AC		

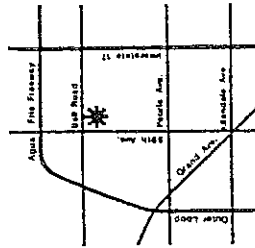
\* 4 stories/50' where indicated on master plan.

Note: No building within 30' of the property line shall exceed 30' in height. Additional height where allowed may increase 1' with each 2' of additional setback up to the maximum 50'.

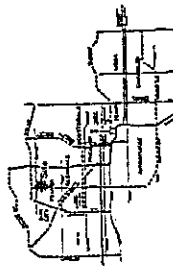


TALAVI

VICINITY MAP



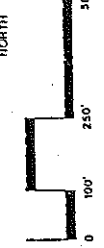
REGIONAL LOCATION



SUNCOR  
DEVELOPMENT  
COMPANY



TALAVI  
DEVELOPMENT  
MASTER PLAN



LAND USE KEY

- COMMERCIAL
- MIXED USE
- BUSINESS PARK
- PHASE I INFRASTRUCTURE

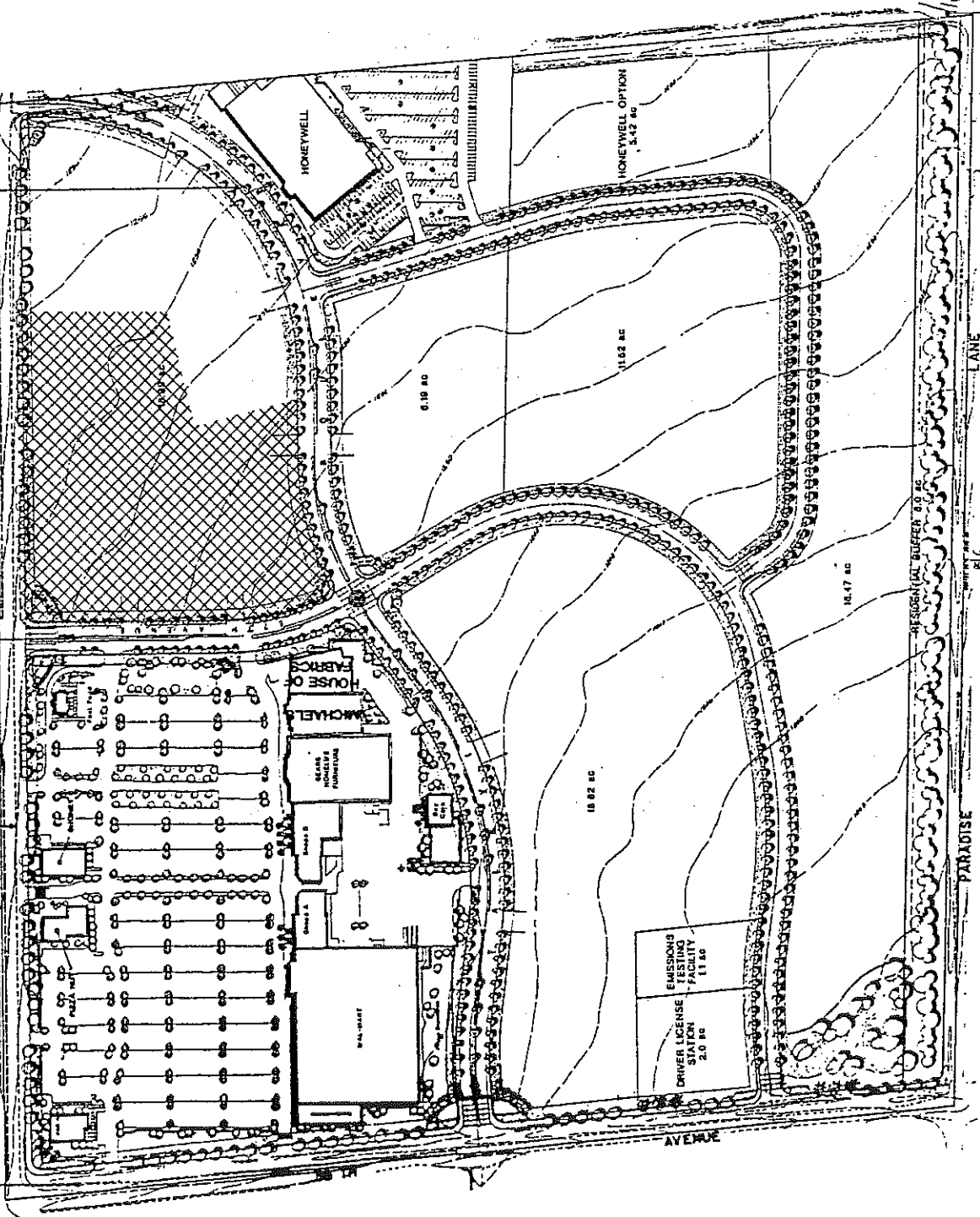
Major Boulevard  
4 Lanes with  
Landscaped Median

