

Zanjero Pass

Planned Residential Development Rezone

A 173-acre Residential Master Planned Community
Northeast of Olive Avenue and Citrus Road
Glendale, Arizona

1st Submittal – September 10, 2013

PROJECT TEAM

Property Owner and Developer	Glen Vortherms Maricopa Water District (MWD) 14825 W. Grand Ave. Surprise, Arizona 85374
Owners Representative	David Maguire Land Solutions, Inc. 4121 West Oraibi Drive Glendale, Arizona 85308
Legal Counsel	Manjula Vaz Gammage and Burnham, PLC Two North Central Avenue Eighteenth Floor Phoenix, Arizona 85004
Project Management and Engineering	Ron Hilgart, PE HilgartWilson 1661 E Camelback Road, Suite 275 Phoenix, Arizona 85016
Land Planning	Toni Bonar, AICP HilgartWilson 1661 E Camelback Road, Suite 275 Phoenix, Arizona 85016
Landscape Architect	McGough Group Tim McGough, RLA, ASLA 11110 North Tatum Boulevard, Suite 100 Phoenix, Arizona 85028
Traffic Consultant	CivTech Dawn Cartier, PE, PTOE 10605 N Hayden Road, Suite 140 Scottsdale, Arizona 85260-5595

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This document provides many graphical representations of a wide range of options such as amenities, trails, and urban center concepts. All exhibits, plans, and graphics are conceptual, solely intended to convey concepts and opportunities. These graphics may be further refined or amended as the project continues through the development process, and are not to be regulatory, or indicative of final design elements.

1.0 Introduction

Zanjero Pass (the Project) is a 172-acre residentially zoned property located north of Olive Avenue and east of Citrus Road. The Project was previously zoned and platted through Maricopa County. The Project is proposed to be annexed into the City of Glendale prior to the approval of this zoning application. Concurrent with this application, is an amendment to the General Plan and a rezone of an associated 8-acre commercial property.

HilgartWilson respectfully submits this request to the City of Glendale on behalf of Maricopa Water District (MWD) to rezone Zanjero Pass (the Project) from Maricopa County R1-8 and R1-10 to City of Glendale R1-7 (Parcels 2 and 3), R1-8 (Parcel 4), and R1-10 (Parcel 5) with a Planned Residential Development (PRD) Overlay. The underlying zone districts will be rezoned concurrent with the PRD. In addition to the residential rezone, a request to rezone an approximate 7-acre site (Parcel 1) from Maricopa County zone district of R1-8 to City of Glendale zone district of C-1 – Neighborhood Commercial.

The Project was initially rezoned R1-8 RUPD/PAD and R1-10 RUPD/PAD and approved in October 2003 (Z2003003) through Maricopa County. The zoning permitted minimum lot areas of 9,000, 11,500, and 15,000 square feet. However, due to a lack of sewer solution, the Project was platted with lots averaging approximately 35,000 square feet in March 2008 (Book 979 of Maps, Page 26, Maricopa County Records) so that septic systems could be used for individual wastewater disposal.

Through the efforts of the Loop 303 Corridor Group, a public wastewater system is now proposed, which will eliminate the need for individual septic systems and allow lot sizes more complimentary to the uses proposed along the Loop 303 corridor.

Prior to approval of this zoning case, an amendment to the General Plan will be obtained for Zanjero Pass allowing Medium Density Residential (2.5-3.5 du/ac) (MDR) will be obtained. This density provides an appropriate transition from the more intense Loop 303 business and retail uses and industrial uses located within the “Luke Compatible Land Use Area” as defined in the City’s General Plan. The Project is one mile west of Loop 303 and approximately two miles west of the Luke Air Force Base 65 Ldn noise contours.

This rezone allows for a mix of detached, single family residential lots providing a transition between the larger lots to the east and the smaller lots to the west. Open space is strategically placed throughout while creating recreational open space internal to the community; all in an effort to promote an active lifestyle and provide a sense of community.

2.0 Existing Conditions

The project location; accessibility; existing drainage, water, wastewater conditions; existing general plan land uses and zoning districts; and relationship to the surrounding properties are outlined within this section. Refer to **Appendix A, A.L.T.A. Survey and Legal Description** for property ownership and existing roadway dedications.

2.1 Location and Accessibility

Primary access is provided by Olive Avenue and Citrus Road. Approximately one mile east of the Project is Loop 303 and approximately one mile southeast of the Project is the proposed Northern Parkway alignment. These two significant transportation corridors will provide much improved access to the greater Phoenix area. Refer to **Figure 1, Vicinity Map** for site location.

The General Plan designates a major focal point of growth along Loop 303 and Northern Parkway. While the Loop 303 area is poised to become a focal point of economic and employment development within the expanding West Valley, the area is currently primarily agricultural land. Refer to **Figure 2, Aerial Map** and **Figure 3, General Plan Land Use**.

The arterial and collector streets adjacent to the Project are Olive Avenue, Citrus Road, and 175th Avenue. Refer to **Figure 4, Street Circulation and Cross-Sections** for perimeter street locations and classifications. The perimeter arterial, collector, and local streets are under the jurisdiction of Maricopa County.

Olive Avenue is situated along the Project's southern boundary. It is classified as a Maricopa County Urban Principal Arterial with an ultimate 140-foot right-of-way. Currently, a 70-foot half right-of-way for the north half of the street has been dedicated. The half street improvements have not been completed.

Citrus Road is situated along the Project's western boundary. It is classified as a Maricopa County Urban Principal Arterial with an ultimate 130-foot right-of-way. Currently, a 65-foot half right-of-way has been dedicated. The half street improvements have not been completed.

175th Avenue is situated along the Project's eastern boundary. It is classified as a Maricopa County Urban Major Collector with an ultimate 80-foot right-of-way. Currently, a 40-foot half right-of-way has been dedicated. The half street improvements have not been completed.

Cheryl Drive is situated along the Project's northern boundary. It is classified as a Maricopa County local street with an ultimate 50-foot right-of-way. Currently, a 25-foot half right-of-way has been dedicated. The half street improvements have not been completed.

2.2 Existing Drainage Conditions

The area surrounding the Property generally slopes to the south and east. Although the site is not subject to any regulatory floodplains, the Property is effected by minor sources of offsite drainage runoff along the north and west sides. These flows are joined by stormwater runoff produced onsite as it is routed southeasterly toward the downstream (south and east) sides of the Property. These flows are generally conveyed in a series of broad, shallow washes. Refer to **Appendix B, Preliminary Drainage Report** for a depiction of the existing onsite and offsite drainage conditions.

2.3 Existing Water Conditions

The Project is located entirely within the EPCOR Water Service Area. The existing water infrastructure immediately adjacent to the Project includes a 16-inch water main in Citrus Road, a 12-inch water main along Olive Avenue, and an 8-inch water main in 175th Avenue. The 12-inch water main in Olive Avenue begins at 175th Avenue and extends east to Cotton Lane. The 8-inch water main in 175th Avenue reduces to 6-inches in size approximately 1,900 LF north of Olive Avenue. The Project receives water from the Clearwater Farms Booster Pump Station. The Surface Water Treatment Plant is located at the northeast corner of Cactus Road and the Beardsley Canal.

2.4 Existing Wastewater Conditions

Existing wastewater infrastructure immediately adjacent to the Project includes an 18-inch sewer main in Citrus Road, which was constructed to serve the Cortessa and White Tank Foothills developments. This sewer main conveys wastewater flows southerly to Northern Avenue, where a lift station pumps the wastewater flows northerly to the City of Surprise wastewater treatment plant. This sewer line is not available to convey sewer flows from the Project. No other wastewater infrastructure exists immediately adjacent to the Project. However, as part of the Loop 303 Corridor Group Joint Development Agreement, Global Water will be the sewer service provider for the Project and will be responsible for construction of a wastewater treatment plant and offsite wastewater infrastructure that will convey wastewater flows from the site. It is anticipated that the offsite infrastructure and wastewater treatment plant will be constructed prior to the completion of the Project.

2.5 Existing General Plan Designations and Zoning Districts

General Plan

A request for a General Plan Amendment is running concurrent with this PRD. The request is for Medium Density Residential (2.5-3.5 du/ac). Refer to **Figure 3, General Plan Land Use**. Once approved, the amended zoning will be consistent with the General Plan.

Zoning

The existing Maricopa County zone district is R1-8 RUPD/PAD and R1-10 RUPD/PAD. Refer to **Figure 5, Existing Zoning**.

2.6 Relationship to Surrounding Properties

The land uses proposed with this rezone and PRD Overlay enhance the future uses planned for nearby properties. The surrounding land uses are described below and reflected in **Figure 6, Surrounding Properties**.

North and East

Immediately to the north of Cheryl Drive and east of 175th Avenue are large lot single family homes.

South

The property at the northeast corner of Olive Avenue and Citrus Road is the proposed Zanjero Pass commercial site. Concurrent with this request is a request for rezoning from R1-8 RUPD/PAD to Neighborhood Shopping Center for this property. It is currently vacant, undeveloped land.

The property at the northwest corner of Olive Avenue and 175th Avenue alignment is vacant, undeveloped land.

The property to the south of Olive Avenue is land used for agricultural purposes.

Southwest of Olive Avenue and Citrus Road is White Tank Foothills, a small and medium lot subdivision with an undeveloped 18.5-acre commercial site at the corner of Olive Avenue and Citrus Road.

West

The property to the west, across Citrus Road is Cortessa, a small lot subdivision with an undeveloped 16.8-acre commercial site at the northwest corner of Olive Avenue and Citrus Road.

3.0 Proposal Description

Zanjero Pass is an important component of the overall Loop 303 master plan. It provides a portion of the needed residential housing to support the proposed employment uses along the Loop 303 corridor. Within the Project, is a mix of lots ranging in width from 55 to 80 feet, providing a transition from the commercial and small lot residential to the south and west to the large lot residential to the north and east. Centrally located is a community park providing the centerpiece and framework for the strategically placed multi-use paths and connected amenities throughout the community. Open Space, streetscape, and architecture provide character and continuity.

3.1 Land Uses

The Project consists of single family residential, active recreational uses, and passive open spaces. Refer to **Figure 7, Development Plan** for specific land uses. Refer to **Figure 9, Amended Zoning** for depiction of zoning districts used to support these uses.

Residential

The Project consists of four residential parcels. Parcels 2 and 3 are zoned R1-7 and have minimum lot widths of 55 and 60 feet, respectively. The 60-foot wide lots will occasionally intermix with the 55-foot wide lots in Parcel 2 to help create a diverse street scene. Parcel 4 is zoned R1-8 with a minimum lot width of 70 feet. Parcel 5 is zoned R1-10 with a minimum lot width of 80 feet. **Refer to Table 1, Site Data Table** for detailed site data information. Parcels 2 and 3 provide a transition from the adjacent commercial parcel; whereas, Parcels 4 and 5 provide a transition to the existing adjacent large lot residential developments.

TABLE 1

SITE DATA TABLE

PARCEL NUMBER	EXISTING ZONING	PROPOSED ZONING	GROSS ACREAGE	LOT COUNT	DENSITY (du/Ac)	GROSS ROW AREA (Ac)	USABLE OPEN SPACE AREA (Ac)	USABLE OPEN SPACE AREA (%)
1*	R1-8 RUPD/PAD	C-1	N/A	N/A	N/A	N/A	N/A	N/A
2	R1-8/R1-10 RUPD/PAD	R1-7 PRD	42.1	145	3.4	10.6	6.7	3.9%
3	R1-8/R1-10 RUPD/PAD	R1-7 PRD	45.5	131	2.9	9.1	12.5	7.3%
4	R1-10 RUPD/PAD	R1-8 PRD	47.1	138	2.9	10.0	5.5	3.2%
5	R1-10 RUPD/PAD	R1-10 PRD	36.9	77	2.1	9.8	1.4	0.8%
TOTAL:	-	-	171.6	491	2.9	39.5	26.1	15.2%

* Parcel 1 not a part of PRD Entitlement

Open Space

Open space is strategically placed throughout the Project providing recreation, landscaping, buffering, and pedestrian connections between the open spaces, neighborhoods, and the adjacent neighborhood shopping area. The centrally located neighborhood park and extensive trail system, including concrete paths and sidewalks, establishes the framework to connect the mini parks and other recreational amenity areas; thereby, allowing residents proximate access to all the community amenities.

The neighborhood park is intended to promote an active lifestyle for residents of the community by providing two playgrounds for different age groups, large multiuse turf area, volleyball court, benches, picnic area inclusive of ramada and barbeque grill, and the interconnecting trail system. Frequent exercise stations, large and small sport court areas containing full and half basketball courts, mini parks, and additional areas are positioned along the 8-foot concrete multiuse path.

Additional open spaces and landscaped areas are situated along the perimeter of the community establishing an inviting welcome into the community, providing a soft surface trail along Olive Avenue and Citrus Road, and buffering the adjacent community. Refer to **Figure 10a, Preliminary Master Landscape Plan** and **Figure 11, Park/Amenity Enlargement** for locations and additional amenity details.

As noted in **Figure 7, Development Plan**, the Project provides 26.1 acres, or 15.2%, usable open space as defined by the City of Glendale Residential Design and Development Manual (RDDM). Refer to **Figure 10b, Usable Open Space Exhibit** for specific locations.

3.2 Community Theme

The open space and circulation system are the primary organizing and unifying elements. A cohesive theme is carried throughout the community, establishing a strong identity among pedestrian oriented neighborhoods. Curvilinear streets are incorporated as a traffic calming measure; thus, creating a more intimate and pedestrian friendly streetscape. The community theme for the open space, landscape, and architecture are further outlined within this section of the document.

Open Space and Landscape

Central to the Project is ample open spaces and pedestrian oriented connectivity. The diverse neighborhoods are connected to a variety of community activities including parks, trails, and dispersed open spaces. The various amenities promote a strong sense of community. In particular, the open space has been designed to provide a variety of activities for all age groups, such as walking, basketball, youth soccer, tot lots, and ramadas. Retention areas meander through the development, acting as a greenbelt, and have been incorporated into the open space, creating both active and passive recreational opportunities.

To complement these amenities, the design incorporates provisions for landscape treatment within the public right-of-way, common landscaped areas, as well as treatments for private property.

Entry monumentation, wall signage, and theme walls serve as the initial greeting to the Project. The Project incorporates two separate entries into the community; each defining the overall theme. Enhanced pavers and entry monuments convey a sense of arrival consistent with the overall theme of the development, setting it apart from other developments in the area. The entry monuments connect with nature via integrated stone finish and colored concrete, rust colored beams and letters, and water features. The water is used sparingly responding to the desert environment. Refer to **Figure 13, Community Theme - Entry Monument, Gate, & Walls** for a depiction of the entry monuments.

The walls continue this theme by integrating similar colors and structure. Primary theme walls and view fencing are positioned throughout, as shown in **Figure 12, Preliminary Wall Plan**. Depictions of the walls are included in **Figure 13, Community Theme - Entry Monument, Gates, & Walls**. View fences are provided when adjacent to open spaces to expand views from individual lots and to keep the community safer by incorporating Community Prevention Through Environmental Design (CPTED) principals. The perimeter walls provide distinctive relief with use of theme columns, horizontal wall stagger, and curves.

Architectural Elements

A diversity of housing products will be provided when a homebuilder is identified. Each product will be part of an overall theme that will be determined at the time of site plan review. Refer to **Figure 8, Conceptual Residential Design** for examples of potential architectural design elements. To provide diversity in the streetscape, the garage and livable area will stagger within each lot. The arterial and collector streetscape will provide a visual variation with the use of the landscape open space tract, perimeter wall stagger, and additional rear yard depth.



Design elements and features will be incorporated into the community to promote a harmonious and distinctive atmosphere by:

- Creating visual interest through articulation of wall planes;
- Varying roof forms and other similar methods;

- Utilizing four-sided architecture; and
- Providing architectural treatments to large wall expanses.

Housing standards will create an interesting streetscape by establishing the following architectural options:

- Homebuilders shall provide not less than three (3) elevations for each house plan.
- No adjacent home or home directly across the street shall have the same elevation or roofline.
- For all pitched roofs, homebuilders shall provide at least twelve (12) inches of roof overhang (eave) to all walls.
- Homebuilders will offer homebuyers not less than six (6) house color combinations, three (3) tile colors and two (2) tile types.
- Exterior colors shall be southwestern earth tones.

Although a final home product is not yet available for review, residential buildings may include the following architectural details:

- Asymmetrical massing;
- Gable or hipped rooflines;
- Stucco or concrete fiber siding;
- Brick or stone veneers;
- Tile roofs;
- Side entry garages;
- Balconies or patios;
- Divided light windows;
- Decorative Shutters; and
- Decorative molding, pilasters, or wainscoting.



3.3 Drainage

The proposed onsite stormwater management concept for the Project consists of grading the lots to drain from the backyard to the streets, and the streets to drain toward a series of surface retention basins. Street conveyance shall occur as either surface flow within the right-of-way or in a system of underground storm drains. The retention basins will have sufficient capacity to retain runoff from the 100-year 2-hour storm event. Culverts and conveyance channels will be placed in locations where there is a need to convey offsite flows to their natural drainage paths. The offsite flow approaching the northern and western boundaries will be routed around the site using the perimeter roadways or drainage corridors placed within the adjacent open space tracts. Culverts will be constructed where the anticipated drainage crossings occur.

100-year post development runoff at locations where flows exit the Project will not exceed the pre developed runoff thus preventing adverse impacts downstream of the Zanjero Pass property. The ultimate site outfall will remain at the two southeastern corners of the property. All finished floor elevations will be set a minimum of 12 inches above the high adjacent 100-year water surface elevation and 14 inches above the emergency overflow elevation of any adjacent retention basin. Drainage design will be conducted in

accordance with all applicable City of Glendale and Maricopa County Drainage standards and regulations.

Refer to **Figure 14, Preliminary Drainage Plan** for an illustration of the proposed drainage management system. A Preliminary Drainage Report has been prepared by HilgartWilson. A copy of the report is provided in **Appendix B, Preliminary Drainage Report**.

3.4 Water and Wastewater

Water

The Project will be served by an internal network of looped 8-inch waterlines. A larger 12-inch waterline will be installed along Olive Avenue. It will tie into the existing 16-inch water main in Citrus Road and extend east to 175th Avenue, where it will tie into the existing 12-inch water main along Olive Avenue. The looped water system infrastructure for the Project will make two connections to the existing 16-inch water main in Citrus Road, one connection to the proposed 12-inch water main in Olive Avenue, one connection to the existing 8-inch waterline in 175th Avenue, and one connection to the existing 6-inch waterline in 175th Avenue.

Refer to **Figure 15, Water Layout Plan** for an illustration of the proposed water system. A Preliminary Water Report has been prepared by HilgartWilson. A copy of the report is provided in **Appendix C, Preliminary Water Report**.



Wastewater

The Project will be served by an internal network of 8-inch gravity sewer lines. The gravity sewer lines in the north and east portions of the Project will generally route wastewater from each of the units to 175th Avenue along the east side of the site, where the onsite collection lines will have two points of connection to a proposed 8-inch gravity sewer main in 175th Avenue. The 8-inch gravity sewer main in 175th Avenue will convey wastewater flows south toward Olive Avenue. The gravity sewer lines in the west portion of the Project will route wastewater to the southern boundary, where the onsite collection lines will have one point of connection to a proposed 8-inch gravity sewer main in Olive Avenue. The 8-inch sewer main in Olive Avenue will convey wastewater flows east towards 175th Avenue. The proposed 8-inch gravity sewer mains in Olive Avenue and 175th Avenue will tie into a proposed manhole at the intersection of Olive Avenue and 175th Avenue. A sewer line will then extend easterly in Olive Avenue and will connect to the regional wastewater infrastructure being constructed by Global Water.

Refer to **Figure 16, Wastewater Layout Plan** for an illustration of the proposed wastewater system. A Preliminary Wastewater Report has been prepared by HilgartWilson. A copy of the report is provided in **Appendix D, Preliminary Wastewater Report**.

3.5 Circulation and Access

The Project has direct access from Citrus Road, Olive Avenue and 175th Avenue. Each of these perimeter roads will be constructed to Maricopa County standards. The Project is located west and within close proximity to the Loop 303 and Northern Parkway, affording opportunities for local and regional connectivity.

The Project internally provides a system of public curvilinear local streets. The local street will be constructed to City of Glendale standards. Refer to **Figure 4, Street Circulation and Cross-Sections** for location, classification, and ultimate cross-sections of perimeter and interior streets.

A Preliminary Traffic Study has been prepared by CivTech for Zanjero Pass. A copy of the report is provided in **Appendix E, Master Traffic Impact Analysis**.

4.0 Development Standards

The Project shall conform to all of the City of Glendale Development standards except as indicated in **Table 2, Amended Single Residence Districts Development Standards**.

**TABLE 2
AMENDED SINGLE RESIDENCE DISTRICTS DEVELOPMENT STANDARDS**

District	Min. Net Lot Area	Min. Width	Min. Depth	Min. Setback ¹				Max. Struc- ture Ht. ¹	Max. % Lot Cover- age
				Front	Rear	Side	Street Side		
R1-10	10,000	90 80	100	15– 20 18 ²	25	10	10	30	40 45
R1-8	8,000	80 70	100	15– 20 18 ²	20	5 & 10 ⁴	10	30	40 45
R1-7	7,000 6,500 ⁶	70 55	100	15– 20 18 ²	20	5 & 10 ⁴	10	30	40 55/50 ⁸

¹ Two story maximum, refer to Section 7.300 for accessory buildings.

² 15 feet to living area, **or side entry garage, 18 feet to face of** garages or carport. In all cases, front facing garages shall be set back a minimum of 20 feet from the back of sidewalk.

⁴ Minimum ~~15~~ 10 feet separation between buildings on adjacent lots.

⁶ **The average lot size for Parcel 2 shall exceed 7,000 S.F. The minimum lot size for Parcel 3 is 7,000 S.F.**

⁷ Architectural design elements may encroach into building setback.

⁸ Maximum lot coverage is 55% when less than 7,000 sq.ft. lot area and 50% when exceeding 7,000 sq.ft. lot area.