5th Avenue  
4 Lanes with  
Landscaped Median

5th Avenue  
4 Lanes with  
Landscaped Median

ROAD

BELL



SCHOOL ACCESS

-- PROPOSED SITE



FIGURE

### III. CIRCULATION SYSTEM

Circulation consists of streets for auto and truck traffic and pedestrian pathways that connect key areas with the project. Figure 4 illustrates the roadways that have been completed to date.

The major interior streets are important design elements. They are four lanes with landscaped medians. These streets have established a high-quality image for the main interior areas of the project. The southern or "back" portion of the project will have wide streets built to City standards for industrial areas.

No parking is allowed on any streets. Throughout the development, landscaped setbacks are provided to create a campus-like atmosphere.

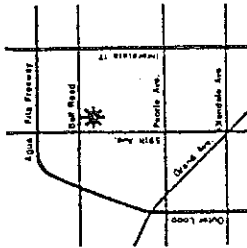
The street pattern is designed to provide three major access points at existing or proposed traffic signals. A fourth, less important access provides a secondary access to 59th Avenue. The street pattern is designed with no connections from Talavi to the residential areas south and east. All traffic must enter from 59th Avenue or Bell Road. Talavi Boulevard is designed to exceed the traffic needs indicated by traffic studies. It has been suggested that Talavi Boulevard be extended north from the intersection of Bell Road and 55th Avenue into the State land property north of Bell Road and perhaps wind its way to 51st Avenue. This would create a unifying element for the general area that is identified on the Glendale General Plan as one of the City's major employment areas.

Streets adjacent to the property as indicated on the master plan have been upgraded. Bell Road has been rebuilt through the County's Plan to a 6-lane parkway with a landscaped median and shoulders. Major entry points into the project from Bell and 59th Avenue have right turn bays. Fifty-ninth Avenue has been improved to six lanes with a landscaped median. SunCor dedicated additional right-of-way and participated in the construction of both 59th Avenue and Bell Road Parkway to make these improvements possible. All internal streets have been dedicated to the City. Pavement, sidewalks where indicated, drainage, lighting, and curb and gutter are being provided by SunCor.

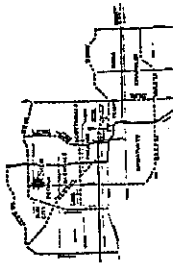


TALAVI

VICINITY MAP



REGIONAL LOCATION



SUNCOR  
DEVELOPMENT  
COMPANY



TALAVI  
DEVELOPMENT  
MASTER PLAN



Major Boulevard  
4 Lanes with  
Landscaped Median

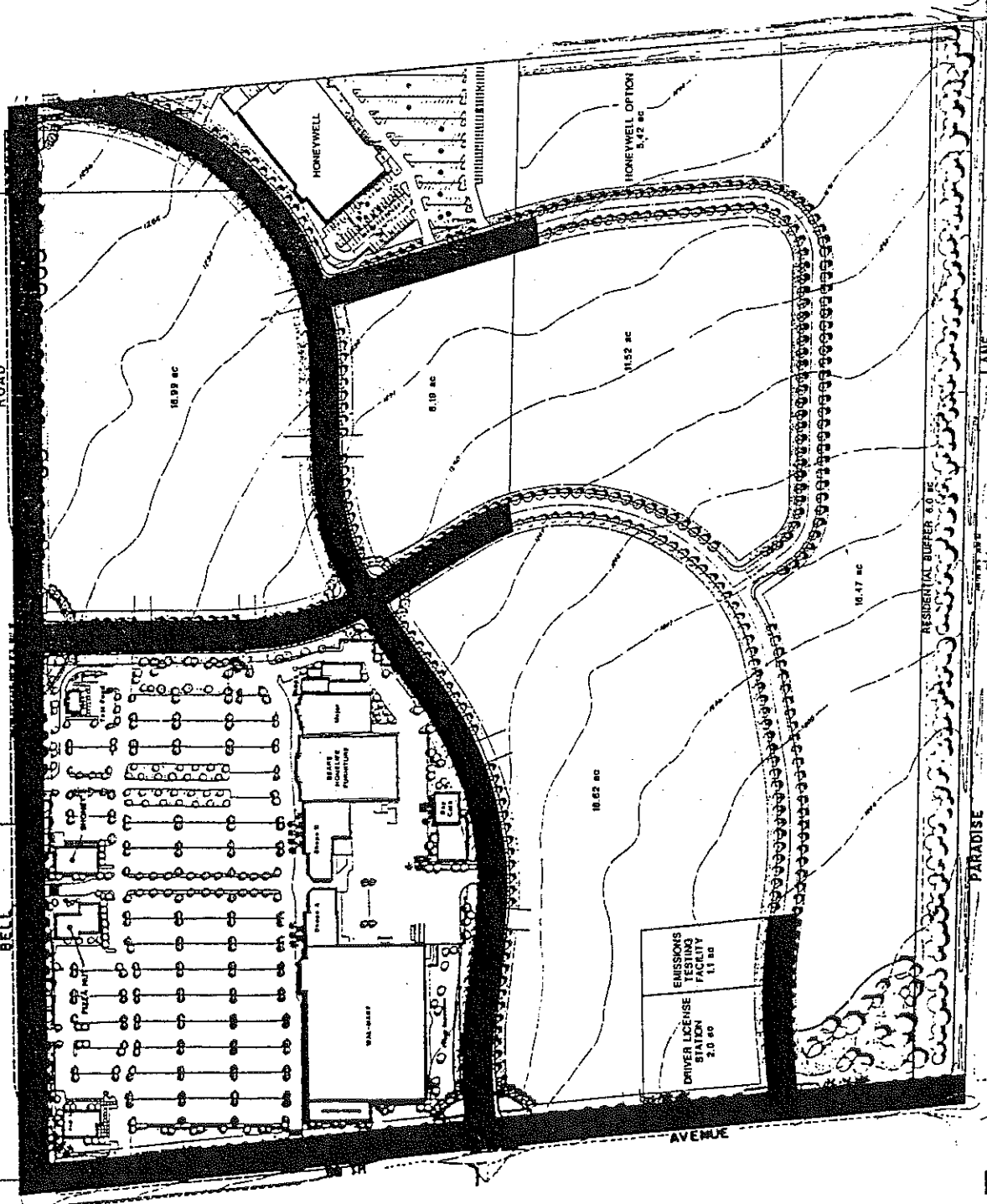
1st Road  
Major Arterial 4 Lanes  
with Landscaped Median

2nd Avenue  
4 Lanes with  
Landscaped Median

ROAD

BELL

AVENUE



- ROADWAYS/UNDERGROUND UTILITIES COMPLETED

FIGURE

#### IV. UTILITIES

All developer-provided utilities within the project have been placed underground as depicted on Figure 4. Sites within the project have been provided with water, sanitary sewer, electrical service, and telephone service. Other services such as natural gas, fiber optic communications, and cable television may be provided.

Trash collection is currently served through scheduled City and private collection. Trash collection areas are screened.

Existing 12-inch waterlines are located at the north, east, and west boundaries of the property. The Talavi water system, consisting of 10-inch and 8-inch waterlines, are tied into the existing 12-inch waterlines along Bell Road, 59th Avenue, and 55th Avenue.

Existing 10-inch sewer lines are located at the east and south boundaries of the property, and a 15-inch sewer line is along the north boundary, and an 8-inch line that turns into a 12-inch line is located along the west boundary.

The site drains from northeast to southwest at approximately a 0.5% slope. The sewer system, consisting of 8-inch sewer lines, drain to the southwest corner of the site to the existing 12-inch sewer which drains to the south along 59th Avenue.