5.0 Residential Design and Development Guidelines

The Project shall conform to the Zoning District Regulations of the City of Glendale Code of Ordinances, Section 5.300 except as amended as in Section 4.0, **Table 2, Amended Single Residence Districts Development Standards** of this document.

The Project is significantly in compliance and meets the intent of the Residential Design and Development Manual (RDDM). **Appendix F, Residential Design and Development Manual Project Compliance** responds the specific design elements as they relate to the Project. As the Project proceeds through the design process, additional guidelines may be waived as long as justification is provided.

6.0 Phasing

The Project may be developed in phases. Phasing will be dependent on market conditions, industry factors, and/or business considerations. If phased, the required infrastructure shall be in place at the time of development.

7.0 Public Utilities and Services

Utilities to serve the development are currently available or will be brought to the site during development. Following are the various utility providers for the property.

Water:	EPCOR Water
Wastewater:	Global Water Resources
Electrical Service:	Arizona Public Service (APS)
Telephone:	Century Link
Cable TV:	Cox Communications
Gas:	Southwest Gas Company
Fire Protection:	City of Glendale Fire Department
Police Protection:	City of Glendale Police Department
Refuse	Allied Waste
School District	Dysart Unified School District

8.0 Maintenance of Streets and Common Areas

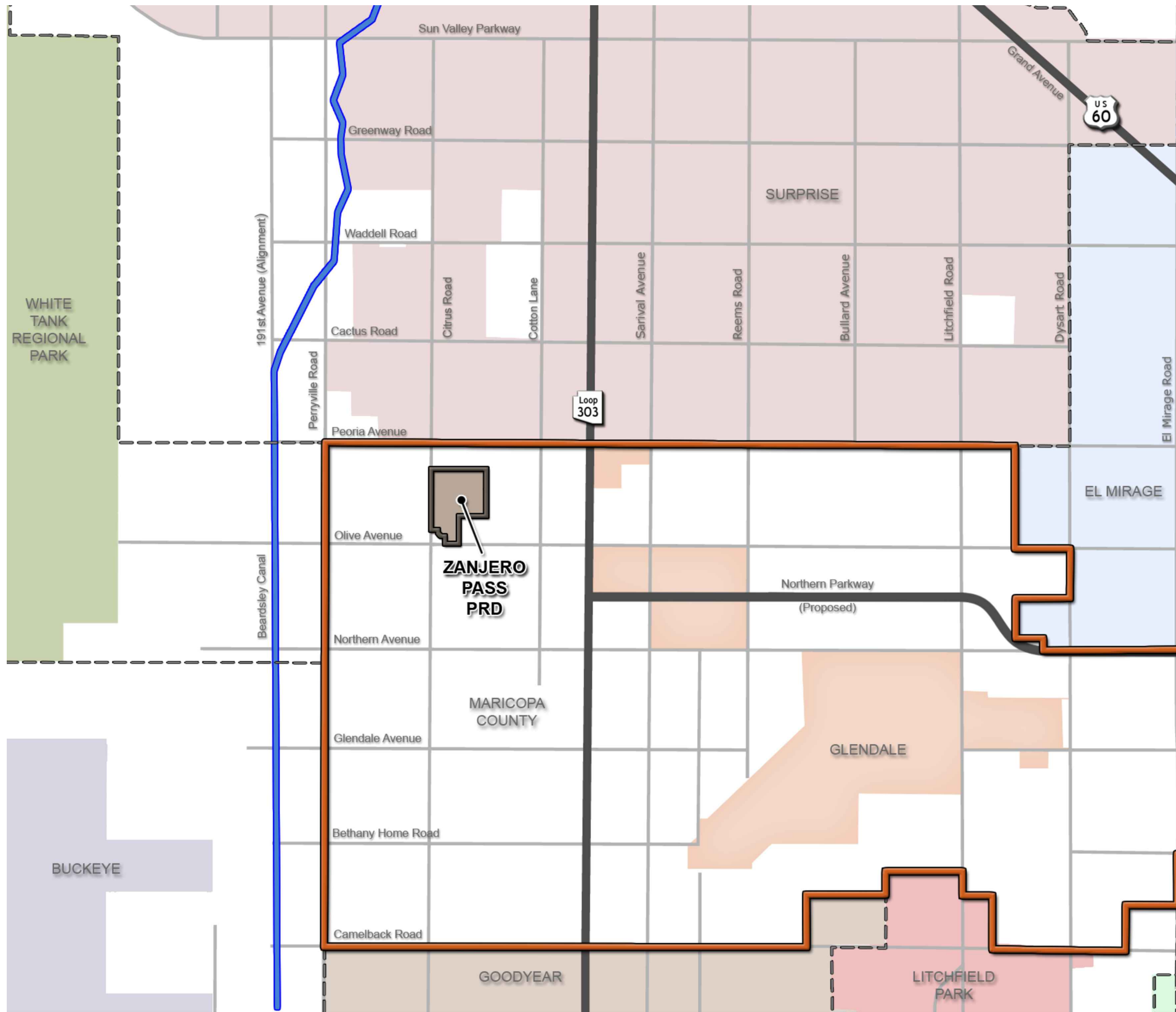
Perimeter arterial and collector streets are public County roads and will be constructed in accordance with County standards. They will be maintained by Maricopa County upon approval and acceptance by the County.

Local streets are public City roads and will be constructed in accordance with City of Glendale standards. They will be maintained by the City of Glendale upon approval and acceptance by the City.

Private open space common areas will be maintained by the Zanjero Pass Homeowners Association.



FIGURES

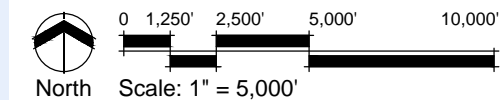


Zanjero Pass

Single Family Residential

Glendale, Arizona

Planned Residential Development



Vicinity Map

Figure 1

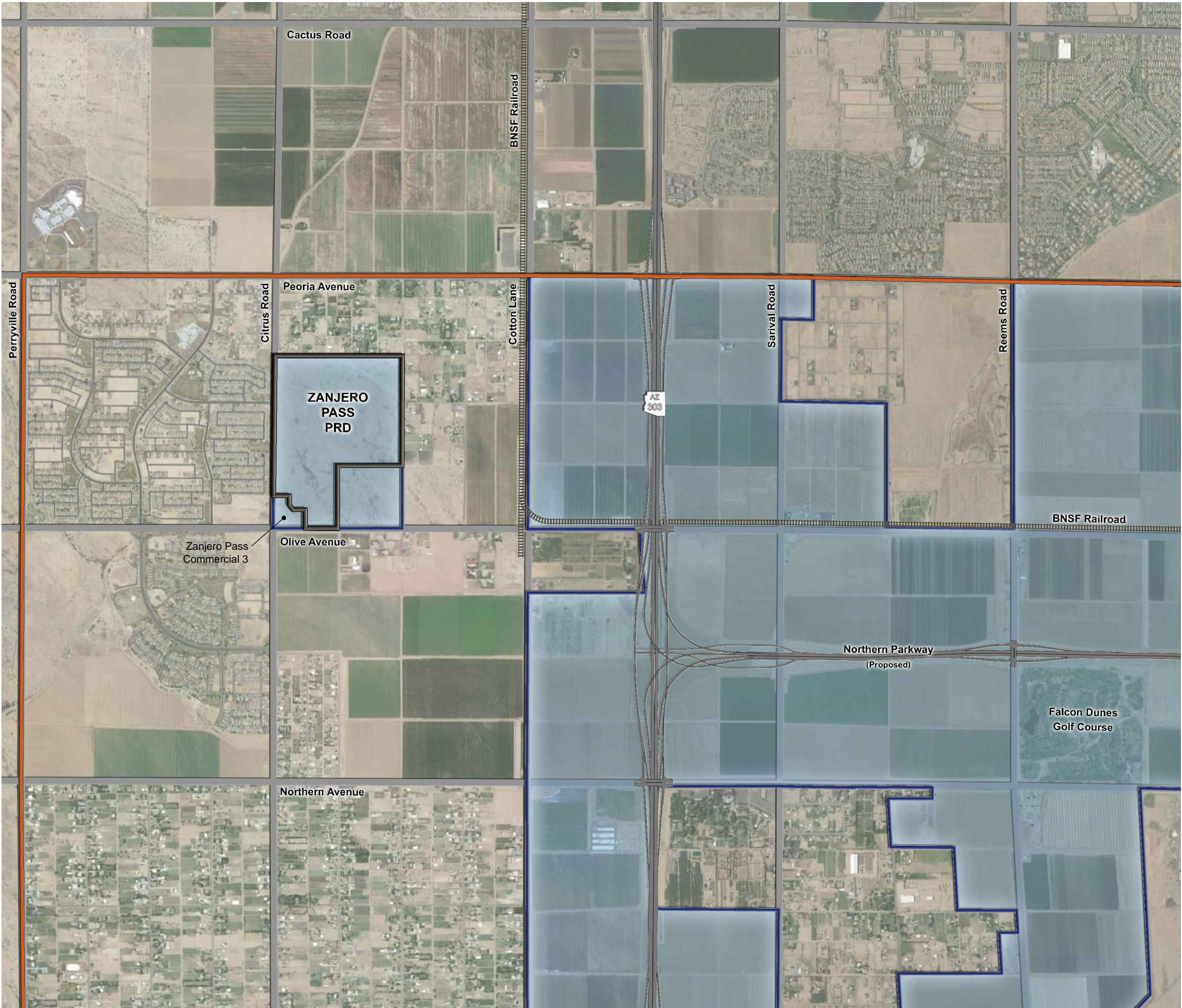
Legend

- City of Glendale
- Municipal Planning Area
- Surrounding Municipal Planning Areas

Project Number: 1066.01
Project Manager: R. Hilgart
Designed By: T. Bonar
Graphics By: C. Klock
Drawn By: C. Klock

hilgartwilson
ENGINEERS • PLANNERS • SURVEYORS
SEPTEMBER 10, 2013

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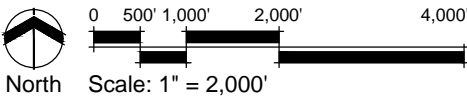


Zanjero Pass

Single Family Residential

Glendale, Arizona




Planned Residential Development



Aerial Map

Figure 2

Legend

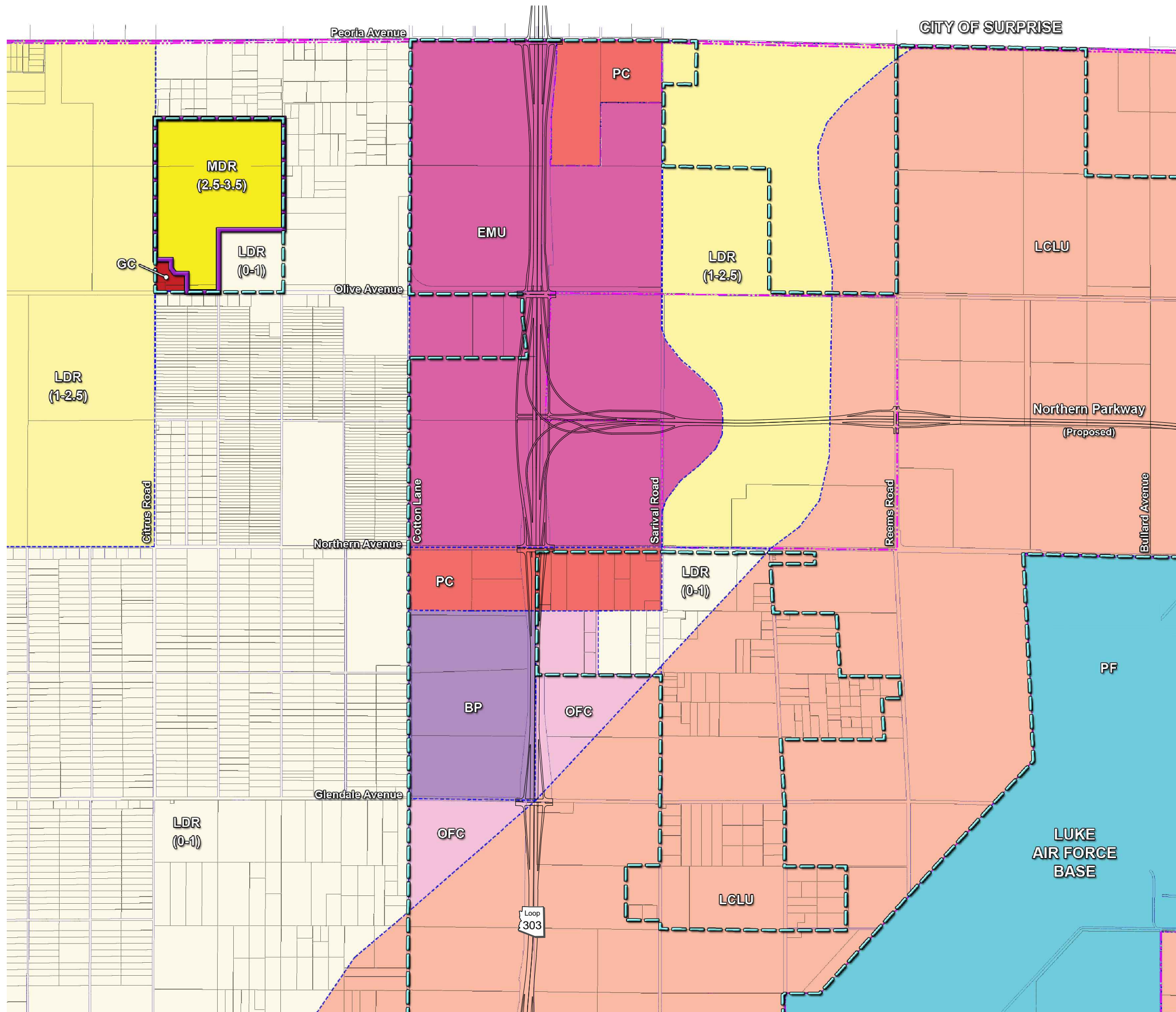
-  PRD Boundary
-  City of Glendale
Municipal Planning Area
-  Loop 303 Corridor Group Area

Project Number: 1066.01
Project Manager: R. Hilgart
Designed By: T. Bonar
Graphics By: C. Klock
Drawn By: C. Klock



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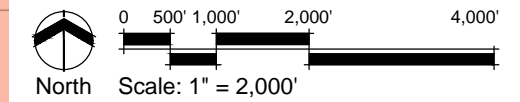


Zanjero Pass

Single Family Residential

Glendale, Arizona

Planned Residential Development



General Plan Land Use

Figure 3

Legend

	PRD Boundary
	Loop 303 Corridor Boundary
	LDR - (Low Density Residential) (0-1 du/ac)
	LDR - (Low Density Residential) (1-2.5 du/ac)
	MDR - (Medium Density Residential) (2.5-3.5 du/ac)
	LCLU - (Luke Compatible Land uses)
	BP - (Business Park)
	EMU - (Entertainment Mixed Use)
	OFC - (Office)
	PF - (Public Facility)
	PC - (Planned Commercial)
	GC - (General Commercial)

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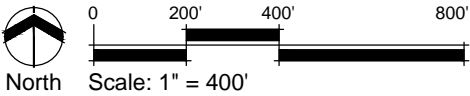
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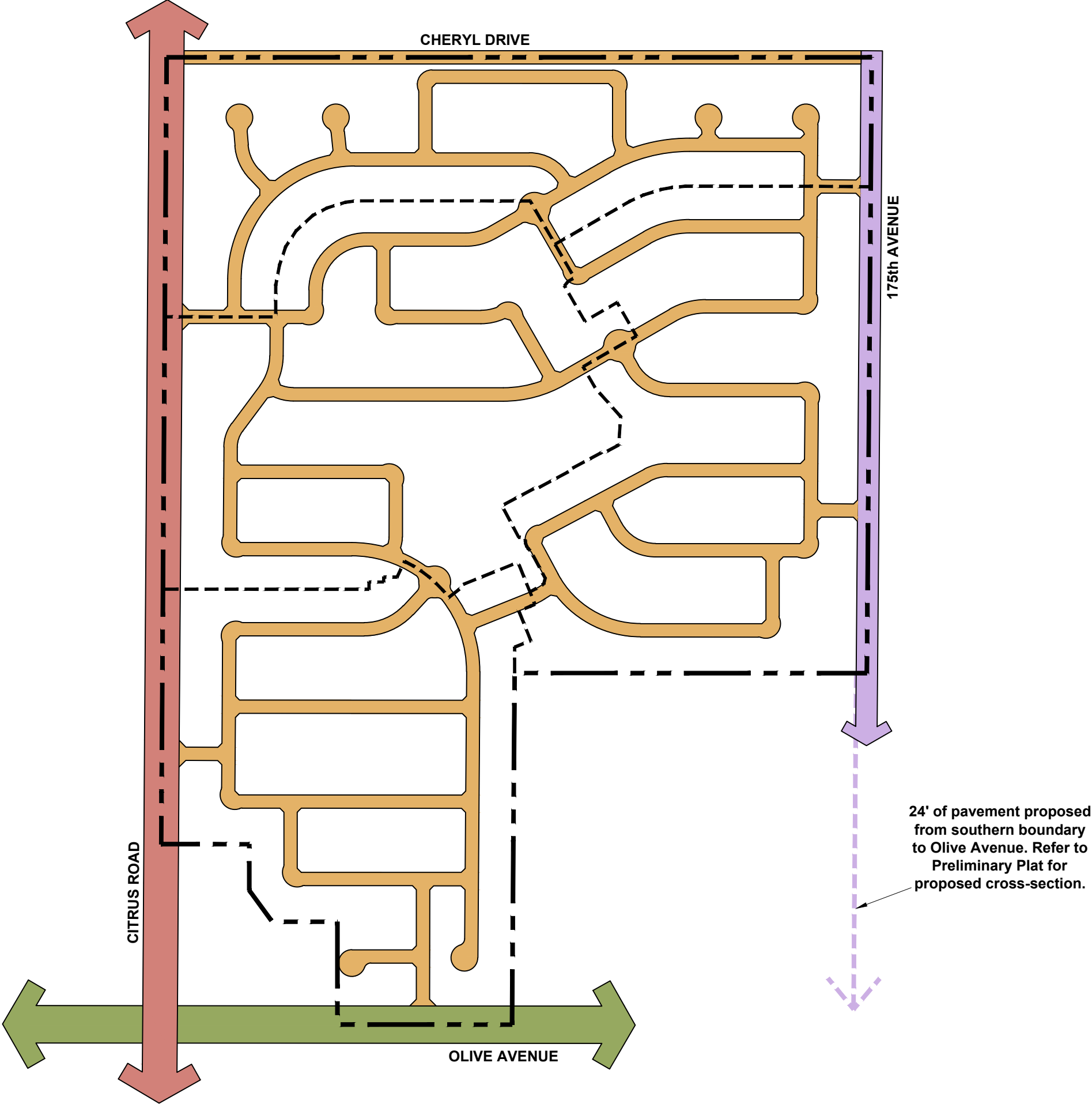
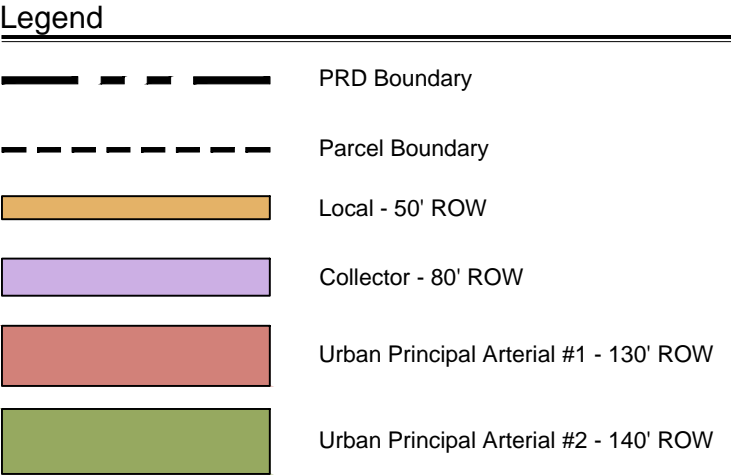
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SEPTEMBER 10, 2013

Zanjero Pass

Single Family Residential
Glendale, Arizona
Planned Residential Development



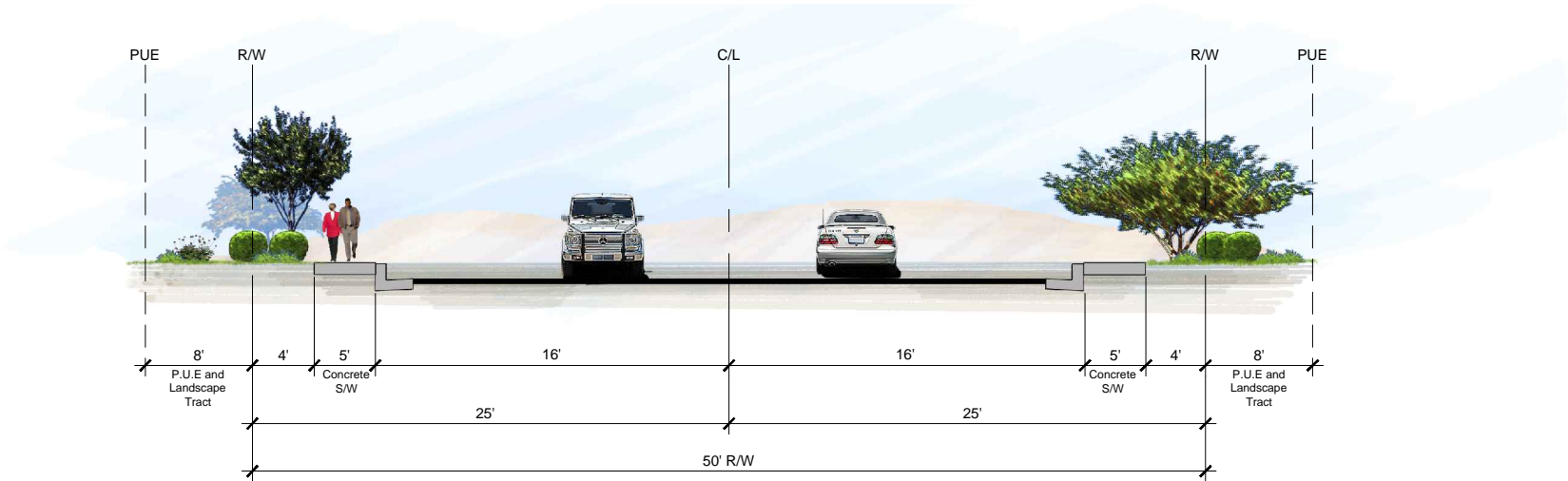
Street Circulation and Cross-Sections
Figure 4