## V. GRADING AND DRAINAGE

The site, located on the southeast corner of 59th Avenue and Bell Road is unaffected by offsite runoff. Bell Road intercepts and diverts offsite flows west of the property.

Except for Glendale's special detention requirement, the property is affected only by runoff generated onsite. A series of detention basins fill and cascade to the southwest corner of the property where the water drains back into the 59th Avenue storm sewer system at the maximum permissible rate of 10 CFS.

Runoff for each individual parcel will be contained within its own internal retention system. Storage for the runoff from the 2-hour 100-year storm is required by the City. A series of roadside swales provides a drainage network which is connected to the common detention area. This network will provide a means of collecting street runoff and routing it to the common detention areas, as well as providing an emergency overflow outlet for the individual parcels.

The ultimate discharge of water from the property is at the southwest corner of the site. The entire site outlets via the drain into the 59th Avenue storm sewer with discharge in excess of the storm sewer outlet overflowing into 59th Avenue. Because of the onsite detention provided, the worst case situation after full build-out would result in approximately 70 CFS being discharged into 59th Avenue as compared to 91 CFS under existing conditions for the 100-year event.

The drainage system, combined with the Paradise Lane buffer berm, prevents any water originating on the Talavi property from flowing across Paradise Lane, and as the worst case numbers illustrate, will, in fact, improve the existing conditions.

## VI. LANDSCAPING

The landscape theme for Talavi has been designed to utilize walls, signage, and plant materials to create a southwest, contemporary identity for the project. (See Figure 5, Master Landscape Plan) Materials commonly associated with this region, (sandstone, stucco, and copper), are combined with arid region plant materials to create a unique environment and one that also blends with the area. The number of trees and plants actually installed at Talavi is almost double what Glendale requires by ordinance. Also, the size of the trees installed at major entry areas and boulevards are much larger than city requirements to give a more established look.

Monument walls of sandstone, patina copper signage, and rows of arid region trees identify the entrances to the project and the interior core. These indigenous materials are continued throughout the project on site walls, signage, and site elements to maintain a regional character. Arid trees are used formally along the main roads of the project to create tree lined boulevards. Riparian trees have been used at entryways and along the large detention swale along 59th Avenue. Out of necessity, drainage swales are turfed to prevent unsightly erosion. Design guidelines for individual users will ensure that this regional theme and quality is continued to full build-out. All common areas of the project are maintained by the Talavi Owner's Association.

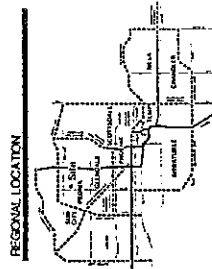
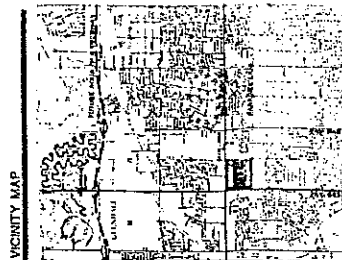
Along Bell Road and 59th Avenue there are 25-foot setbacks in addition to the right-of-way planting. Landscaped with lush arid plant materials the project appears more campus like, less like a business park. The major streets in the project have 25 foot landscaped setbacks and medians. All other streets maintain 20 foot landscaped setbacks. Parking is not allowed in the setback areas.

Along the entire south end of the project, a 100-foot wide buffer has been designed and constructed to protect the adjacent residential area. Within this buffer is a 10-foot high landscaped berm to shield development to the north. SunCor has worked with the adjacent neighborhood to choose plant materials from Glendale's approved plant list. In combination with the berm is a 15-foot wide drainage swale to prevent any water from the project reaching Paradise Lane. A 5-foot screen wall on the north edge of the buffer will prevent any physical movement between Talavi and Paradise Lane. The buffer has been dedicated to the Talavi Owner's Association, who is also responsible for maintenance of the buffer and detention basin.

The landscape character established in Talavi is one that reflects the arid identity of our region. Talavi projects a unique statement using this arid identity in an urban context.