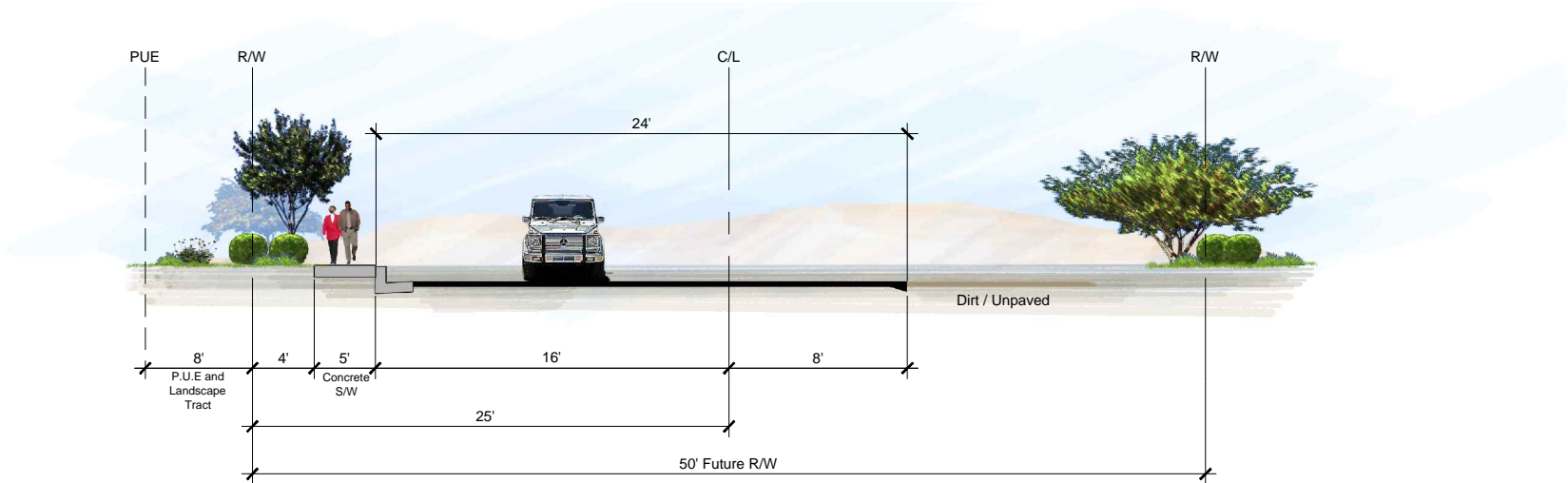
Zanjero Pass

Single Family Residential
Glendale, Arizona
Planned Residential Development

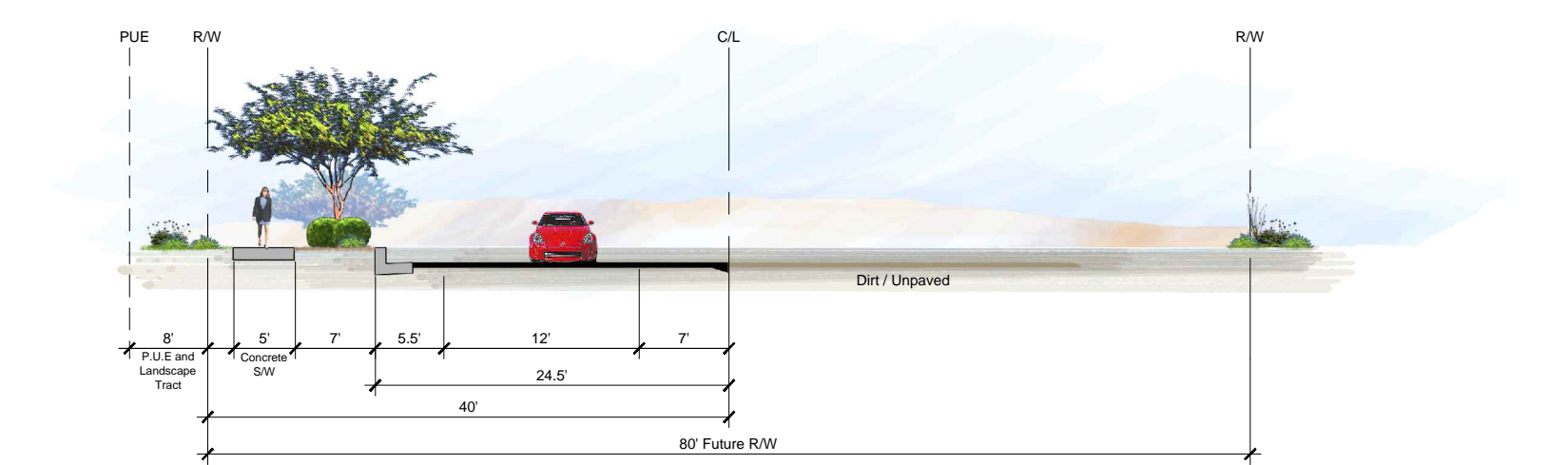
Not to Scale
Street Circulation and Cross-Sections
Figure 4a



Detail # 1
Local Road (Interior)



Detail # 2
Local Road
(Cheryl Drive 1/2 ROW - Looking West)



Detail # 3
Urban Major Collector
(175th Avenue 1/2 ROW - Looking North)

Zanjero Pass

Single Family Residential

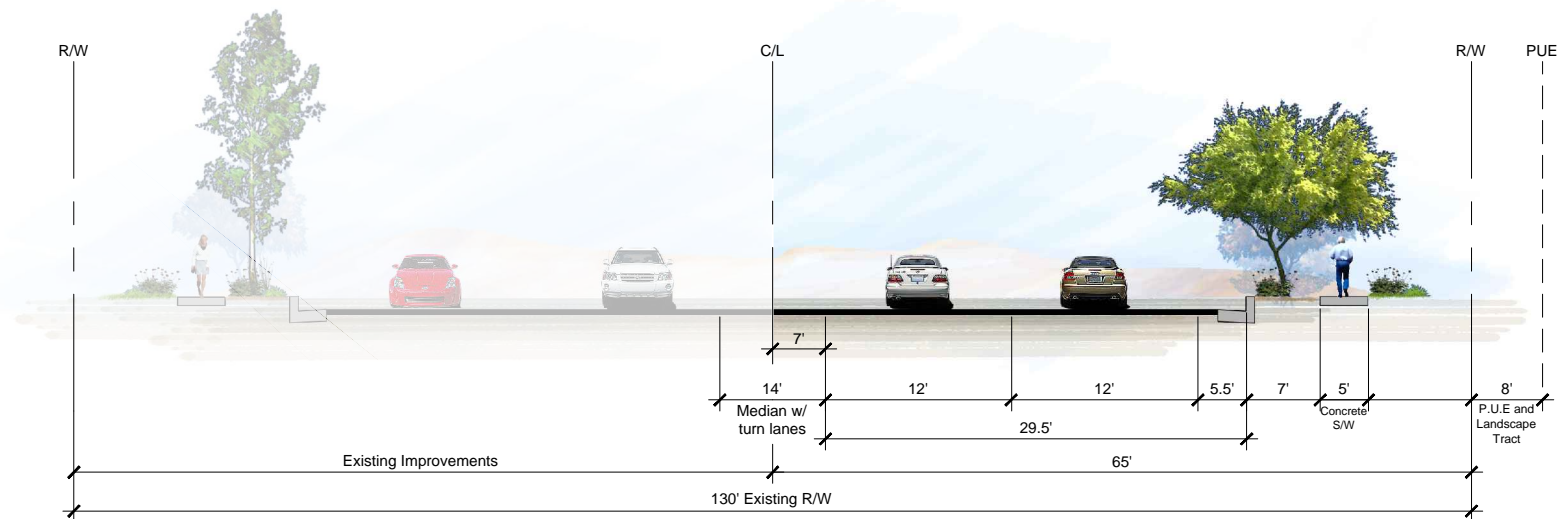
Glendale, Arizona

Planned Residential Development

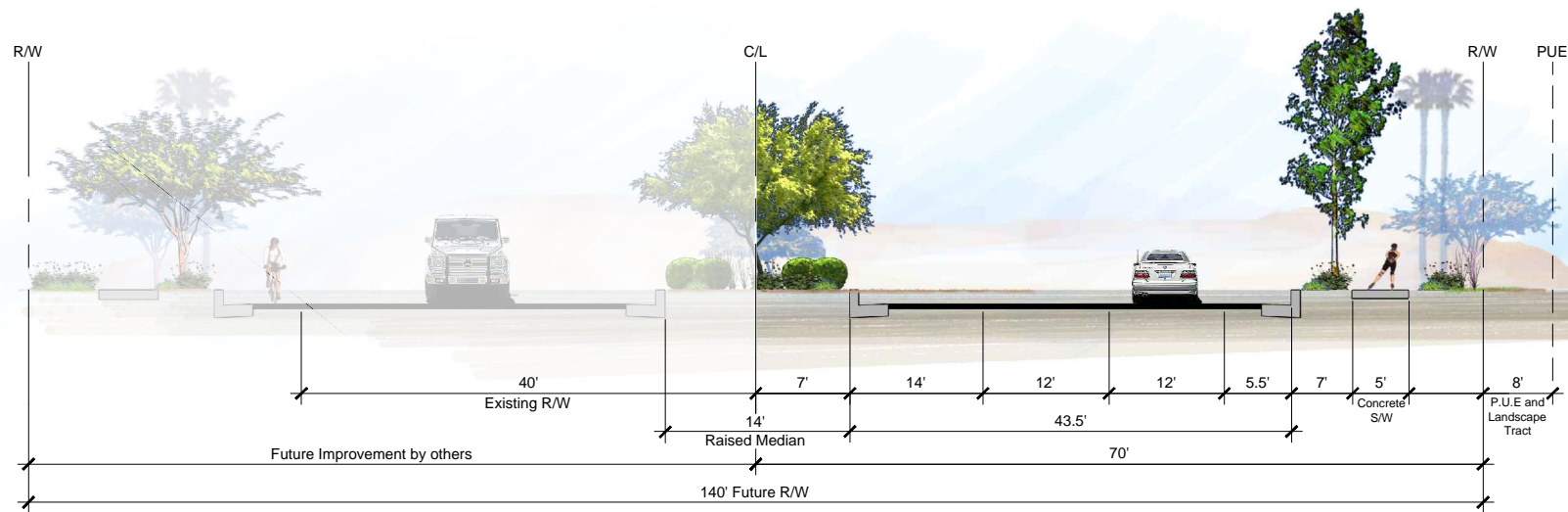
Not to Scale

Street Circulation and Cross-Sections

Figure 4b



Detail # 4
Urban Principle Arterial #1
(Citrus Road 1/2 ROW- Looking North)



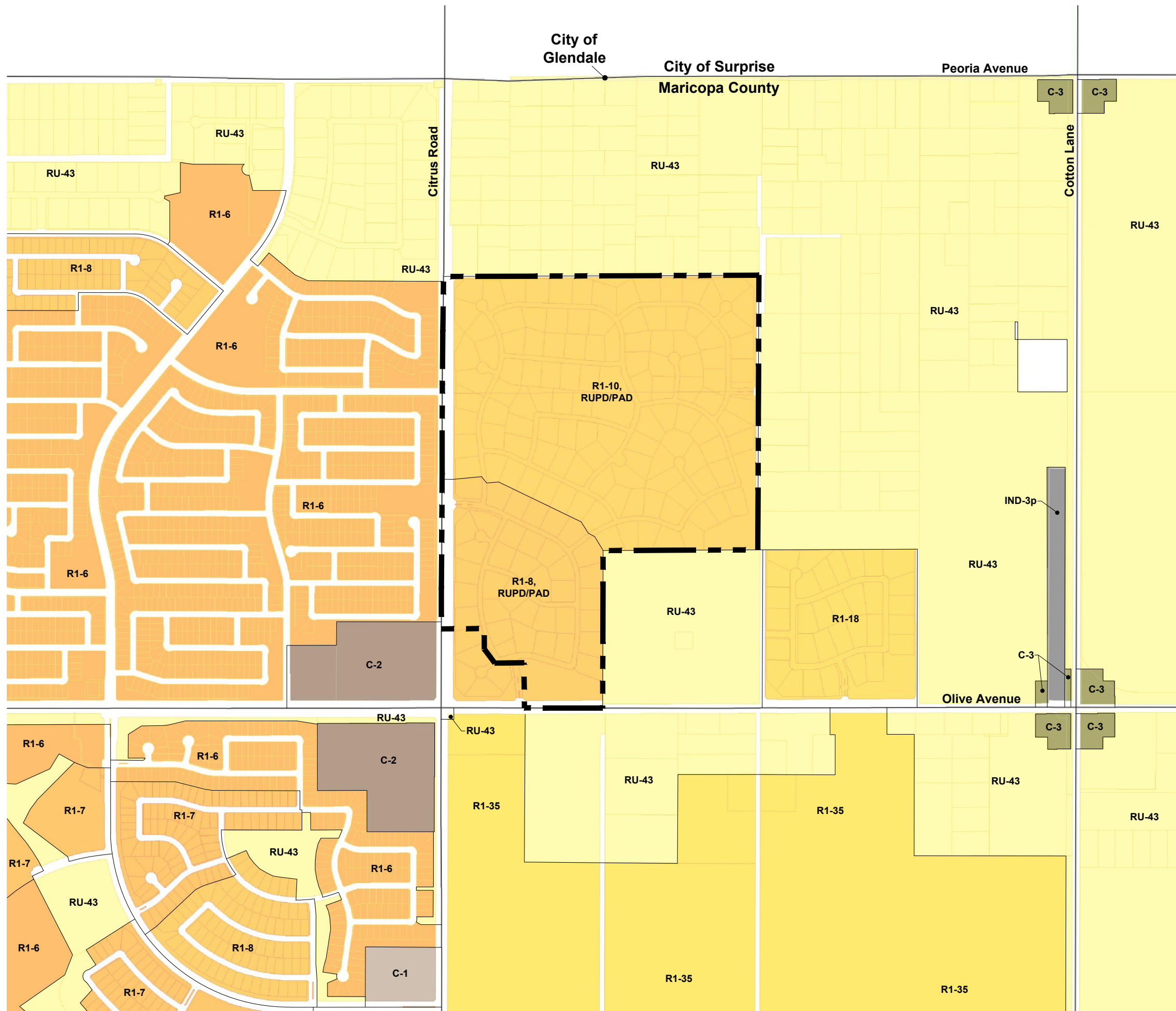
Detail # 5
Urban Principle Arterial #2
(Olive Avenue 1/2 ROW - Looking West)

Project Number: 1066.01
Project Manager: R. Hilgart
Designed By: T. Bonar
Graphics By: C. Klock
Drawn By: C. Klock

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SEPTEMBER 10, 2013

U:\1000\1066.01 - Maricopa Water\PLANNING\ENTITLEMENT\Zoning-PRD\1st Submittal\Figures\1066.01-PRD-Figure-04a-b-Cross-Sections.dwg 9/10/2013 12:32 PM

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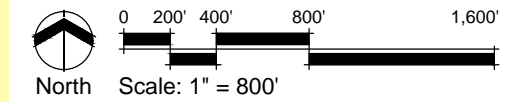


Zanjero Pass

Single Family Residential

Glendale, Arizona

Planned Residential Development



Existing Zoning

Figure 5

Legend

PRD Boundary

Zoning Districts

	R1-6
	R1-7
	R1-8
	R1-10
	R1-18
	R1-35
	RU-43
	C-1
	C-2
	C-3
	IND-3p

Notes

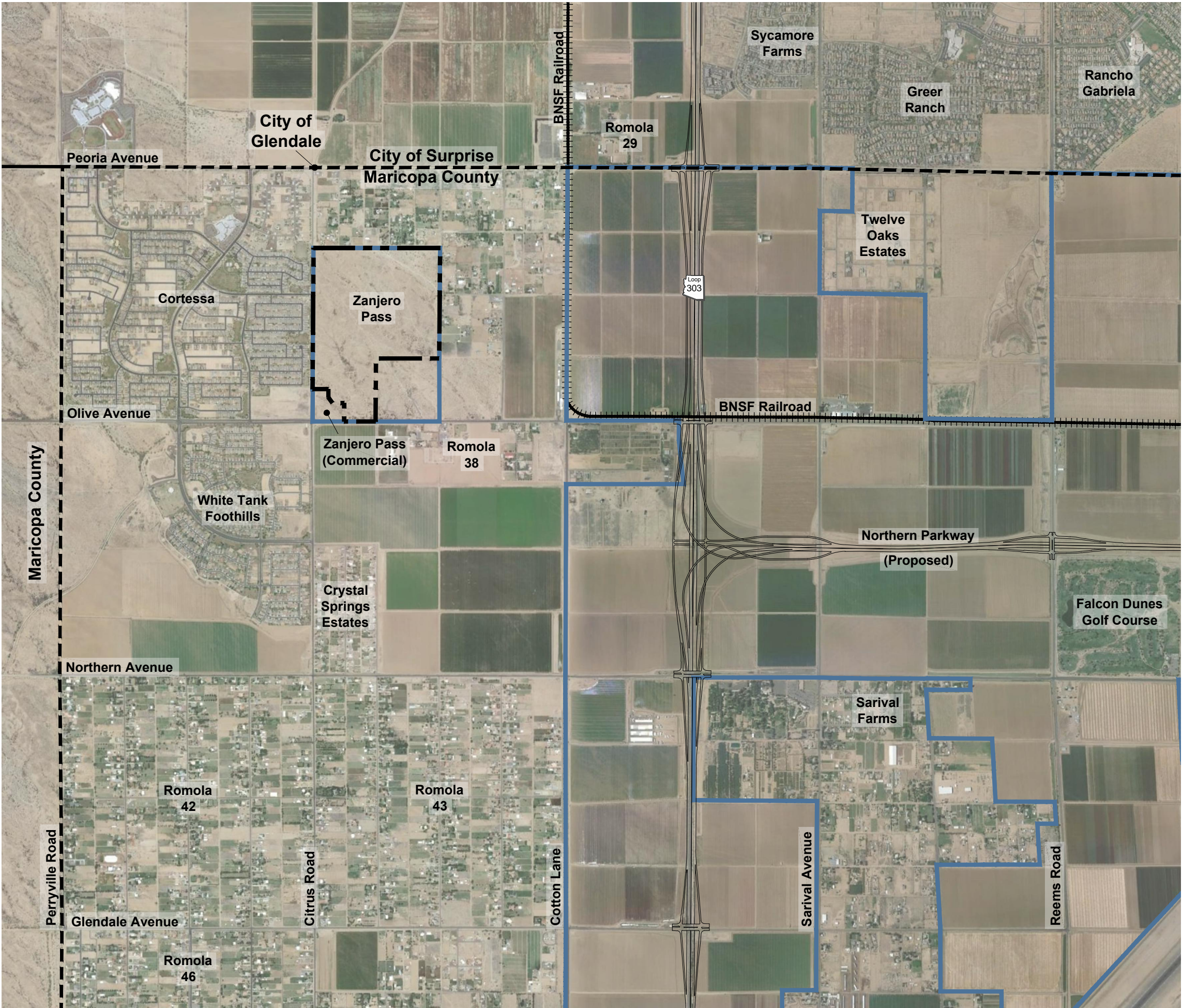
- Maricopa County zoning information used in this exhibit is based on the Maricopa County Plannet website, found here:
<http://planning.maricopa.gov/plannet/>

Project Number: 1066.01
Project Manager: R. Hilgart
Designed By: T. Bonar
Graphics By: C. Klock
Drawn By: C. Klock

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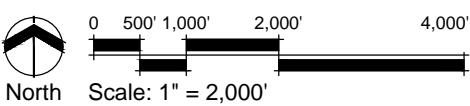
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SEPTEMBER 10, 2013



Zanjero Pass

Single Family Residential
Glendale, Arizona
Planned Residential Development

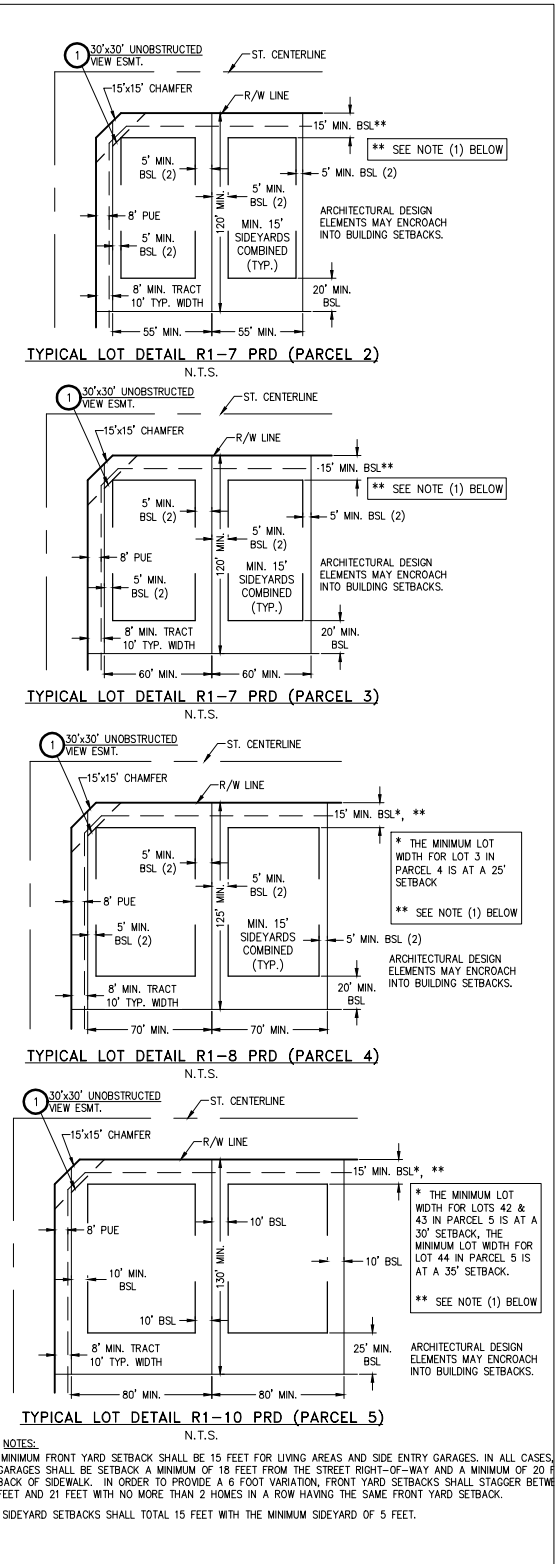
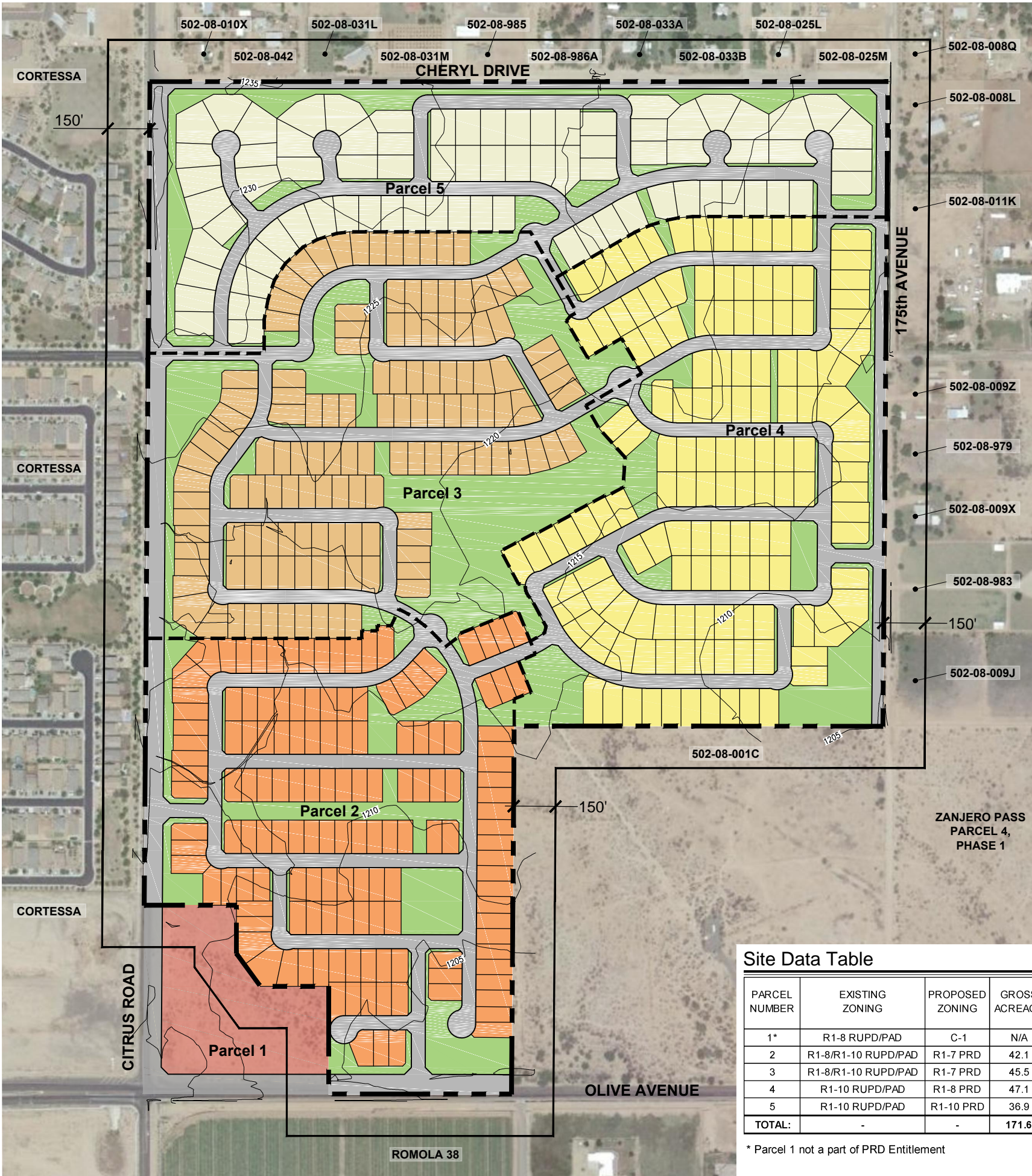


Surrounding Properties

Figure 6

Legend

- PRD Boundary
- City of Glendale
- Loop 303 Corridor Group Area



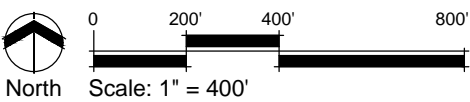
Site Data Table

PARCEL NUMBER	EXISTING ZONING	PROPOSED ZONING	GROSS ACREAGE	LOT COUNT	DENSITY (du/Ac)	GROSS ROW AREA (Ac)	USABLE OPEN SPACE AREA (Ac)	USABLE OPEN SPACE AREA (%)
1*	R1-8 RUPD/PAD	C-1	N/A	N/A	N/A	N/A	N/A	N/A
2	R1-8/R1-10 RUPD/PAD	R1-7 PRD	42.1	145	3.4	10.6	6.7	3.9%
3	R1-8/R1-10 RUPD/PAD	R1-7 PRD	45.5	131	2.9	9.1	12.5	7.3%
4	R1-10 RUPD/PAD	R1-8 PRD	47.1	138	2.9	10.0	5.5	3.2%
5	R1-10 RUPD/PAD	R1-10 PRD	36.9	77	2.1	9.8	1.4	0.8%
TOTAL:	-	-	171.6	491	2.9	39.5	26.1	15.2%

* Parcel 1 not a part of PRD Entitlement

Zanjero Pass

Single Family Residential
Glendale, Arizona
Planned Residential Development



Development Plan
Figure 7

Legend

- PRD Boundary
- Parcel Boundary
- 150' Adjacent Property Owners Boundary
- 55' x 120' Lots*
- 60' x 120' Lots
- 70' x 125' Lots
- 80' x 130' Lots
- Commercial (not a part of PRD)
- Open Space

Notes

- * A mix of minimum 55' & 60' lot widths will be provided.
- See Figure 10a for Preliminary Master Landscape Plan.
- See Figure 10b for Usable open Space Exhibit
- See Figure 14 for Preliminary Drainage Information.
- See Figure 15 for Water Layout Plan.
- See Figure 16 for Wastewater Layout Plan.



Zanjero Pass

Single Family Residential

Glendale, Arizona

Planned Residential Development

Conceptual Residential Designs

Figure 8

Common Design Elements

- Articulation of wall planes
- Varying roof forms
- Four-sided architecture
- Architectural treatments to large wall expanses

Potential Architectural Details

- Assymetrical massing
- Gable or hipped rooflines
- Stucco or concrete fiber siding
- Brick or stone veneers
- Tile roofs
- Side entry garages
- Balconies or patios
- Divided light windows
- Decorative shutters
- Decorative molding, pilasters, or wainscoting

Notes

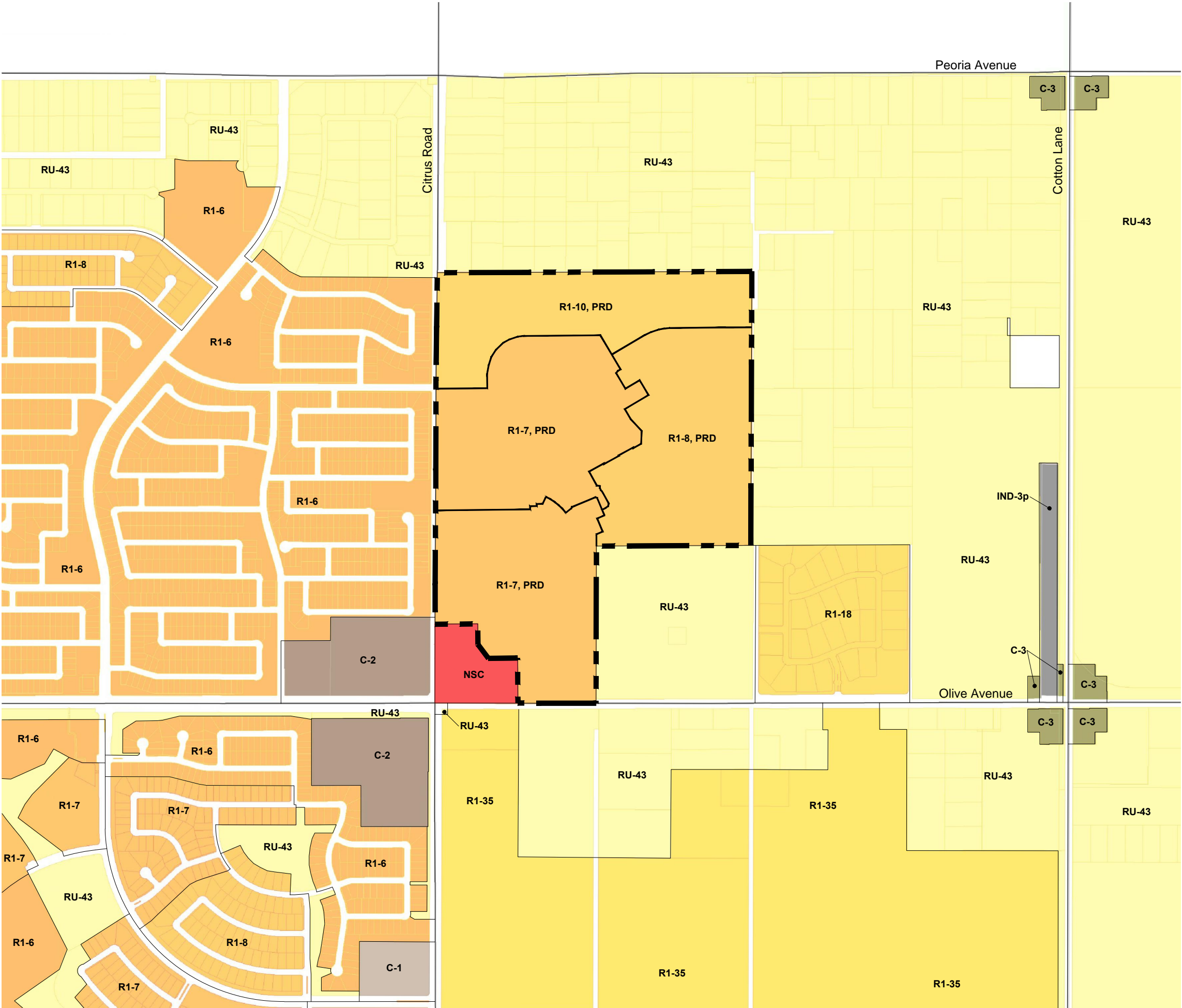
Housing products are examples only. The architectural character and floor plans will be defined at the time of design review, once a homebuilder is identified. The Project will have an overall architectural theme with a comprehensive color palette and exterior materials.

Project Number: 1066.01
Project Manager: R. Hilgart
Designed By: T. Bonar
Graphics By: C. Klock
Drawn By: C. Klock

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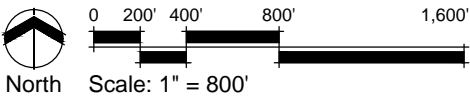


Zanjero Pass

Single Family Residential

Glendale, Arizona

Planned Residential Development



Amended Zoning

Figure 9

Legend

- PRD Boundary
- PRD Parcel Boundary

Zoning Districts (Maricopa County)

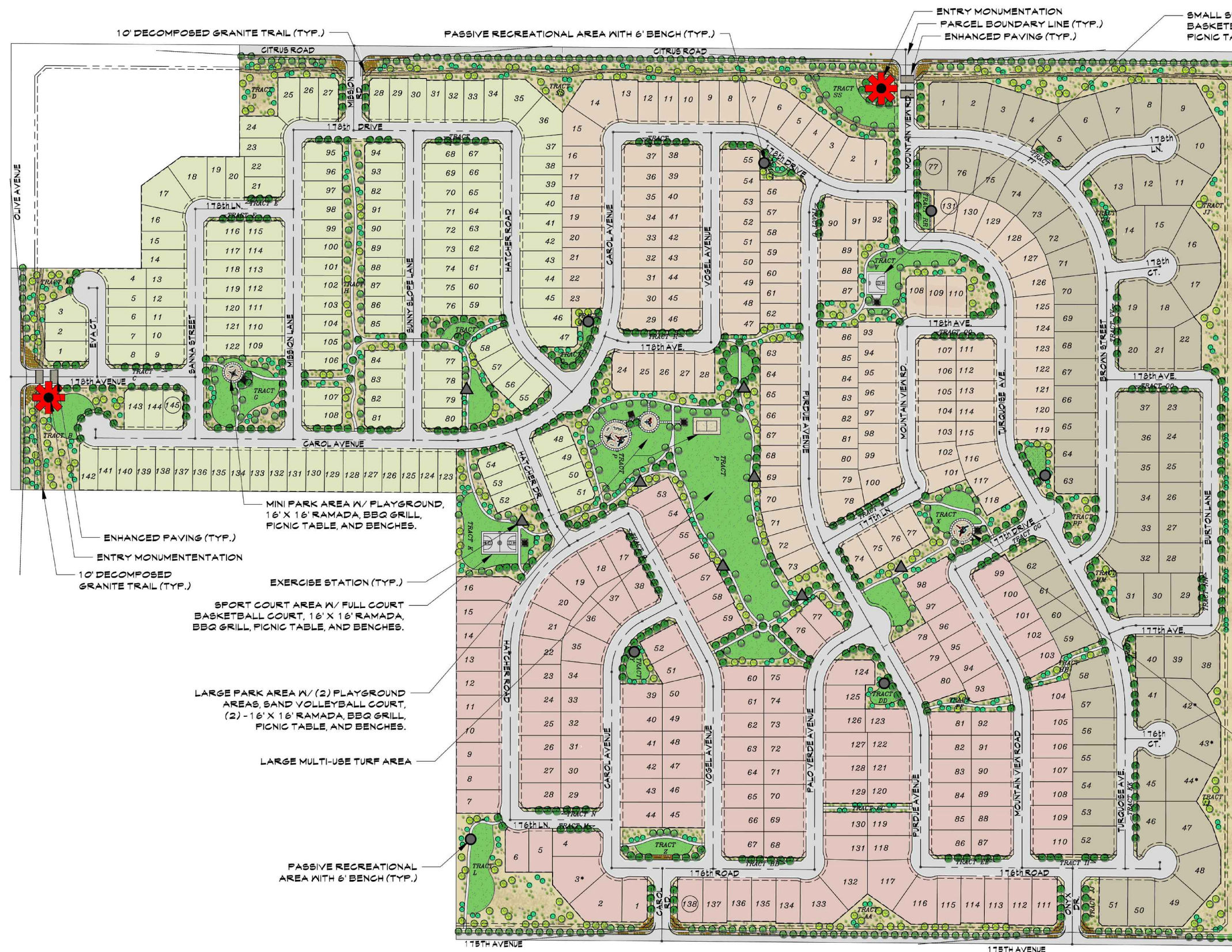
- R1-6
- R1-7
- R1-8
- R1-10
- R1-18
- R1-35
- RU-43
- C-1
- C-2
- C-3
- IND-3p

Zoning Districts (City of Glendale)

- R1-7, PRD
- R1-8, PRD
- R1-10, PRD
- C-1, Neighborhood Commercial

Notes

- Maricopa County zoning information used in this exhibit is based on the Maricopa County Plannet website, located at: <http://planning.maricopa.gov/plannet/>



PLANT LEGEND

LARGE - MEDIUM CANOPY TREES

PARKINSONIA HYBRID	DESERT MUSEUM (THORNLESS PALO VERDE)
FRAXINUS VELUTINA	FAN-TEX ASH
FRAXINUS VELUTINA	FOOTHILL PALO VERDE
PARKINSONIA MICROPHYLLUM	PALO BREA
PARKINSONIA PRAECOX	RIO SALADO MESQUITE
PROSOPIA SP. RIO SALADO	BLUE PALM VERDE
PARKINSONIA FLORIDUM	CHINESE EVERGREEN ELM
ULMUS PARVIFOLIA	

MEDIUM - SMALL CANOPY TREES

ACACIA ANEURA	MULGA TREE
PITHECELLOBIUM FLEXICAULE	TEXAS EBONY
QUERCUS VIRGINIANA	HERITAGE LIVE OAK
HERITAGE	
PISTACIA LENTISCUS	MASTIC TREE
PISTACIA SPECIES	RED PINE PISTACHE
CAESALPINIA CACALACO	THORNLESS CASCALOTE
SMOOTHIE	

SHRUBS (5 GAL.)

AMBROSIA DELTOIDEA	BURSAGE
BOUGAINVILLEA SPECIES	B. KARST BOUGAINVILLEA
BOUGAINVILLEA FLAME	BUSH BOUGAINVILLEA
CASSIA PHYLLODENIA	SILVERY CASSIA
CASSIA NEMOPHILA	GREEN CASSIA
TECOMA SPECIES	"LUDIA"
EREMOPHILA SPECIES	BRITTLE BUSH
LARREA TRIDENTATA	VALENTINE BUSH
LEUCOPHYLLUM CANDIDUM	CREOSOTE BUSH
THUNDER CLOUD	THUNDERCLOUD SAGE
LEUCOPHYLLUM FRUTESCENS	GREEN CLOUD SAGE
"GREEN CLOUD"	
LEUCOPHYLLUM LANGMANIAE	RIO BRAVO TEXAS SAGE
MULLENBERGIA RIGENS	DEER GRASS
SOPHORA SECUNDFLORA	TEXAS MOUNTAIN LAUREL
SIMMONDSIA CHINENSIS	JOJOBA
CAESALPINIA SPECIES	DESERT BIRD OF PARADISE
RUPELLIA PENINSULARIS	BAJA RUPELLIA

ACCENTS

AGAVE SPECIES	AGAVE
DASYLIRION WHEELERI	DESERT SPOON
FOUGIERIA SPLENDENS	COOTILLO
HESPERALOE FARVIFLORA	RED YUCCA

GROUND COVER

ACACIA REDOLENS	DESERT CARPET
CARISSA MACROCARPA	NATAL PLUM
GREEN CARPET	
CALLISTEMON SPECIES	LITTLE JOHN BOTTLEBRUSH
LANTANA CAMARA	NEW GOLD LANTANA
LANTANA CAMARA	NEW RED LANTANA
ROSMARINUS IRENE	IRENE ROSEMARY

DECOMPOSED GRANITE - 5/4" SCREENED	
2" DEPTH - COLOR TBD	
TURF - MIDIRON HYBRID BERMUDA SOD (OR HYDROSEED	
VAR. BLACKJACK)	

NOTES:

1. MINIMUM 50% OF THE TREES TO BE 24" BOX.
2. ALL SHRUBS TO BE 5 GALLON.
3. 60% OF GROUND COVER TO BE VEGETATIVE.

TOTAL TURF AREA:	287,988 SQ. FT.
TOTAL ON-SITE LS AREA:	1,419,770 SQ. FT.
% OF TURF:	20%

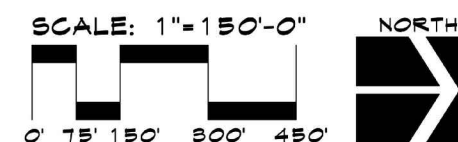
MINI PARK AREA W/ PLAYGROUND,
16' X 16' RAMADA, BBQ GRILL,
PICNIC TABLE, AND BENCHES.