**TALAVI**  
A BUSINESS PARK



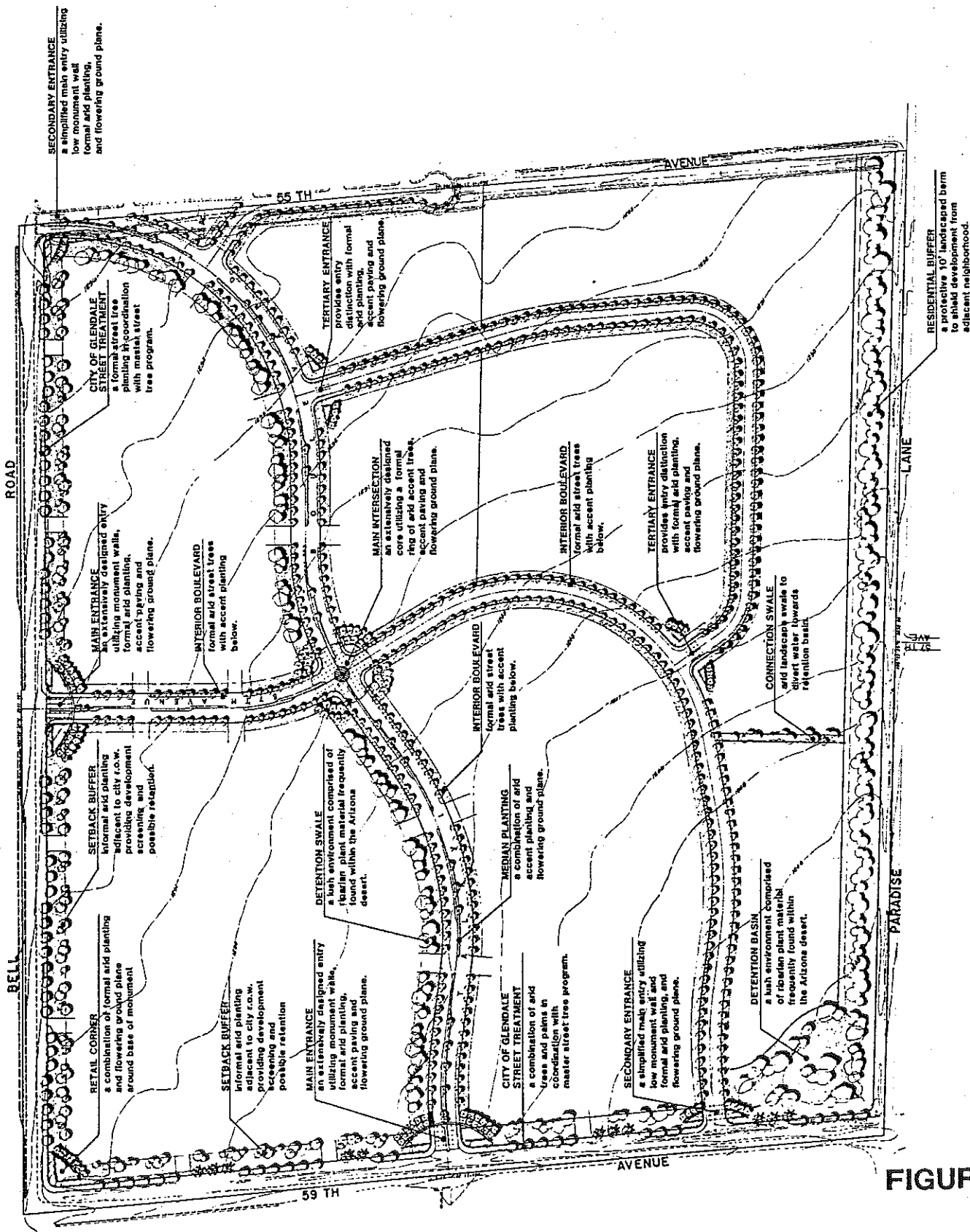
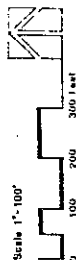
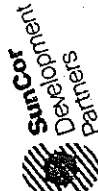
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TALAVI DEVELOPMENT COMPANY  
11111 JEFFERSON AVE  
PHOENIX, ARIZONA 85021

**PLANNER**  
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**LANDSCAPE ARCHITECT**  
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**ENGINEER**  
JAMES R. GILBERT  
11111 JEFFERSON AVE  
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MASTER LANDSCAPE PLAN



FIGURE

## APPENDICES

Additional technical studies are included in this submission under separate cover. These include a detailed traffic study, water master plan report, wastewater master plan report, and master drainage study.