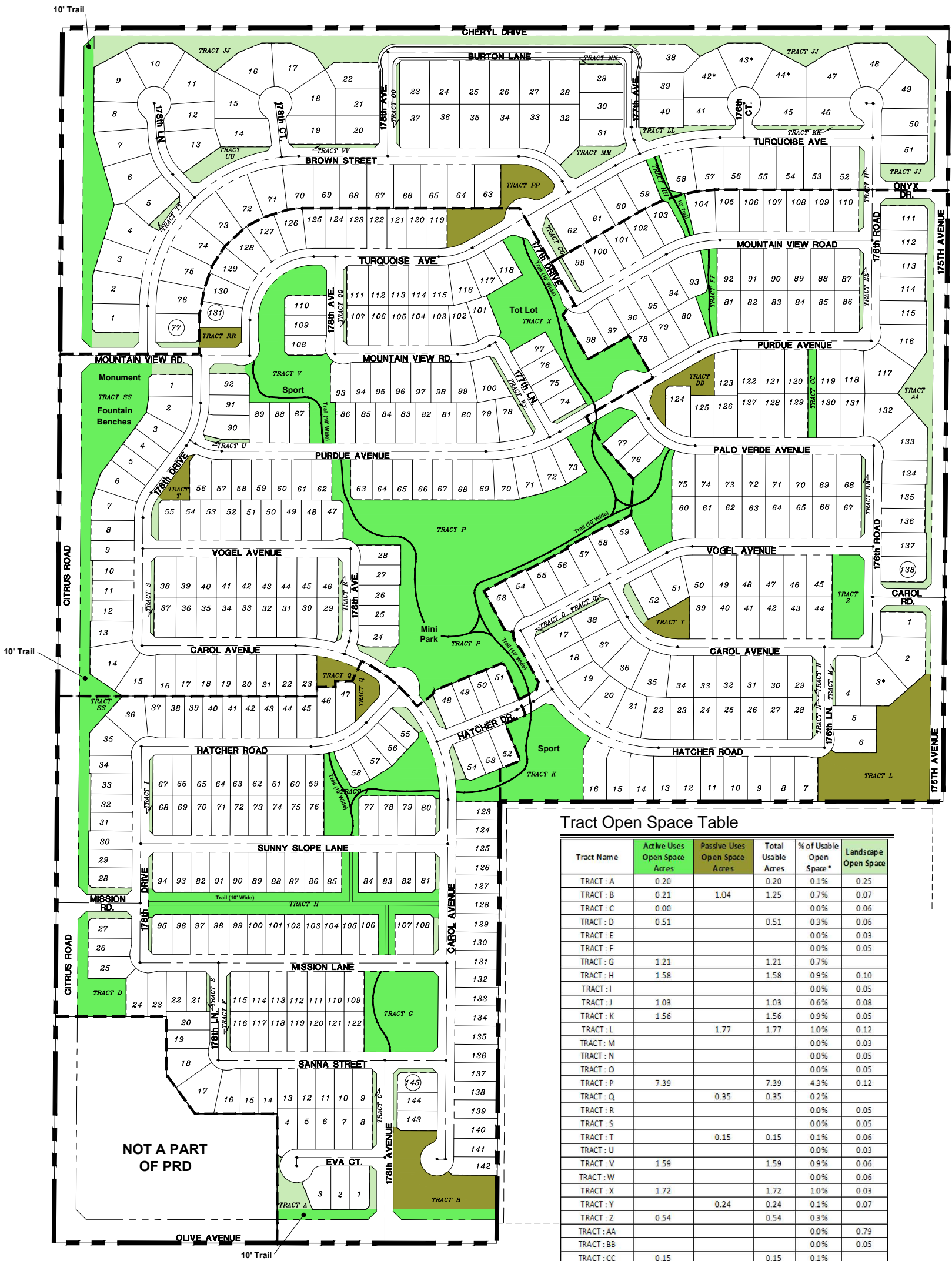


ZANJERO PASS PRELIMINARY MASTER LANDSCAPE PLAN

NE OF OLIVE AVE. AND CITRUS RD. - GLENDALE, AZ
SEPTEMBER 10, 2013

Figure 10a





Tract Open Space Table

Tract Name	Active Uses Open Space Acres	Passive Uses Open Space Acres	Total Usable Acres	% of Usable Open Space*	Landscape Open Space
TRACT : A	0.20		0.20	0.1%	0.25
TRACT : B	0.21	1.04	1.25	0.7%	0.07
TRACT : C	0.00			0.0%	0.06
TRACT : D	0.51		0.51	0.3%	0.06
TRACT : E				0.0%	0.03
TRACT : F				0.0%	0.05
TRACT : G	1.21		1.21	0.7%	
TRACT : H	1.58		1.58	0.9%	0.10
TRACT : I				0.0%	0.05
TRACT : J	1.03		1.03	0.6%	0.08
TRACT : K	1.56		1.56	0.9%	0.05
TRACT : L		1.77	1.77	1.0%	0.12
TRACT : M				0.0%	0.03
TRACT : N				0.0%	0.05
TRACT : O				0.0%	0.05
TRACT : P	7.39		7.39	4.3%	0.12
TRACT : Q		0.35	0.35	0.2%	
TRACT : R				0.0%	0.05
TRACT : S				0.0%	0.05
TRACT : T		0.15	0.15	0.1%	0.06
TRACT : U				0.0%	0.03
TRACT : V	1.59		1.59	0.9%	0.06
TRACT : W				0.0%	0.06
TRACT : X	1.72		1.72	1.0%	0.03
TRACT : Y		0.24	0.24	0.1%	0.07
TRACT : Z	0.54		0.54	0.3%	
TRACT : AA				0.0%	0.79
TRACT : BB				0.0%	0.05
TRACT : CC	0.15		0.15	0.1%	
TRACT : DD		0.33	0.33	0.2%	
TRACT : EE				0.0%	0.05
TRACT : FF	0.24		0.24	0.1%	
TRACT : GG				0.0%	0.11
TRACT : HH	0.23		0.23	0.1%	
TRACT : II				0.0%	0.08
TRACT : JJ	0.93		0.93	0.5%	2.74
TRACT : KK				0.0%	0.07
TRACT : LL				0.0%	0.12
TRACT : MM				0.0%	0.24
TRACT : NN				0.0%	0.03
TRACT : OO				0.0%	0.06
TRACT : PP		0.66	0.66	0.4%	
TRACT : QQ				0.0%	0.05
TRACT : RR		0.17	0.17	0.1%	0.04
TRACT : SS	2.26		2.26	1.3%	0.18
TRACT : TT				0.0%	0.05
TRACT : UU				0.0%	0.24
TRACT : VV				0.0%	0.06
TOTALS:	21.35	4.71	26.06	15.2%	6.55

* Usable Open Space percentages are based on total gross project area of 171.56 acres

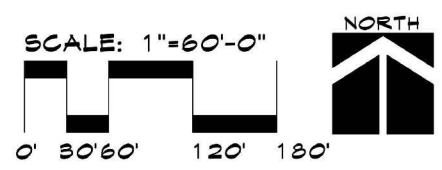
NOTE:

- 1.) Total % for Open Space derived from usable (Active + Passive) Open Space acres only.
- 2.) Total Open Space area (ac) = 32.60 Total Project Area (ac)=171.56



PLANT LEGEND	
LARGE - MEDIUM CANOPY TREES	
PARKINSONIA HYBRID	DESERT MUSEUM (THORNLESS PALO VERDE)
RIO GRANDE	FAN-TEX ASH
PARKINSONIA MICROPHYLLUM	FOOTHILL PALO VERDE
PARKINSONIA FRAEGOX	PALO BREA
PROSOPIA SP. RIO SALADO	RIO SALADO MESQUITE
PARKINSONIA FLORIDUM	BLUE PALO VERDE
ULMUS PARVIFOLIA	CHINESE EVERGREEN ELM
MEDIUM - SMALL CANOPY TREES	
ACACIA ANEURA	MULGA TREE
PIRHECLOSILUM FLEXICAULE	TEXAS EBONY
QUERCUS VIRGINIANA	HERITAGE LIVE OAK
'HERITAGE'	
PISTACIA LENTISCUS	MASTIC TREE
PISTACIA SPECIES	RED PISH PISTACHE
CAESALPINIA GACALAGO	THORNLESS CASCALOTE
SMOOTHIE	
SHRUBS (5 GAL.)	
AMBROSIA DELTOIDEA	BURBAGE
BOUGAINVILLEA SPECIES	B. KARST BOUGAINVILLEA
BOUGAINVILLEA FLAME	BUSH BOUGAINVILLEA
CASSIA PHYLLODENA	SILVERY CASSIA
CASSIA NEMOPHILA	GREEN CASSIA
TEGOMA SPECIES	'LYDIA'
ENGELIA PARINOSA	BRITTLE BUSH
EREMOPHILA SPECIES	VALENTINE BUSH
LARREA TRIDENTATA	CREOSOTE BUSH
LEUCOPHYLLUM CANDIDUM	THUNDERCLOUD SAGE
THUNDER CLOUD	GREEN CLOUD SAGE
LEUCOPHYLLUM FRUTESCENS	
GREEN CLOUD	
LEUCOPHYLLUM LANGMANIAE	RIO BRAVO TEXAS SAGE
MUHLENBERGIA RIGENS	DEER GRASS
SOPHORA SECUNDIFLORA	TEXAS MOUNTAIN LAUREL
SIMMONDSIA CHINENSIS	JOJOBA
CAESALPINIA SPECIES	DESERT BIRD OF PARADISE
RUPELLIA PENINSULARIS	BAJA RUPELLIA
ACCENTS (5 GAL.)	
AGAVE SPECIES	AGAVE
DASYLIRION WHEELERI	DESERT SPOON
FOUQUIERIA SPLENDENS	OCOTILLO
HESPERALOE PARVIFLORA	RED YUCCA
GROUND COVER (5 GAL.)	
ACACIA REDOLENS	DESERT CARPET
CARISSA MACROCARPA	NATAL PLUM
GREEN CARPET	
CALLISTEMON SPECIES	LITTLE JOHN BOTTLEBRUSH
LANTANA CAMARA	NEW GOLD LANTANA
LANTANA CAMARA	NEW RED LANTANA
ROSMARINUS IRENE	IRENE ROSEMARY
DECOMPOSED GRANITE - 3/4" SCREENED	
TURF - MIDIRON HYBRID BERMUDA SOD (OR HYDROSEED	
VARI. BLACKJACK)	

Figure 11



ZANJERO PASS PARK/AMENITY ENLARGEMENT NE OF OLIVE AVE. AND CITRUS RD. - GLENDALE, AZ SEPTEMBER 10, 2013

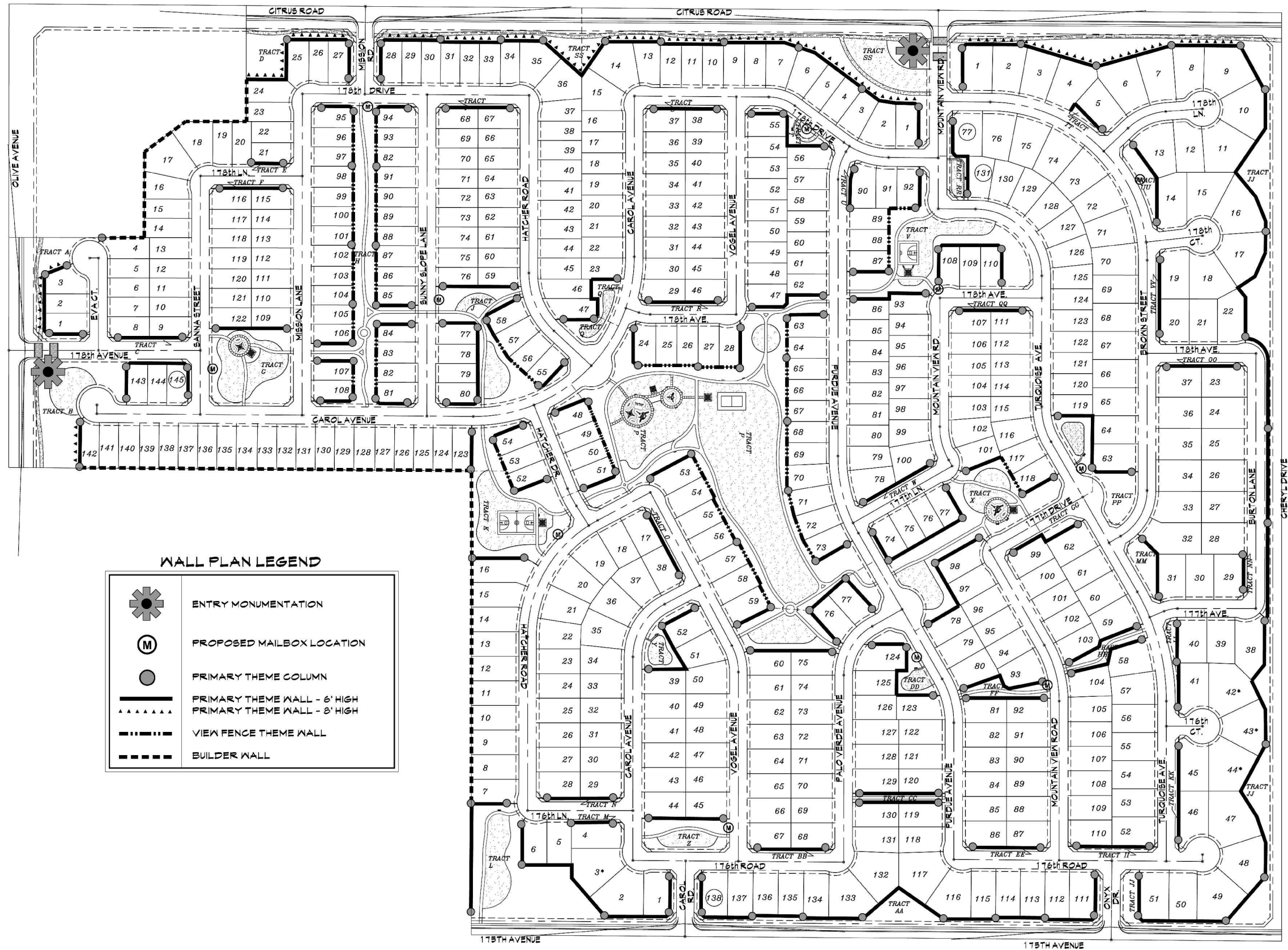
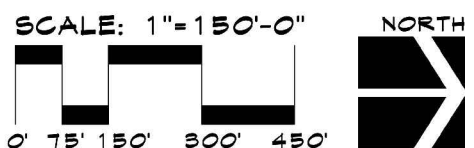


Figure 12

Registered Landscape Architect
 CERTIFICATE NO. 27932
 TIMOTHY J. MCCOUGH
 10-2015
 Expires: 6-30-2015

ZANJERO PASS PRELIMINARY WALL PLAN

NE OF OLIVE AVE. AND CITRUS RD. - GLENDALE, AZ
 SEPTEMBER 10, 2013



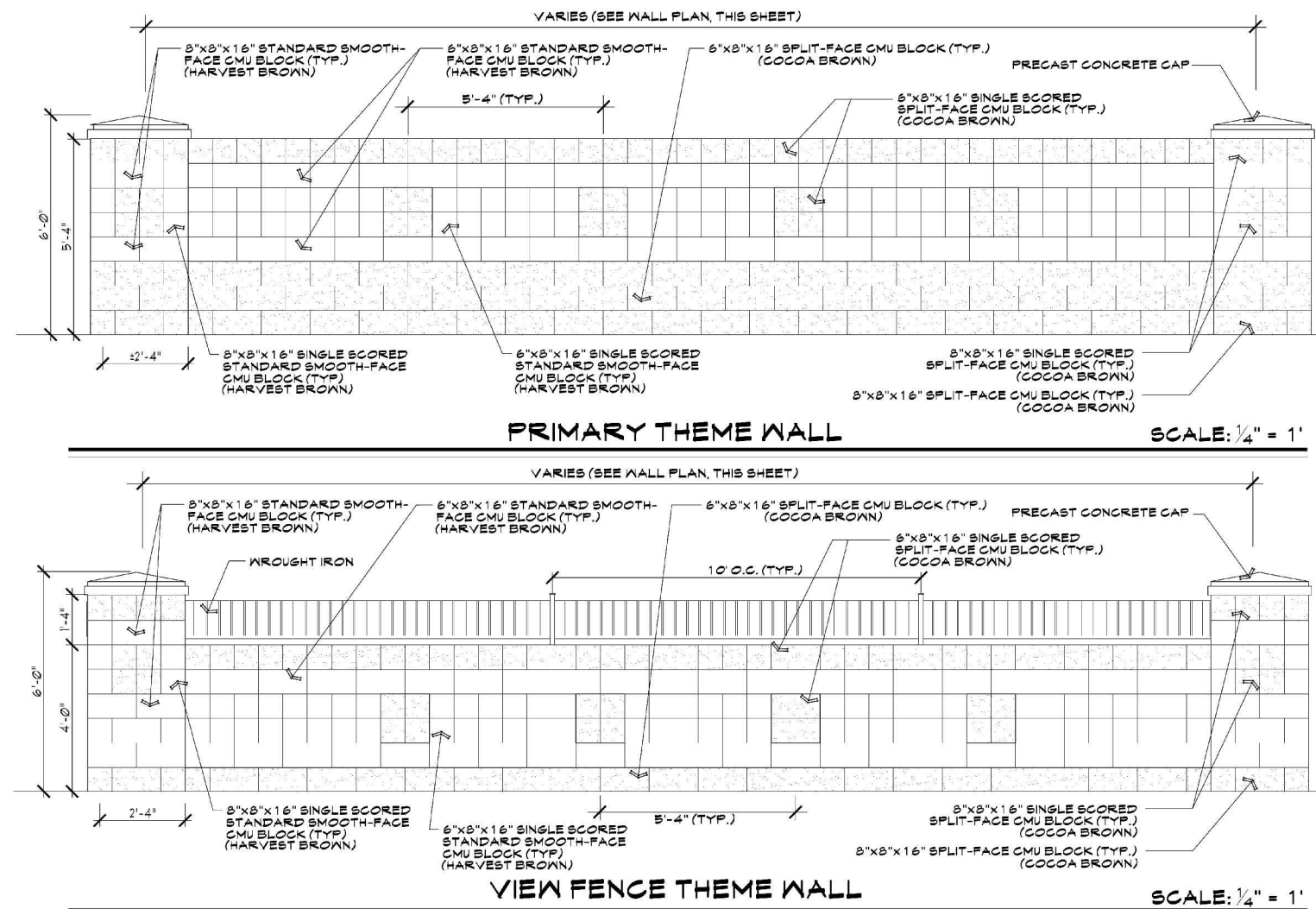
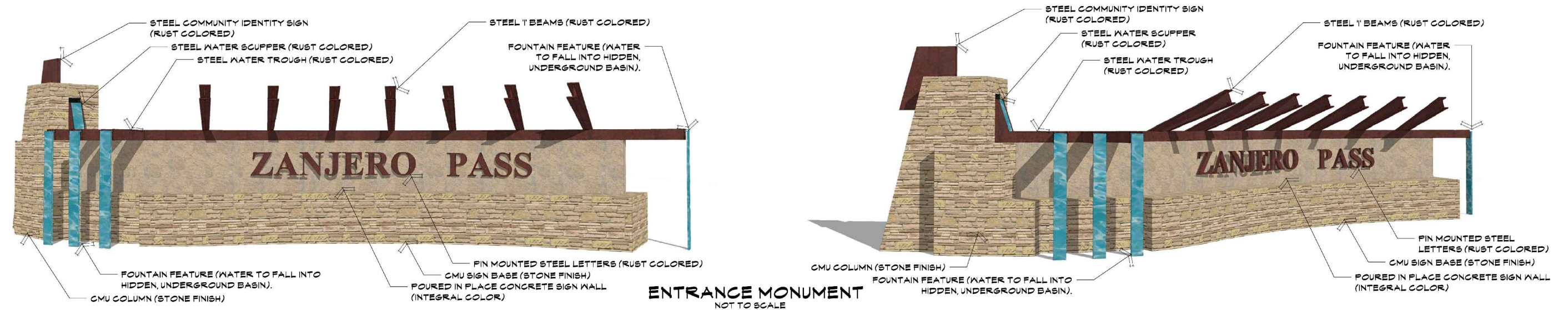
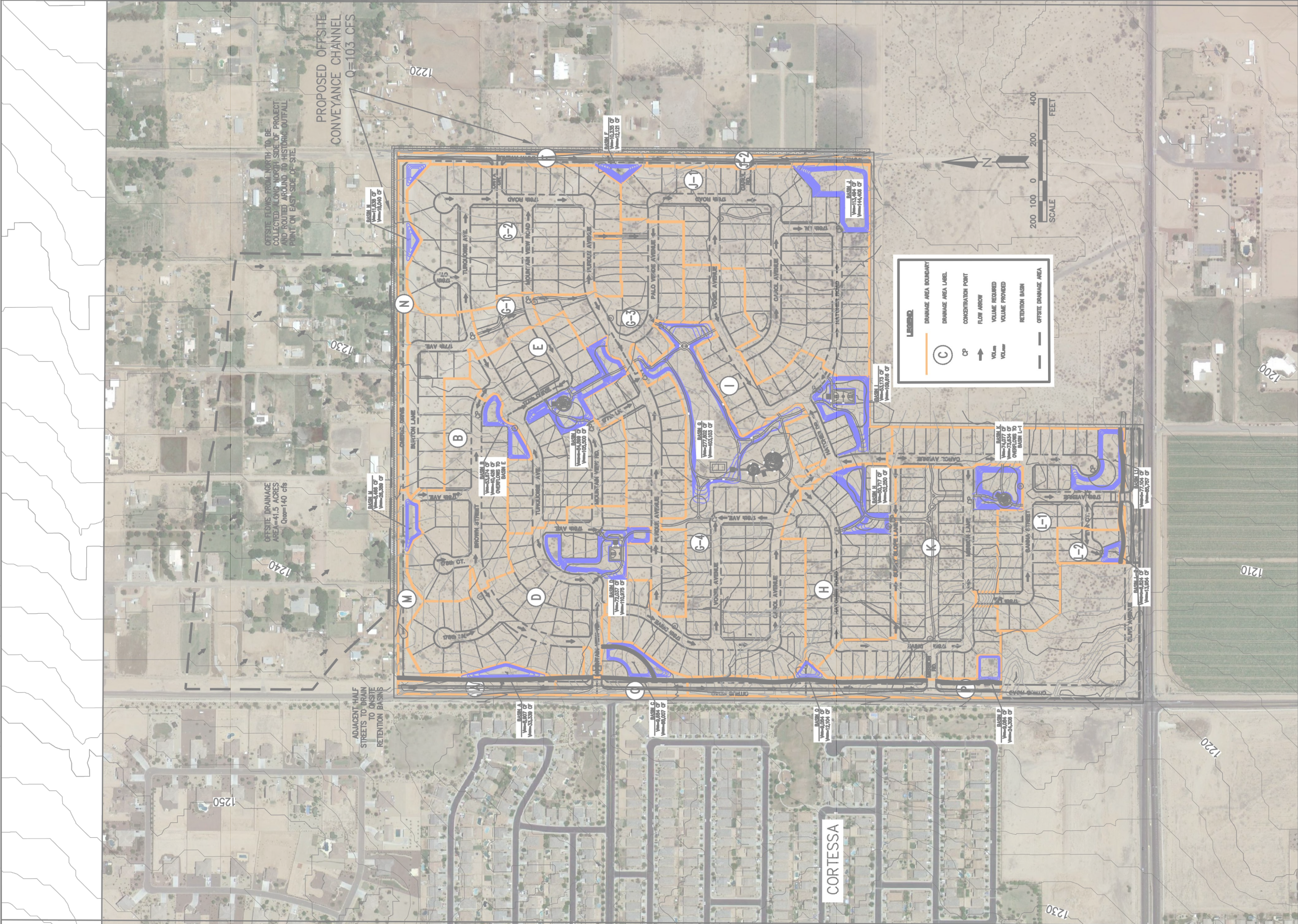


Figure 13

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PROJ#:	1066	REV:	
	DATE: JULY 2013		
	SCALE: 1"=200'		
	DRAWN: JM		
	DESIGNED: HW		
APPROVED: AT			
ZANJERO PASS CITRUS ROAD AND OLIVE AVENUE GLENDALE, ARIZONA			
Figure 14: Preliminary Drainage Plan			
hilgartwilson ENGINEERS • PLANNERS • SURVEYORS 1661 E. CAMBRIDGE RD., STE. 275 / PHOENIX, AZ 85016 PH: 602.460.3333 / FAX: 602.333.0161 www.hilgartwilson.com			



LEGEND

- PARCEL BOUNDARY
- PROPOSED WATERLINE
- EXISTING WATERLINE
- RESERVOIR
- JUNCTION

Color Coding Legend	
Pipe Diameter (in)	
	<= 6.0
	<= 8.0
	<= 12.0
	<= 16.0

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ENGINEERS-PLANNERS-SURVEYORS
1661 E. CAMELBACK RD., STE. 275
PHOENIX, AZ 85016
PH 602.490.0535 FAX 602.325.0161

ZANJERO PASS
CITRUS ROAD AND OLIVE AVENUE
GLENDALE, ARIZONA
Figure 15: Water Layout Plan

PROJ.#	1066
DATE:	JULY 2013
SCALE:	1"=400'
DRAWN BY:	SK
CHECKED BY:	MI



LEGEND

PROPOSED SEWER MAIN
SEWER MANHOLE

Color Coding Legend
Conduit: Diameter (in)
— ≤ 8.0

PROJ.#	1066	ZANJERO PASS
DATE:	JULY 2013	CITRUS ROAD AND OLIVE AVENUE
SCALE:	1"=300'	GLENDALE, ARIZONA
DRAWN BY:	SK	Figure 16: Wastewater Layout Plan
CHECKED BY:	MI	

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ENGINEERS-PLANNERS-SURVEYORS

1661 E. CAMELBACK RD., STE. 275
PHOENIX, AZ 85016
PH 602.490.0535 FAX 602.325.0161

APPENDICES

Appendix A

A.L.T.A. Survey and Legal Description

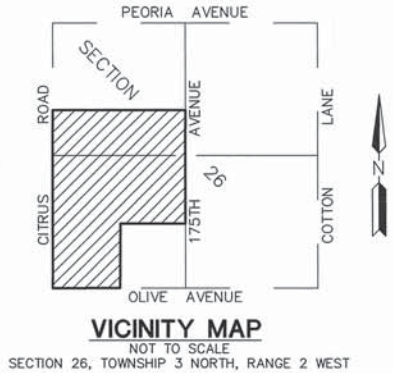
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A.L.T.A./A.C.S.M. LAND TITLE SURVEY

OF

A PORTION OF THE WEST HALF OF SECTION 26, TOWNSHIP 3 NORTH, RANGE 2 WEST
OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA

SITE



TITLE REFERENCE

THIS SURVEY IS BASED UPON THE TITLE COMMITMENT PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY, DATED JUNE 05, 2013, ORDER NUMBER 132442-33.

HILGARTWILSON HAS RELIED SOLELY UPON THE INFORMATION CONTAINED WITHIN THE TITLE COMMITMENT AND SCHEDULE B DOCUMENTS PROVIDED BY FIRST AMERICAN TITLE INSURANCE COMPANY AS LISTED HEREON. HILGARTWILSON AND KIRK J. PANGUS (RLS) MAKE NO STATEMENT AS TO THE ACCURACY OR COMPLETENESS OF THE SUBJECT REPORT.

LEGAL DESCRIPTION (TITLE REPORT)

LOTS 1 THROUGH 155 INCLUSIVE AND TRACTS A THROUGH M INCLUSIVE OF ZANJERO PASS PARCEL 1-3 PHASE 2-4, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY OF MARICOPA COUNTY, ARIZONA, RECORDED AS BOOK 979 OF MAPS, PAGE 26.

LEGAL DESCRIPTION (SITE BOUNDARY PRIOR TO RECORDATION OF FINAL PLAT)

A PORTION OF THE WEST HALF OF SECTION 26, TOWNSHIP 3 NORTH, RANGE 2 WEST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY ARIZONA TOGETHER WITH THAT PROPERTY KNOWN AS "ZANJERO PASS PARCEL 1-3 PHASE 2-4" AS SHOWN IN BOOK 979, PAGE 26 OF MARICOPA COUNTY RECORDS, FURTHER DESCRIBED AS FOLLOWS:

BEGINNING AT AN BRASS CAP IN HAND HOLE ACCEPTED AS THE SOUTHWEST CORNER OF SAID SECTION 26 FROM WHICH A FOUND REBAR ACCEPTED AS THE SOUTH QUARTER CORNER OF SAID SECTION BEARS SOUTH 89°57'27" EAST, 2639.08 FEET;

THENCE NORTH 00°23'32" EAST, 2632.93 FEET ALONG THE WEST LINE OF SAID FINAL PLAT AND SAID WEST HALF OF SECTION 26 TO A FOUND BRASS CAP FLUSH ACCEPTED AS THE WEST QUARTER CORNER OF SAID SECTION;

THENCE CONTINUING ALONG SAID WEST LINES, NORTH 00°23'32" EAST, 989.02 FEET TO THE NORTHWEST CORNER OF SAID PLAT FOR ZANJERO PASS;

THENCE ALONG THE NORTH LINE OF SAID PLAT NORTH 89°59'57" EAST, 2642.94 FEET TO A FOUND REBAR WITH CAP STAMPED RLS 32222 ACCEPTED AS THE NORTHEAST CORNER THEREOF;

THENCE SOUTH 00°27'16" WEST, 2,306.50 FEET ALONG THE EAST LINE OF SAID PLAT ALSO BEING THE EAST LINE OF SAID WEST HALF SECTION 26;

THENCE LEAVING SAID EAST LINES, NORTH 89°58'45" WEST, 1320.26 FEET ALONG A PORTION OF SAID FINAL PLAT BOUNDARY;

THENCE SOUTH 00°25'24" WEST, 1316.97 FEET ALONG A PORTION OF SAID FINAL PLAT BOUNDARY TO A POINT ON THE SOUTH LINE OF SAID SECTION 26;

THENCE NORTH 89°57'27" WEST, 1319.54 FEET ALONG SAID SOUTH LINE ALSO BEING THE SOUTH LINE OF SAID FINAL PLAT TO THE POINT OF BEGINNING.

FLOOD ZONE

THE SUBJECT PROPERTY LIES WITHIN FLOOD ZONE X (SHADED) WITH A DEFINITION OF AREAS OF 0.2% ANNUAL CHANCE OF FLOOD; AREAS OF 1% ANNUAL CHANCE OF FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THEN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE OF FLOOD. DESIGNATION DETERMINE BY FEMA FLOOD ZONE MAP 04013C1580H DATED LAST REVISED SEPTEMBER 30, 2005.

SCHEDULE "B" - EXCEPTIONS

1. TAXES FOR THE FULL YEAR OF 2013. (THE FIRST HALF IS DUE OCTOBER 1, 2013 AND IS DELINQUENT NOVEMBER 1, 2013. THE SECOND HALF IS DUE MARCH 1, 2014 AND IS DELINQUENT MAY 1, 2014).

2. RESERVATIONS OR EXCEPTIONS IN PATENTS, OR IN ACTS AUTHORIZING THE ISSUANCE THEREOF.

3. WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT SHOWN BY THE PUBLIC RECORDS.

4. ANY CHARGE UPON THE LAND BY REASON OF ITS INCLUSION IN HOMEOWNERS ASSOCIATION FOR ZANJERO PASS.

5. ANY CHARGE UPON THE LAND BY REASON OF ITS INCLUSION IN MARICOPA COUNTY MUNICIPAL WATER CONSERVATION DISTRICT NO. 1.

6. EASEMENTS, RESTRICTIONS, RESERVATIONS, CONDITIONS AND SET-BACK LINES AS SET FORTH ON THE PLAT RECORDED AS BOOK 979, PAGE 26, BUT DELETING ANY COVENANT, CONDITION OR RESTRICTION INDICATING A PREFERENCE, LIMITATION OR DISCRIMINATION BASED ON RACE, COLOR, RELIGION, SEX, HANDICAP, FAMILIAL STATUS OR NATIONAL ORIGIN TO THE EXTENT SUCH COVENANTS, CONDITIONS OR RESTRICTIONS VIOLATE 42 USC 3604(C).

(SHOWN)
7. THE TERMS, CONDITIONS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED EASEMENT AND AGREEMENT FOR HIGHWAY PURPOSES RECORDED AS DOCKET 10541, PAGE 717, OF OFFICIAL RECORDS.

(SHOWN)
8. THE TERMS, CONDITIONS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED INTERGOVERNMENTAL AGREEMENT AND MUTUAL GRANT OF EASEMENTS RECORDED AS 97-231759, OF OFFICIAL RECORDS.

(AGREEMENT-NOTHING PLOTTABLE)
9. ALL MATTERS AS SET FORTH IN RECORDED DISCLOSURE FOR TERRITORY IN THE VICINITY OF A MILITARY AIRPORT, RECORDED , AS 2001-743413, OF OFFICIAL RECORDS.

(BLANKET EASEMENT - COVERS PROJECT AREA)
10. THE TERMS, CONDITIONS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED AGREEMENT AND NOTICE OF MUNICIPAL PROVIDER REPORTING REQUIREMENTS FOR ZANJERO PASS PARCELS 1-3, PHASE 2-4 AND ZANJERO PASS PARCEL 4, PHASE 1 REGARDING MEMBERSHIP IN THE CENTRAL ARIZONA GROUNDWATER REPLENISHMENT DISTRICT RECORDED AS 2006-242654, OF OFFICIAL RECORDS.

(AGREEMENT - NOTHING PLOTTABLE)
11. THE TERMS, CONDITIONS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR ZANJERO PASS PARCELS 1-3, PHASE 2-4 AND ZANJERO PASS PARCEL 4, PHASE 1 REGARDING MEMBERSHIP IN THE CENTRAL ARIZONA GROUNDWATER REPLENISHMENT DISTRICT RECORDED AS 2006-242655, OF OFFICIAL RECORDS.

(AGREEMENT - NOTHING PLOTTABLE)
12. THE TERMS, CONDITIONS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED DEVELOPMENT AGREEMENT BETWEEN MARICOPA COUNTY AND MARICOPA COUNTY MUNICIPAL WATER CONSERVATION DISTRICT #1 RECORDED AS 2010-287056, OF OFFICIAL RECORDS.

(AGREEMENT - NOTHING PLOTTABLE)
13. THE TERMS, CONDITIONS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED PHASE I UTILITY GROUP CONTRIBUTION AGREEMENT RECORDED AS 2012-996584, OF OFFICIAL RECORDS.

(AGREEMENT - NOTHING PLOTTABLE)
14. THE TERMS, CONDITIONS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED PRE-ANNEXATION DEVELOPMENT AGREEMENT FOR LOOP 303 PHASE 1 UTILITY GROUP RECORDED AS 2012-989588 AND RE-RECORDED AS 2013-104447, OF OFFICIAL RECORDS.

(AGREEMENT - NOTHING PLOTTABLE)
15. THE TERMS, CONDITIONS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED WASTEWATER FACILITIES MAIN EXTENSION AGREEMENT RECORDED AS 2013-118417, OF OFFICIAL RECORDS.

(AGREEMENT - NOTHING PLOTTABLE)
16. ANY FACTS, RIGHTS, INTERESTS OR CLAIMS THAT WOULD BE DISCLOSED BY A CORRECT ALTA/ACSM SURVEY.

17. ANY FACTS ABOUT THE LAND THAT AN INSPECTION OR INQUIRY OF PARTIES IN POSSESSION WOULD DISCLOSE AND THAT ARE NOT SHOWN BY THE PUBLIC RECORDS.

18. ANY RIGHTS, INTEREST OR CLAIMS OF PARTIES IN POSSESSION OF THE LAND NOT SHOWN BY THE PUBLIC RECORDS.

NOTE: THIS MATTER WILL BE MORE FULLY SET FORTH OR DELETED UPON COMPLIANCE WITH THE APPLICABLE REQUIREMENT.

BASIS OF BEARING

BASIS OF BEARING IS N89°57'27"W ALONG THE SOUTH LINE OF SECTION 26, TOWNSHIP 3 NORTH, RANGE 2 WEST.

REFERENCE DOCUMENTS

1. FINAL PLAT OF ZANJERO PASS PARCEL 1-3 PHASE 2-4 AS RECORDED IN BOOK 979, PAGE 26

NOTES

- GROSS AREA IS 7,829,582 SQ. FT. OR 179.7425 ACRES MORE OR LESS. (PER SURVEYORS DESCRIPTION)
NET AREA IS 7,343,862 SQ. FT. OR 168.5919 ACRES MORE OR LESS. (INCLUDING TRACT A) NET AREA IS ALL LOTS AND TRACTS AS DEFINED BY THE TITLE REPORT LEGAL DESCRIPTION FOR THIS PROPERTY. TRACT A (PRIVATE STREETS) IS 832,574 SQ. FT. OR 19.1133 ACRES MORE OR LESS.
- THIS SURVEY REFLECTS ABOVE GROUND INDICATIONS OF UTILITIES. THE SURVEYOR MAKES NO GUARANTEE THAT ALL OF THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE LOCATION INDICATED, ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION PROVIDED. THE SURVEYOR HAS NOT PHYSICALLY LOCATED UNDERGROUND UTILITIES.
- DECLARATION IS MADE TO THE ORIGINAL PURCHASER OF SURVEY. IT IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS WITHOUT WRITTEN PERMISSION OF THE SURVEYOR.
- THIS SURVEY IS VALID ONLY WHEN BEARING SEAL AND SIGNATURE OF SURVEYOR.
- THIS SURVEY IS BASED ON FIELD WORK LAST PERFORMED BY HILGARTWILSON IN JUNE, 2013. SITE CONDITIONS THAT MAY HAVE CHANGED SUBSEQUENT TO FIELD WORK WILL NOT BE REFLECTED HEREON.
- THE INTENT OF THIS SURVEY IS NOT TO CREATE AN ILLEGAL LAND SPLIT PER THE APPLICABLE ARIZONA LAW AND/OR STATUTES.
- THE POTENTIAL BUYER(S) OF THIS SITE IS HEREBY ADVISED THAT THIS SITE MAY BE SUBJECT TO ARIZONA PLATTING LAWS PRIOR TO THE DEVELOPMENT OF THIS SITE.
- THERE IS NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS ON THIS SITE.
- THIS SURVEYOR IS NOT AWARE OF ANY PROPOSED CHANGES IN STREET RIGHT OF WAY LINES. THERE IS NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.
- THERE IS NO OBSERVED EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.

SURVEYOR'S CERTIFICATION:

TO:

- MARICOPA COUNTY MUNICIPAL WATER CONSERVATION DISTRICT NO. 1, A POLITICAL SUBDIVISION OF THE STATE OF ARIZONA
- FIRST AMERICAN TITLE INSURANCE COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR A.L.T.A./A.C.S.M. LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 3, 4, 8, 11a, 16, 17 AND 18 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED IN JUNE 2013.

KIRK J. PANGUS
RLS# 19344
HILGARTWILSON
1661 E. CAMELBACK ROAD, SUITE 275
PHOENIX, ARIZONA 85016
P: 602.490.0535
kpangus@hilgartwilson.com



NOTE:
A.R.S. 32-151 STATES THAT THE USE OF THE WORD "CERTIFY" OR "CERTIFICATION" BY A PERSON OR FIRM THAT IS REGISTERED OR CERTIFIED BY THE BOARD IS AN EXPRESSION OF PROFESSIONAL OPINION REGARDING FACTS OR FINDINGS THAT ARE SUBJECT OF THE CERTIFICATION AND DOES NOT CONSTITUTE AN EXPRESS OR IMPLIED WARRANTY OR GUARANTEE.

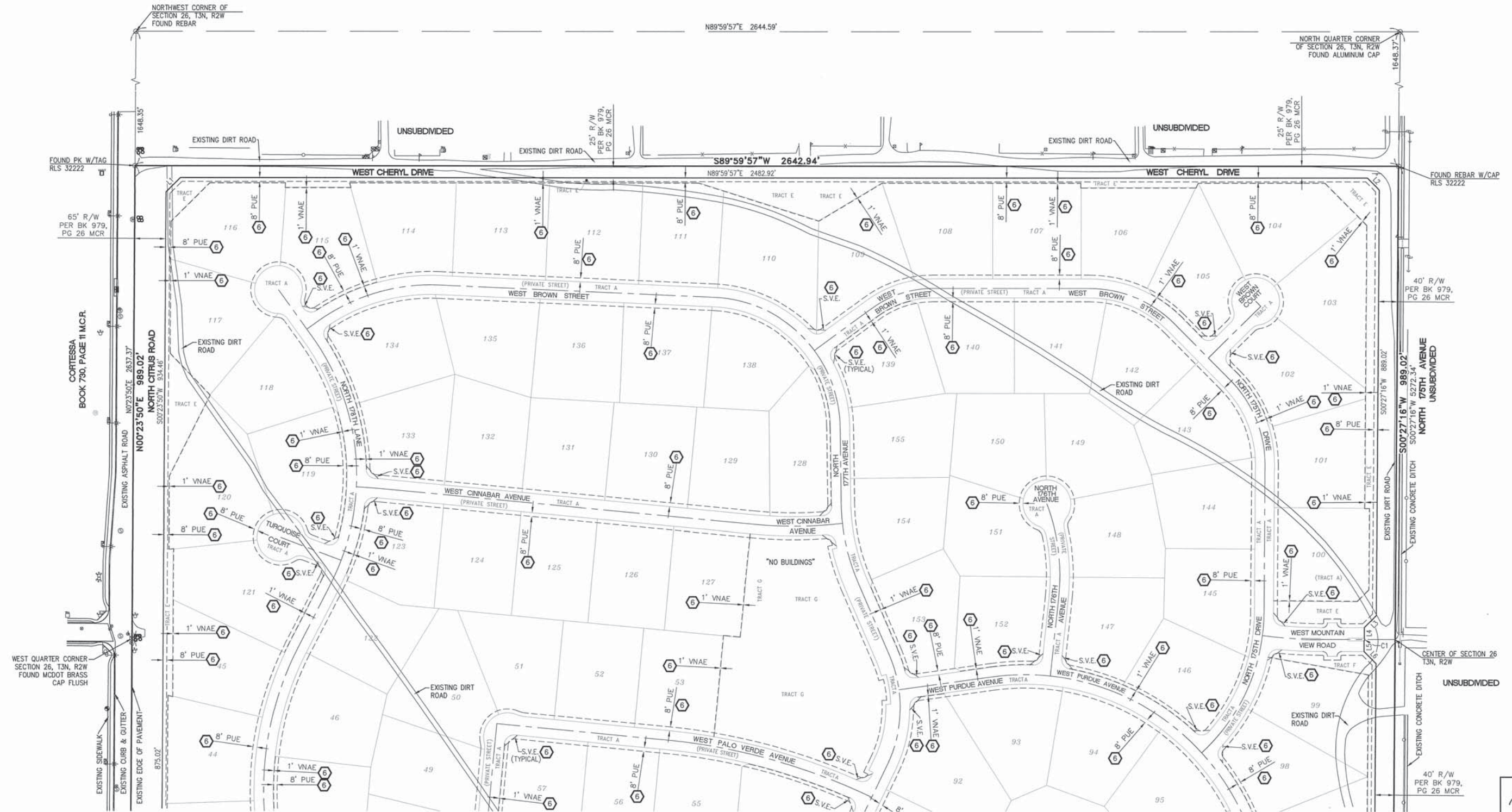
hilgartwilson
ENGINEERS-PLANNERS-SURVEYORS
1661 E. CAMELBACK RD., STE. 275 / PHOENIX, AZ 85016
PH 602.490.0535 / FAX 602.325.0161
www.hilgartwilson.com

ZANJERO PASS
OLIVE AVENUE & CITRUS ROAD
MARICOPA COUNTY, ARIZONA

ALTA/ACSM LAND TITLE SURVEY

PROJ#:	1066	REV.:	
DATE:	06/2013	SCALE:	AS SHOWN
DRAWN:	DSP/KM	DESIGNED:	HW
APPROVED:	KJP		

DWG. NO.
SV01
SHT. 1 OF 4

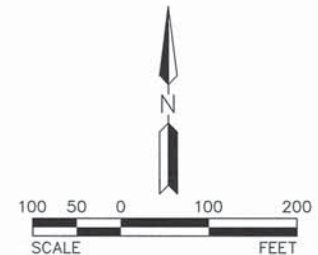


LEGEND

- | | |
|------------------------------|--------------------------------|
| FOUND MONUMENT AS NOTED | WELL |
| FOUND BRASS CAP IN HAND HOLE | GAS VALVE |
| ELECTRIC MANHOLE | MANHOLE (UNKNOWN TYPE) |
| UTILITY POLE | BOUNDARY LINE |
| GUY | SECTION LINE |
| ELECTRIC JUNCTION BOX | CENTERLINE |
| ELECTRIC VAULT | LOT LINE |
| ELECTRIC TRANSFORMER | OVERHEAD WIRE |
| ELECTRIC PULL BOX | FENCE |
| LIGHT POLE W/ARM | FENCE |
| ELECTRIC STUB OUT | BLUESTAKE GAS LINE |
| SIGN | REINFORCED CONCRETE PIPE |
| BOLLARD | RIGHT-OF-WAY |
| MAILBOX | PUBLIC UTILITY EASEMENT |
| TELEPHONE RISER | SIGHT VISIBILITY EASEMENT |
| TELEPHONE MANHOLE | VEHICLE NON-ACCESS EASEMENT |
| CURB INLET | MULTI-USE TRAIL EASEMENT |
| IRRIGATION MANHOLE | RECORD |
| IRRIGATION CONTROL VALVE | (M) MEASURED |
| FIRE HYDRANT | M.C.R. MARICOPA COUNTY RECORDS |
| WATER VALVE | REGISTERED LAND SURVEYOR |
| WATER MANHOLE | |
| WATER METER | |
| WATER BACK FLOW PREVENTER | |
| WATER STUB OUT | |
| WATER BLOW OFF | |

SEE SHEET 3

NOTE:
ALL LOTS, TRACTS, & PRIVATE STREETS AS SHOWN HEREON ARE PER THE RECORDED FINAL PLAT OF ZANJERO PASS AS DESCRIBED BY THE TITLE REPORT REFERENCED HEREON.



ZANJERO PASS
OLIVE AVENUE & CITRUS ROAD
MARICOPA COUNTY, ARIZONA

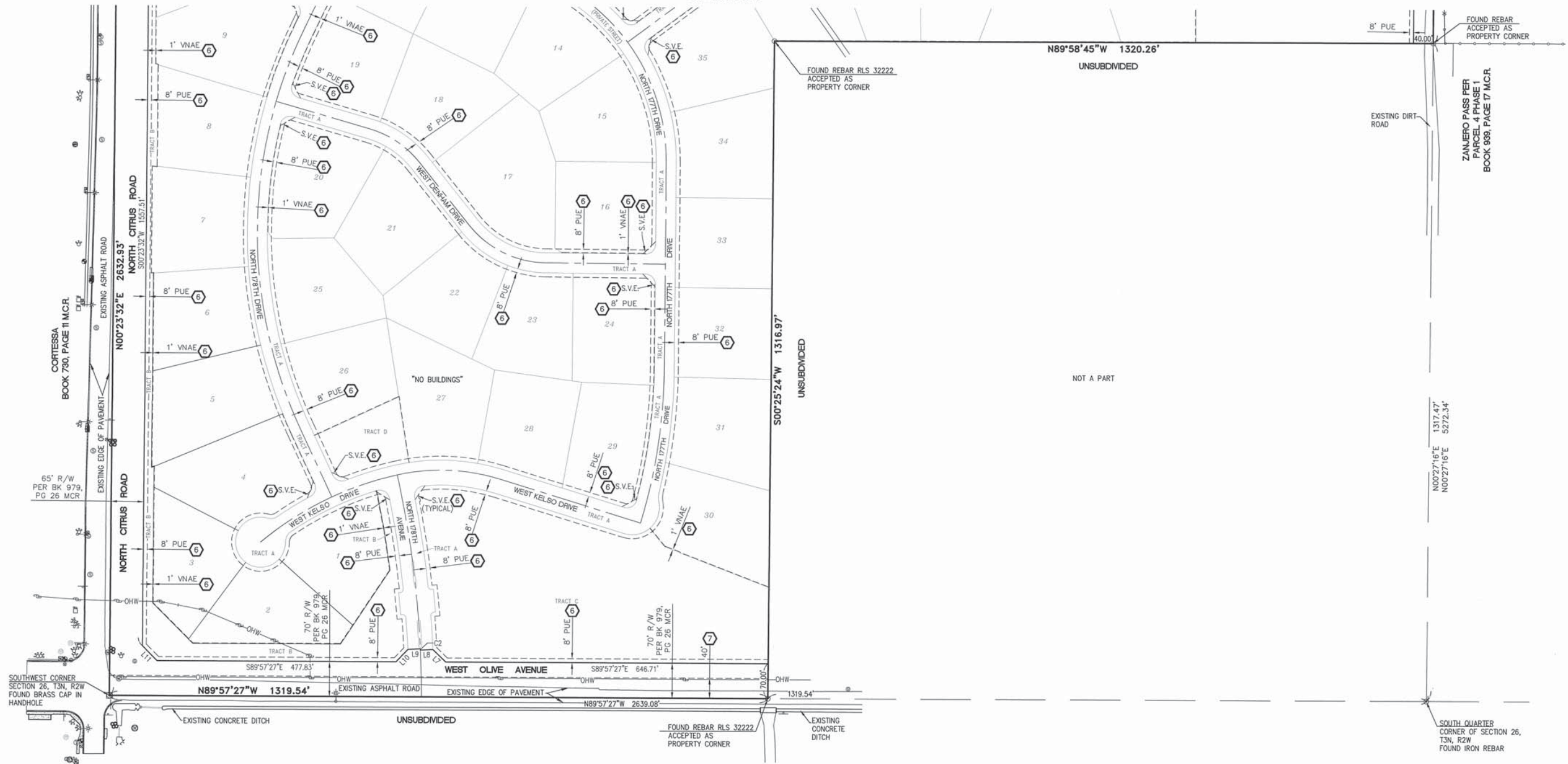
ALTA/ACSM LAND TITLE SURVEY

PROJ.# 1066
DATE: 06/2013
SCALE: AS SHOWN
DESIGNED: HW
DRAWN: DJP/KM
APPROVED: KJP

REV. DWG. NO.
SV02
SHT. 2 OF 4

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SEE SHEET 3

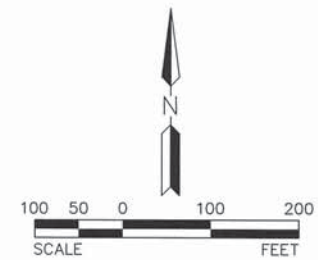


LEGEND

- | | | | |
|---|------------------------------|---|--------------------------------------|
| ○ | FOUND MONUMENT AS NOTED | ⊗ | WELL |
| ○ | FOUND BRASS CAP IN HAND HOLE | ⊗ | GAS VALVE |
| ○ | ELECTRIC MANHOLE | ⊗ | MANHOLE (UNKNOWN TYPE) |
| ○ | UTILITY POLE | — | BOUNDARY LINE |
| ○ | GUY | — | SECTION LINE |
| ○ | ELECTRIC JUNCTION BOX | — | CENTERLINE |
| ○ | ELECTRIC VAULT | — | LOT LINE |
| ○ | ELECTRIC TRANSFORMER | — | OVERHEAD WIRE |
| ○ | ELECTRIC PULL BOX | — | FENCE |
| ○ | LIGHT POLE W/ARM | — | FENCE |
| ○ | ELECTRIC STUB OUT | — | FENCE |
| ○ | SIGN | — | BLUESTAKE GAS LINE |
| ○ | BOLLARD | — | REINFORCED CONCRETE PIPE |
| ○ | MAILBOX | — | RIGHT-OF-WAY |
| ○ | TELEPHONE RISER | — | P.U.E. PUBLIC UTILITY EASEMENT |
| ○ | TELEPHONE MANHOLE | — | S.V.E. SIGHT VISIBILITY EASEMENT |
| ○ | CURB INLET | — | V.N.A.E. VEHICLE NON-ACCESS EASEMENT |
| ○ | IRRIGATION MANHOLE | — | M.U.T.E. MULTI-USE TRAIL EASEMENT |
| ○ | IRRIGATION CONTROL VALVE | — | (R) RECORD |
| ○ | FIRE HYDRANT | — | (M) MEASURED |
| ○ | WATER VALVE | — | M.C.R. MARICOPA COUNTY RECORDS |
| ○ | WATER MANHOLE | — | RLS REGISTERED LAND SURVEYOR |
| ○ | WATER METER | | |
| ○ | WATER BACK FLOW PREVENTER | | |
| ○ | WATER STUB OUT | | |
| ○ | WATER BLOW OFF | | |

NOTE:

ALL LOTS, TRACTS, & PRIVATE STREETS AS SHOWN HEREON ARE PER THE
RECORDED FINAL PLAT OF ZANJERO PASS AS DESCRIBED BY THE TITLE
REPORT REFERENCED HEREON.



ZANJERO PASS

OLIVE AVENUE & CITRUS ROAD
MARICOPA COUNTY, ARIZONA

ALTA/ACSM LAND TITLE SURVEY

PROJ.#	1066
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DATE: 06/2013

SCALE: AS SHOWN

DESIGNED: HW	DRAWN:
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REV.

U: \1000\1066\

1066\SURVEY\ALTA\1066 ALTA.dwg 7/2/2013 2:23 PM

Appendix B

Preliminary Drainage Report

The Preliminary Drainage Report is submitted to the City of Glendale under separate Cover and is incorporated into the Zanjero Pass Planned Residential Development.

Appendix C

Preliminary Water Report

The Preliminary Water Report is submitted to the City of Glendale under separate Cover and is incorporated into the Zanjero Pass Planned Residential Development.

Appendix D

Preliminary Wastewater Report

The Preliminary Wastewater Report is submitted to the City of Glendale under separate Cover and is incorporated into the Zanjero Pass Planned Residential Development.

Appendix E

Master Traffic Impact Analysis

The Master Traffic Impact Analysis is submitted to the City of Glendale under separate Cover and is incorporated into the Zanjero Pass Planned Residential Development.

Appendix F

Residential Design and Development Manual Project Compliance

Zanjero Pass

Residential Design and Development Manual Project Compliance

2.1 Lot Layout

2.1.1 The minimum lot width and depth are to conform to the applicable Zoning District.

Minimum lot width and depth will conform to the approved PRD standards. Although some lot widths are less than the minimum width per the applicable Zoning District, as a trade-off, the minimum lot depth required by the PRD significantly exceed the minimum zoning requirement lot depth of 100-feet.

2.1.2 Corner lots are to be at least five feet wider than the minimum lot width required by the Zoning Ordinance with a minimum 6-foot wide landscape tract.

Corner lots have been designed with 5 foot greater lot width. A landscape tract will also be provided adjacent to the street side of corner lots. The landscape tract will typically be 10 foot or greater in width but in no event will be less than 8 feet.

2.1.3 Some variation in lot size is expected due to wider corner lots, cul-de-sac lots, and buffer lots.

There will be some variation in lot width due to wider corner lots, knuckles and cul-de-sacs.

2.1.4 Vary the width of lots that are side by side by five (5) feet or more

The intent of this guideline is to provide for diverse streetscape through variation of lot widths. Parcel 1 will have increased lot widths, (60 feet versus 55 feet) scattered through the parcel. The intent of the guideline has been otherwise satisfied through the introduction of open space linkages, curvilinear streets, cul-de-sacs and knuckles.

2.1.5 Stagger the front yard setback to living area and garage by a minimum of 3 feet or more on adjoining lots and provide a range of 6 feet or more on the same block

In order to provide a 6-foot variation, front yard setbacks shall stagger between 15', 18' and 21' with no more than 2 homes in a row having the same front yard setback.

2.1.6 Locate the main garage a minimum of 5 feet back from the living area and a third or fourth car garage a minimum of 3 feet recessed from the main garage. Different garage orientations and depths are encouraged to prevent a garage dominant street appearance.

The home product will include varying garage orientations and depths to avoid a garage dominant streetscape. This will include the use of side entry garages and/or recessed main garage designs on many of the home designs. The actual mix of homes at build out with side entry and front facing garages will be dependent upon the homebuilder and market demand.

2.1.7 Stagger the rear yard setbacks when a row of lots backs onto an arterial or collector street. a. Stagger setbacks by 3 feet or more on adjoining lots and provide a range of 6 feet or more on the same block. b. Vary depths of the

perimeter lots, which are visually significant to provide for variation in perimeter wall alignments.

Staggered setbacks will not be predetermined. However, in addition to the large perimeter landscape buffers along the collector and arterial streets, the subdivision has been designed with varying depths for the perimeter lots to provide variation in perimeter wall alignments backing to arterial and collector streets. All lots backing onto arterial streets are a minimum of 5 to 10 feet deeper than interior lots. Lots backing onto the Commercial Parcel 1 range from 8 to 12 feet deeper than interior lots. The arterial streetscape will provide a visual variation with the use of the 30-foot landscape open space tract, 5-foot perimeter wall stagger and additional rear yard depths of 5 to 10 feet.

2.1.8 Provide a minimum of 20' from the property line to the face of the garage when a detached sidewalk is required.

Detached sidewalks are not proposed in Zanjero Pass.

2.1.9 Provide variation in the width of the side yards and in the separation between houses on the lots. Increase the side yard width on some lots to provide a minimum of twenty feet combined side yards. a. Group wider side yards together on some adjoining lots to provide a separation of twenty feet or more between houses. b. Provide a minimum of 15-ft. side yards for two story houses. c. Provide a minimum 30 -ft. rear yard setback for all two-story houses including those with integral patios. A covered patio and balcony may extend into this setback up to 10 feet.

This guideline will not be required for this Project. However, lot widths have been increased in some locations which will allow for increased yard setbacks. Although home product has not been determined, it is expected that 2 story homes will have less depth, thereby providing greater rear yard setbacks.

2.1.10 Lots backing onto collector streets must be a minimum of 10 feet deeper than the minimum depth required by the Zoning Ordinance.

The lot depths in the different parcels range from 120' to 130', which is 20 to 30 feet deeper than the minimum lot depth in the Glendale Zoning Ordinance for the comparable zoning category and provides sufficient lot depth to buffer the homes. Additionally, the collector streets have been designed with landscaped buffers to provide further separation between the homes and the streets.

2.1.11 Avoid siding lots onto arterial streets unless an additional 20' landscape tract is provided in addition to the 30' landscape tract required along arterial streets.

The Project is designed to avoid siding lots onto arterial streets.

2.1.12 Lots backing onto arterial streets and more intense and potentially incompatible land uses must be at least 20 feet deeper than the interior lots.

As stated above, the minimum lot depths in Zanjero Pass are significantly deeper than the Glendale Zoning Ordinance minimum and as a result meet

this guideline. Furthermore, the buffers provided along arterial streets provide enhanced separation between the homes and the arterial streets.

2.1.13 Design the subdivision so that no more than six lots are placed in a row backing onto an arterial or collector street before there is a change in the lot pattern or streetscape.

This guideline has been met by providing staggers in perimeter walls and by changing the lot pattern to increase open space along the arterial and collector streets.

2.1.14 Provide mix of driveway orientations to include angled, circular, or side entry so that no more than 75% of the drives are straight.

The housing product will contain a mix of driveway orientations, including side entry garages, recessed front facing garages and standard garage entries. Although some models will be offered with the above driveway orientations, the actual percentage of each type will be dependent on homebuyer preferences.

2.1.15 Locate lots adjacent to or backing up to open space areas

The subdivision has been designed with a significant number of lots backing up to or adjacent to open spaces.

2.1.16 Provide a transition in lot sizes adjacent to existing development where lots are larger than 12,000 square feet. New lots abutting the existing lots must have a minimum lot area that is at least 80% of the average area of the existing lots.

Minimum lot areas are not 80% of the average area of adjacent existing lots to the north and east, but public streets and landscaped tracts have been provided which separate the proposed lots from the adjacent existing lots.

2.1.17 Position lots across from the intersecting street at three way intersections, so that headlight intrusion into living areas is avoided.

The land plan attempts to minimize lots positioned across from intersecting streets.

2.1.18 Spread grade changes gradually across the neighborhood to avoid major differences in elevation between adjacent lots, no more than 1 foot.

The subdivision will be designed to minimize significant grade changes, but there will be no specific provision to limit grade change between adjacent lots.

2.1.19 The creation of new flag lots or similar irregular lots is discouraged where such parcelization is not the prevailing pattern. Lot shapes generally should be simple and rectangular without narrow lot frontages, and flag lots should only be designed in rural or hillside areas. This does not preclude wedge-shaped cul-de-sac lots.

The land plan minimizes the use of flag lots or other similar irregular lots.

2.1.20 Avoid acute angles where rear lot lines and side lot lines meet.

The land plan has been designed to minimize acute angles.

2.1.21 Provide straight side lot lines at right angles or radial to street lines. Avoid irregular shaped lots. See No. 19.

The land plan has been designed to provide, where possible, straight lot lines at right angles or radial to street lot lines. The use of knuckles, cul-de-sacs, curvilinear streets and the incorporation of open space through-out Zanjero Pass may result in some instances where irregular lot lines are necessary.

2.1.22 Avoid lots that are isolated from the pattern of lots in a block.

The land plan has been designed to minimize isolated lots.

2.1.23 Provide site triangles where driveway visibility may be limited on "key lots".

Site triangles or landscape tracts 8' or greater in width will be provided where driveway visibility is limited on key lots.

2.1.24 Driveways are to be a minimum of 20' in length, exclusive of sidewalk or curb. Driveways which are designed to serve more than two cars in width (i.e., a three car garage) to incorporate an alternative treatment paving surface (to reduce the amount of pavement) such as: 1. A paving outline. 2. Parallel strips of asphalt. 3. Stamped or Colored concrete. 4. Aggregate or brick banding.

Driveways will be designed with a minimum 20' of length from the face of the garage to the sidewalk. Three (3) car garages or greater will include an alternative pavement treatment.

2.1.25 Provide a difference of a least 2,000 square feet between the minimum lot size of two or more parcels in a master planned community

Zanjero Pass provides parcels with four different minimum lot sizes. The square foot difference between the smallest and largest minimum lot size is approximately 3,800 square feet. Additional lot size variation is created through the use of cul-de-sacs, knuckles and curvilinear streets.

2.2 Street Layout

- 2.2.1 The creation of new private streets is discouraged except when compelling and clear findings can be made that the private streets would benefit the entire neighborhood.***

No private streets are proposed for Zanjero Pass

- 2.2.2 Gated communities are acceptable only when an interconnection to existing adjacent neighborhoods is not needed. Occasionally stub street may be necessary to ensure future access to adjacent parcels as required by the Transportation Department.***

No gated entries are proposed for Zanjero Pass.

- 2.2.3 Provide a minimum of two arterial street access points at quarter mile and half mile locations when developing adjacent to arterial roadways. Provide additional access points when appropriate to eliminate the need for the majority of residences located in a square mile to use only one or two streets for ingress and egress.***

Sufficient access points have been provided within Zanjero Pass that addresses the surrounding street configurations. Arterial street access points have been planned to match existing intersections or meet minimum city intersection offsets along Citrus Road. Olive Avenue is less than a quarter mile long; therefore the property frontage along Olive Avenue has one access point.

- 2.2.4 Secondary access points are encouraged for fire department accessibility.***

Secondary access points have been provided to ensure adequate fire department accessibility.

- 2.2.5 Provide a functional hierarchy of arterial, collector, and local streets, which reduce the speed, and volume of traffic on the local streets.***

A functional hierarchy of streets has been provided.

- 2.2.6 Restrict direct access to arterial and collector streets from lots backing onto these streets by wide landscape tracts and non-vehicular access easements (NVAE).***

The subdivision has been designed with landscape tracts along the collector and arterial streets. If a lot is adjacent to an arterial or collector street, a NVAE will be placed along the lot line to preclude access.

- 2.2.7 Use cul-de-sacs, shorter block lengths, loops, knuckles, and eyebrows, extensively to provide a variety of lot orientations.***

Cul-de-sacs, shorter block lengths, loops, knuckles and eyebrows have been provided to provide a variety of lot orientations.

- 2.2.8 The typical width for local streets consists of a 32 - foot wide street width in a 50-foot right-of-way.***

The local streets will be designed to conform to the typical Glendale standards.

2.2.9 Incorporate traffic calming devices such as landscape islands, horizontal speed islands, chokers, raised intersections, raised crosswalks, roundabouts, or another technique when needed to reduce the potential speed of traffic on long thoroughfares which sometimes cannot be avoided. The approval of the Transportation Director and the Fire Department is required.

Zanjero Pass has been designed with sufficient variety in street design to avoid the use of excessive traffic calming devices; however, three roundabouts are included at key locations.

2.2.10 Limit local streets to a maximum of 600 feet and over length cul-de-sacs to a maximum of 400 feet.

Zanjero Pass uses a variety of street designs, such as cul-de-sacs and knuckles and provides significant integration of open space areas. These factors, combined with the lot layout standards create a varying streetscape. Some streets within Zanjero Pass have street lengths exceeding 600 feet. The street layout was reviewed and found acceptable to the City of Glendale traffic engineering department, subject to the addition of the 3 previously noted traffic circles.

2.2.11 Cul-de-sacs are to terminate on lots, a minimum of 15-foot wide landscape tract, or entrances to common open space areas, not blank walls or narrow un-usable remnants in the front yards.

Zanjero Pass has been designed so that cul-de-sacs do not terminate on blank walls or narrow un-useable remnants.

2.2.12 Eliminate potential "short cut" maneuvers through a development by minimizing straight-long drives through the subdivision.

Zanjero Pass has been designed to minimize straight, long drives through the subdivision. Traffic circles have also been provided at 3 key locations.

2.2.13 Provide collector streets with a landscaped median that connects through a development with enhanced streetscape landscaping.

This development does not have any interior collector streets. 175th Avenue along the Project's eastern edge is a collector street but will not have a median.

2.2.14 When houses back up to an arterial roadway a sidewalk is required to be located a minimum of 7 feet from the back of the curb, and a minimum of 8 feet from the back of the perimeter wall.

Zanjero Pass will comply with this standard.

2.3 Streetscape

2.3.1 Creating a safe, attractive, public environment that encourages pedestrian activity could be achieved by incorporating detached sidewalks on local streets and collectors (when houses face onto a collector) into neighborhoods. The width of the planting strip adjacent to the local street is to be 5 feet to allow the trees when full grown to provide a canopy over the sidewalk. A minimum of a 4-foot wide sidewalk is required.

Zanjero Pass has not incorporated detached sidewalks on local streets. No internal collector streets are proposed.

2.3.2 A minimum 6-foot wide detached sidewalk is required when located adjacent to all school sites. Design detached sidewalks to connect to the back of the handicap ramp at all intersections.

Zanjero Pass does not have a school site.

2.3.3 If detached sidewalks are not offered in a development then provide increased amounts of useable open space in addition to what is required in Part Four - Amenities.

Zanjero Pass has not been designed with detached sidewalks on local streets. The Project provides approximately 15.2% of the net residential area as open space.

2.3.4 Fire hydrants are to be located 2 feet from the back of curb.

Fire hydrants will be located 2 feet from back of sidewalk.

2.3.5 Provide a minimum of 8-foot P.U.E. between the right-of-way and perimeter wall to allow for adequate landscaped area.

An 8' PUE will be provided.

2.4 Perimeter Improvements

2.4.1 Enhanced entrances from arterial and collector streets to include: a. Landscaped tracts and landscape medians. b. Decorative paving material. c. Feature lighting. d. Monument signs. e. Distinctive wall details. f. Clearly distinguished primary and secondary entrances.

In order to create a specific character for Zanjero Pass, the entrances from collector and arterial streets will be designed with enhanced features. The main entrances (178th Avenue and Mountain View Road) will be enhanced with enhanced paving, landscaped tracts, feature lighting, monument signs, and distinctive wall details.

2.4.2 Decorative paving and accent materials for crosswalks, walkways, entrance areas to provide special settings and designate pedestrian crossing areas.

Zanjero Pass will utilize decorative paving and accent materials for the main entrances noted in 2.4.1 above.

2.4.3 Entry features integrated with the entry monumentation to include pedestrian areas with stamped concrete or special hardscape material, water features, sculptures, fountain, ponds, or lakes.

Zanjero Pass has been designed with entry monuments at the main entrance that include monumentation, enhanced landscaping, pedestrian areas, and decorative pavement. The entry monuments include water elements.

2.4.4 All entrance features and signs to be owned and maintained by a HOA and must not obstruct the sight visibility.

All entrance features and signs will be owned and maintained by the HOA and will not obstruct the sight visibility

2.4.5 Site features such as natural ground forms, raised planters, large rock formations, stone, water and significant view corridors shall be identified and incorporated into the design of the sign.

The primary and secondary entry feature will incorporate natural ground forms and raised planters among other techniques to provide an enhanced visual image. Water will be used in the primary entry features but not in secondary entrances.

2.4.6 All gate entries to be enhanced with light fixtures compatible with the design of the wall and high quality materials used for the gate and entry feature.

No gated entries are planned for Zanjero Pass,

2.5 Walls and Decorative Fencing

2.5.1 Perimeter theme walls along arterial and collector streets are to be of high quality compatible with the development concept.

Perimeter theme walls along arterial and collector streets will be high quality and compatible with the development concept.

2.5.2 Decorative walls are to be provided in all visible locations such as adjacent to collector streets and major entries. All areas that can be seen from public view to be designed with an enhanced theme wall.

Decorative walls will be provided in all visible locations. Areas that can be seen from public view will be designed with an enhanced theme wall.

2.5.3 A decorative masonry wall designed and constructed to provide sound attenuation is required adjacent to all arterial streets. The minimum height of this wall is 8 feet and 8 inches thick.

The decorative masonry walls adjacent to arterial streets will be designed at a height of 8 feet with an 8" thickness.

2.5.4 Provide a 6-foot theme wall adjacent to all collector streets.

A 6-foot theme wall will be provided adjacent to all collector streets.

2.5.5 All walls are to be of an enhanced decorative surface with accent landscaping and design elements such as stone veneer, brick, planters, marble, rock, decorative pilasters, decorative caps, stone or tile insets, or other significant design features. Plain concrete block, split-faced blocks or single scored block is not acceptable.

The interior subdivision walls that are visible from right-of-way and public/private spaces will have decorative surfaces that are accented by landscaping and other design elements. Stone will be introduced at entry monuments.

2.5.6 View fencing is to be used on lots adjacent to common open space areas when they will add to the amenities and improve security.

View fencing will be located at appropriate areas as identified on the conceptual landscape plans.

2.5.7 Retaining walls on corner lots and return walls are to be finished with paint and stucco to match the neighborhood.

Retaining walls on corner lots and return walls will be of enhanced decorative surfaces to match the theme walls or the adjacent home.

2.5.8 All walls designed around any water feature such as swimming pool, Jacuzzis, waterfalls, ponds, etc. to be fully enclosed or appropriately protected consistent with the City of Glendale Pool Ordinance.

Zanjero Pass does not contain any public water features, other than

2.5.9 Establish pass throughs designed in a safe and secure manner to destinations such as neighborhood parks, trails, schools, transit, or shopping.

Zanjero Pass provides a significant amount of safe and secure pass throughs, which provide connectivity throughout the community.

2.5.10 Perimeter walls are to be designed to break up long expanses. This can be accomplished through alternating materials or patterns, pilasters or landscape planters built into the design of the wall, angled alignments, curves, or staggers. Provide distinctive horizontal and vertical relief on perimeter walls adjacent to arterial and collector-street. The maximum horizontal run without variation is 150 feet. The variations should occur regularly and in a comfortable pattern.

The design of the perimeter walls includes varying patterns and pilasters. Additionally, the walls are angled and staggered to provide visual interest.

2.5.11 All perimeter walls to be constructed in the first phase of development or concurrent with each phase of multi-unit development.

Perimeter walls will be constructed concurrently with each phase of development.

2.6 Landscape

2.6.1 Drought tolerant/low water use plants, trees, and shrubs are encouraged in right-of-way areas subject to the Arizona Department of Water Resources Drought Tolerant/Low Water Use Plant List.

The proposed landscape materials in rights of way will conform to the ADWR Drought Tolerant/Low Water use plant list

2.6.2 A minimum six-foot wide landscape tract to be located on all corner lots.

A minimum 8' wide landscape tract will be located on all corner lots. Whenever possible, the tract will be a minimum of 10 feet in width.

2.6.3 A landscape tract with a minimum width of 30-feet to be provided along all arterial streets as a buffer for the neighborhood and for lots that may back or side onto the arterial roadway.

A landscape tract with a minimum width of 30 feet is provided along arterial streets. This landscape tract has been designed with additional depth above 30 feet at the varying locations to provide visual interest.

2.6.4 Provide a 15-foot landscape tract adjacent to all collector roadways. These tracts may be used for storm water retention or to meet open space requirements.

A minimum 15 foot landscape tract is provided along the perimeter collector street (175th Avenue). As with the arterial street design, the landscape tract will be designed with varying depths and views into open space areas to provide visual interest.

2.6.5 All tracts to be owned and maintained by the HOA.

The HOA will own and maintain all landscape tracts.

2.6.6 Each lot is to have at least one associated street tree, selected for consistency with the dominant and/or approved block street tree and planted within the 5-foot landscape area between the curb and the sidewalk.

Zanjero Pass does not have detached sidewalks on local streets.

2.6.7 Landscape tracts in the adjacent street right of way are to be maintained by a HOA.

Landscape tracts will be maintained by the HOA.

2.6.8 Provide increased landscaped buffers in addition to the minimum 30-foot requirement along arterial streets.

As stated above, the 30-foot landscape buffers along the arterial streets are a minimum. Additional landscape buffer width has been provided through the use of wall staggers and angles.

2.7 Stormwater Retention

2.7.1 All stormwater retention areas subject to the Engineering Design and Construction Standards.

Stormwater retention areas will meet Engineering Design and Construction standards.

2.7.2 Retention basins must be owned and maintained by a HOA.

The HOA will own and maintain the retention basins.

2.7.3 Contour the sides and bottoms of basins to create a natural looking appearance. Use varied slopes and curvilinear edges to create a more natural looking facility instead of rectangular forms and long stretches. No single rectangular basins will be allowed. All basins must be landscaped to meet or exceed the requirements of the Landscape Ordinance.

The retention basins will be designed to create a natural looking appearance through the use of curvilinear edges. Landscaping will comply with the Landscape Ordinance.

2.7.4 Retention areas to meander through the development as a green belt.

The retention and open space areas have been designed as integrated greenbelts.

2.7.5 Locate retention areas so they are visible, attractive, and accessible for recreational use. All basins must have adequate street frontage.

The retention areas have been designed as visible and attractive spaces with adequate street frontage.

4.1 Open Space

- 4.1.1** *A minimum of 15% open space is required in medium lot developments. Substantially increase open space in excess of 15% for small lot developments, and provide not less than 10% for large lot developments.*

Zanjero Pass has been designed to provide approximately 15.2% of the net residential land area as usable and other open space.

- 4.1.2** *The areas that may be included in the calculation of open space include: dedicated park sites, multi-use paths, equestrian and hiking trails, private parks, and swimming pools or water gardens. Perimeter landscape areas used for decorative purposes only adjacent to the right-of-way may not be counted towards the total open space.*

Open space will be calculated in accordance with the City's guidelines. However, perimeter landscape areas that contain multi-use trails will count towards open space.

- 4.1.3** *Open space areas may also include areas used for stormwater retention, but must provide active or passive recreational opportunities as defined in the Manual.*

Active and passive recreational opportunities shall be provided in areas used for stormwater retention as defined in the Manual.

- 4.1.4** *Utilize the existing linear open space areas such as Agua Fria, New River, Skunk Creek, Arizona Canal, Grand Canal, and Thunderbird Paseo Park as possible view corridors, connections, and trail systems whenever possible.*

Zanjero Pass is not located along the above mentioned linear open space areas.

- 4.1.5** *If golf courses are proposed within a development, the overall area used for the golf course may not account for the total open space in an effort to allow for other amenities within the project boundaries.*

There are no golf courses located within Zanjero Pass.

- 4.1.6** *Show any relationship to the City's trails, parks, or schools in the area and provide connectivity to the adjacent neighborhoods, off-site trails, paths, bikeways, and transit areas.*

Zanjero Pass has been designed with a significant amount of connectivity within the development. There are no surrounding City trails for connection, although a trail system has been included along the arterial streets.

- 4.1.7** *Active play areas are to be carefully located and designed to ensure safety and compatibility. Useable open space areas that include tot lots and active play equipment should be located "central" to the neighborhood or in each phase of a development if designed as a multi-phased project.*

The activity areas within Zanjero Pass have been carefully located and designed to ensure safety and compatibility.

4.1.8 Open space areas used for active recreational activities such as tot lots, basketball, volleyball, etc. and the access to them cannot be inundated by storm-water or used for water retention purposes.

Active recreational areas (other than multi-use fields) have been designed to be 1-foot above the bottom of retention basins.

4.1.9 Design retention areas accordingly to prevent all open space from being used for retention.

Only a portion of the open space areas will be used for retention.

4.1.10 Design active open space for variety of activities for all age groups such as: walking, sports, neighborhood events, etc. Amenities should include but not be limited to: Tot lots, sport court, basketball, amphitheaters, tennis courts or volleyball with sand court, barbecue areas with ramadas, cabanas, or gazebos, courtyards with bench seating, fountains, water gardens, pool, or lakes by means of effluent.

The amenity areas for Zanjero Pass have been designed with a wide variety of uses that comply with the intent of the Design Guidelines.

4.1.11 Integrate bike racks in all passive and active open space areas.

Bike racks will be integrated into active open space areas where appropriate.

4.1.12 Tot lots and other active play equipment to be covered and located adjacent to each other to function as a central activity center. Design active recreational opportunities for all ages adjacent to each other to allow a diverse recreational setting.

Multi-use play structures in the play areas will not be covered, although covered ramadas and shade trees will be provided. The play areas will be designed to function as an activity center and to allow for a diverse recreational setting.

4.1.13 Passive open space areas include ground cover or turf with low growing plant and theme trees incorporated throughout with lighting, benches in covered areas to be placed throughout the development to offer restive breaks and views, and drinking fountains with trash receptacles to be maintained by a HOA.

Open space areas and linkages will be designed with lighting, trash receptacles and benches, which will be maintained by the HOA.

4.1.14 Design passive open space areas such as courtyards or gazebos in a central location within the neighborhood to promote a meeting place for residents.

Passive open space areas with ramadas and benches have been incorporated through-out the community.

4.1.15 Design open space areas toward the main entrance of the neighborhood and open to street view to create focal points and scenic views.

Open space areas have been designed near neighborhood entrances to create street views and focal points.

4.1.16 Incorporate public art into passive open space areas.

The landscape plan for Zanjero Pass does not incorporate public art into open space areas.

4.1.17 Provide a sufficient amount of open space and facilities to match the scale of the development.

There is sufficient open space to match the scale of the development.

4.1.18 Integrate pathways with the local street system to maximize access and flexibility of use.

Pathways have been integrated with the local street system to maximize access and flexibility of use, including providing walking trails with access to amenities.

4.1.19 To provide connectivity throughout the neighborhood design open space to meander as a greenbelt system.

The open space and retention areas have been designed to provide connectivity and function as a greenbelt system.

4.1.20 Use view fences on lots adjacent to common areas when they will add to the amenity and improve security. The design of outdoor spaces shall recognize and incorporate views, climate, and the nature of outdoor activities.

View fencing will be located at appropriate areas and as shown on the Conceptual Wall Plan.

4.1.21 Increase grade changes in open space areas gradually.

The grading plan for Zanjero Pass will attempt to comply with this guideline.

4.1.22 Provide turf or a turf equivalent in all areas used as active open space.

Turf or a turf equivalent will be provided in active open space areas that are identified for uses such as multi-use fields, play areas and other similar activity areas. Please refer to the Preliminary Landscape Master Plan.

4.1.23 Decorative theme lighting is to be placed at all pedestrian walkways and active play areas throughout a neighborhood.

Decorative theme lighting will be provided on pedestrian walkways and active play areas

4.1.24 Cross sections for walkways, trails/paths shall have a minimum overall width of 20 feet with a minimum of 10 feet dedicated to a multi-use path, exclusive of any vehicle and/or landscape areas, and 10-feet (5 feet on each side) dedicated to landscaping directly adjacent to the path.

Trails will have a minimum width of 8 feet for the multi-use path along arterial streets. The adjacent landscape areas will be designed to provide sufficient accent landscaping, but will not be required to have a minimum of 5 feet on each side of the trail. A minimum of 5 foot trail width shall be provided on other trails within open space tracts.

4.2 Lighting

Appropriately located light fixtures are planned for this development providing a safe environment in addition to enhancing the character desired within this community. The following is to be included in all neighborhoods:

4.2.3 Standard City of Glendale Street lights in accordance with the City's Street Light Manual.

Zanjero Pass shall comply with the city's street light manual.

4.2.4 Theme lighting such as pedestrian lights or bollards.

Theme lighting will be provided.

4.2.5 Street-lamps located in the 5-foot landscape border between the street and sidewalk.

Zanjero Pass is not providing detached sidewalks on local streets.

4.2.6 Lighting at all interior streets, trails, paths, open space areas, active or passive play areas.

Interior lighting will be provided along interior streets and paths and at play areas where deemed appropriate.

4.2.7 Continuity of theme lighting with a family of compatible lighting fixtures throughout the entire neighborhood, using accents or highlights only in open areas.

Zanjero Pass will provide continuity of theme lighting.

4.2.8 Theme light equipment that has an aesthetic relationship to the surrounding residential architecture during daylight hours and compatible with the natural landscape.

Zanjero Pass will meet this requirement.

4.2.9 Streetlights and pedestrian lighting placed at all mailbox locations, and entrance areas.

Lighting will be placed at mailbox locations and entrance areas.

4.2.10 The pull box and streetlight must be located in the right-of-way between the sidewalk and the curb. Street light conduits must be located behind the detached sidewalk in an 8-foot PUE.

Detached sidewalks are not proposed on local streets. Pull boxes and street lights will be placed behind the sidewalk.

4.2.11 Any private developments with streetlights maintained by an HOA must be in conformance with the City of Glendale Streetlight standards.

Zanjero Pass shall comply with the city's streetlight standards.

4.3 Mailboxes

4.3.1 Mailbox designs and locations are to be integrated with the development and used as a meeting place for residents.

Zanjero Pass will meet this requirement.

4.3.2 Streetlights are to be located adjacent to all mailbox locations.

Streetlights will be located adjacent to mailbox locations.

4.3.3 The mailbox design shall reflect the same type of building materials as used throughout the development. The location of the mailboxes should not be located at the entrance into the development along a blank wall, but integrated into the theme and character of the neighborhood and located around open space areas. If the mailboxes are located at the perimeter of a development then a kiosk is required for screening purposes.

Zanjero Pass will meet this requirement.

4.3.4 Smaller groupings of mailboxes or single mailboxes are encouraged where appropriate, depending on the type of development throughout the local streets.

Zanjero Pass shall comply with small grouping of mailboxes to the extent acceptable to the post office.

5.1 Design Criteria

All requests for zoning, preliminary or final plat are to be accompanied by: a. A minimum of 4 floor plans and 4 distinct and different elevations for each floor plan. b. Development of 30 lots or less to provide three floor plans and three distinct and different elevations for each floor plan. c. Color and material palette illustrating building materials, paint colors, and finish schemes proposed for the roof, walls, and any other architectural details.

5.1.1 Design elements and detailing to be continued completely around the structure with the same importance put on all sides. Such design elements shall include. 1. Articulation of wall planes, a variety of roof forms, variation in roof heights, and ridgelines, or other architectural treatments. 2. Accent treatments and finishing details such as pop outs, reveals, and recesses are required around all windows (dual pane) and doors, gable ends and wall expanses on all elevations. Window frames and mullions must be finished with baked enamel paint or anodized. 3. Garage doors made from sectional metal or high quality wood or equivalent. Window panels are encouraged to be integrated into the design of the garage door. 4. Pillars, columns, and posts are to be enhanced with stucco and other architectural treatments such as brick or stone veneer. 5. The main feature, which shall not be the garage door, and to be prominently placed on the elevation either facing the street or at an angle. The inclusion of front porches on new houses or remodels is encouraged as a symbol of entry.

Homebuilders have not been selected so home product is not known at this time. However, homebuilders will be required to meet the intent of the above guidelines and to conform with a majority of the listed items.

5.1.2 Linear repetitive streetscape appearance and building facades shall be avoided by providing variations between the front elevations.

The homes within Zanjero Pass will provide variations in front elevations.

5.1.3 Provide a variety of roof forms and ridgelines

A variety of roof forms and ridgelines will be provided.

5.1.4 All building materials to be durable and appropriate for their intended use.

Zanjero Pass will provide appropriate and durable building materials.

5.1.5 Colors to relate well to the house and area and be appropriate for the proposed style of architecture.

The color palette for Zanjero Pass will be designed to complement the homes and other features of the community.

5.1.6 Metal flashing, vents, pipes, electrical panels and other exposed metal must be painted to match the color of the roof or house.

These items will be painted.

5.1.7 Completely screen all ground mounted mechanical equipment behind a fence or gate.

Ground mounted mechanical equipment will be screened.

5.1.8 Box all fireplace chimneys to avoid exposed metal flutes.

Fireplace chimneys will be boxed.

5.1.9 Porches, balconies, and/or seating areas on the front of the home are encouraged to be incorporated into the design of the dwelling unit to provide covered area to protect residents from weather, enhance the elevation, provide more depth to the dwelling unit and create a sense of arrival.

Floor plans will include a porch, balcony or seating area on the front of homes for a minimum of 50% of each parcel's floor plans.

5.1.10 All front entryways to be emphasized, lighted and open. Side entries and doorways are allowed if the door is visible from the street and not behind the garage or living area. Narrow front porches are not permitted in order to avoid potential safety hazards.

The home designs for Zanjero Pass will comply with this guideline.

5.1.11 A minimum of one window from the living area of the house on the first floor must be visible from the street.

A minimum of one window from the living area will be designed to be visible from the street, except in instances where front porches or enhanced entryways in conjunction with side entry garages preclude providing a visible window.

5.1.12 The same front or rear elevations should not be located directly across from one another.

The same front elevations will not be located directly across from one another. Rear elevations may be across from one another.

5.1.13 Patio covers must be provided as a standard feature and match the architecture of the house and the roof material.

Patio covers will be provided as a standard feature and match the architecture of the house.

5.1.14 Integrated patio covers are encouraged. Columns must be enhanced to match the house such as stucco, brick, or stone veneer. If a flat roof is provided, it must be screened with a parapet or similar treatment.

The patio covers will be designed as an integrated feature with enhanced columns.

5.1.15 Clay or concrete tile to be used as a roof material.

The roof material will be clay, concrete or other similar tile.

5.1.16 A minimum of two coach lights to be placed at the face of the garage.

A minimum of two coach lights or other lighting having a similar effect will be provided as an option to the homeowner.

5.1.17 Accessory buildings to match the architectural style of the principle structure including materials and colors.

Accessory buildings will match the architectural style of the principal structure.

5.1.18 All return walls must be finished with stucco and paint to match the development.

Return walls will be finished to match the development.

5.1.19 Recessed garages have been addressed in the small and medium lot development expectations under Lot Layout.

Although the floor plans are not available at this time, some floor plans will include recessed garages and/or side entry garages.

5.1.20 Garages should not be the dominant feature on the lot but shall be located a minimum of 5 feet back from the entry feature or living area in medium and large lot developments. In small lot developments the garage should be located in excess of the 5-foot requirement.

The home product to be utilized by the home builder will include varying garage orientations and depths to avoid a garage dominant streetscape through the use of side entry garages and recessed main garage designs on many of the home designs. Small lot and large lot development does not apply to this project as the smallest zoning category is R1-7 with the average lot size exceeding 7,000 S.F.

5.1.21 If side entry garages are incorporated into a development with the driveway internal at the front of the house or external on the side of the lot the front facing wall must be architecturally integrated with the design of the home.

The front facing wall of side entry garages will be designed to be architecturally integrated with the design of the house.

5.1.22 Courtyard walls a maximum 3' in height in the front yard or side yards adjacent to the driveways to create gathering areas are encouraged.

Courtyard walls will be provided on some floor plans as an option to homebuyers with a 3 foot wall option.

5.1.23 Provide decorative pilasters, molding, cornices, brick stone, masonry, or other façade and accent materials to encourage curb appeal.

Decorative features will be provided on front elevations to meet the intent of this guideline.

5.1.24 Add brick, river rock, natural stone, or masonry to elevations in each neighborhood to add a distinctive finishing touch to the home.

Each floor plan will have a minimum of three different elevations. Some elevations will include brick, rock or stone treatments to meet this guideline.

5.1.25 Roof mounted mechanical equipment is prohibited.

Roof mounted mechanical equipment is not permitted within Zanjero Pass.

5.1.26 Each home to provide a logical location for the storage of trash receptacles which is fully screened from public view.

Screened storage places for trash receptacles will be provided.

5.1.27 The location of the house on the lot, windows, orientation, building height and location of on-site open space shall consider preservation of the privacy of adjacent development.

The lot layout has been designed with consideration for the preservation of privacy of adjacent developments.