

# MASTER DEVELOPMENT PLAN BOOKLET

FOR:



8283 WEST GLENDALE AVENUE  
GLENDALE, ARIZONA  
03.01.06

GLEN 83, L.L.C.



APPROVED

TR

SIGNATURE

6/13/06

DATE

ZON05-14

DRO6-33

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**Project Narrative**

(Minor General Plan Amendment And Rezoning)

**The Glen At 83<sup>rd</sup> Avenue**

8283 West Glendale Avenue

Glendale, Arizona

(S.E.C. Of 83<sup>rd</sup> Avenue And Glendale Avenue)

City Of Glendale Case Numbers:

ZON05-16

GPA05-09

Prepared: March 1, 2006

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Scottsdale, Arizona 85251  
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## **Introduction**

These requests are for a minor amendment to the General Plan and a rezoning of 8.24 acres located at the southeast corner of 83<sup>rd</sup> Avenue and Glendale Avenue from Medium-High Density Residential (8-12 building units per acre) and R-3 (Multiple Residence) to Planned Commercial ('PC') and Neighborhood Shopping Center ('NSC').

The City Of Glendale (the 'City') outlines its vision and planning assumptions in the city's plan entitled Glendale 2025: The Next Step (the 'General Plan'). The General Plan establishes both the vision, planning assumptions, planning principles and administration to reflect an expression of the City's preferences, policies, long-term perspective and guide to public and private decision making.

This request, based on the General Plan Amendment section of the General Plan, is not classified as a major general plan amendment as governed by Arizona Statutes A.R.S. § 9-461.06(d) and (g).

The rezoning request accompanying the minor general plan amendment will facilitate development of approximately 62,282 square feet of commercial retail, office and restaurant development along with approximately 10,761 square feet of outdoor pedestrian areas.

Currently, the southwest, northwest and northeast corners of the General Plan Land Use Map at the intersection of 83<sup>rd</sup> Avenue and Glendale Avenue are designated for either Planned or General Commercial with corresponding zoning in place.

## **Minor General Plan Amendment**

Currently the property is designated Medium-High Density Residential ('MHDR') which is defined as providing a combination of single-family attached and detached dwellings, duplexes and multi-family dwellings. The General Plan categorizes MHDR as providing housing types in planned and clustered development settings, common open space and recreational amenities to serve residences. The density range of this land use category is between 5.0 to 12.0 building units/acre (bu/ac). Currently, the property is located within medium density residential 3.5 to 5.0 bu/ac and planned commercial developments. The permitted density of 5.0 to 12.0 bu/ac is likely unachievable given the relatively small area of the property, dedicated right-of-ways and building setbacks. Also, given the stated parameters, there is limited marketability for this site.

The PC designation is intended to provide commercial retail development planned, constructed and operated as a single entity. The intent is to provide neighborhood and community designed shopping and retail opportunities with a strong pedestrian orientation. PC designated properties require Master Development Plans to show a relationship between buildings, driveways, internal circulation, pedestrian circulation, gathering areas, parking and landscaped areas. Key factors for the commercial activity in PC designated property is to minimize land use conflicts and maintain appropriate transportation access, parking and ensure development where adequate services are present and provide local community activity and convenience.

The proposed Master Development Plan ('MDP') reflects these planning goals and master development will occur under a single entity.

## **Rezoning**

While the existing General Plan designation and zoning category on the property may not be as appropriate as the proposed request, the MDP requirement of both the General Plan Amendment and the NSC rezoning provides the City a greater opportunity to comprehensively plan the site for development. Therefore, designating this parcel as NSC is appropriate for a site this size.

Under the existing General Plan designation and zoning of the property, dwelling units could be developed with a simple administrative design review application. With three of the four corners of this arterial intersection entitled or developed for commercial purposes, residential land uses seem incompatible. This request affords the City an excellent opportunity to plan and control development of the property to reflect current planning principles and goals.

NSC zoning focuses on satisfying the daily commercial and service needs of the local community and is intended to be compatible with the adjoining neighborhoods. Large regional uses, such as big-box, power center or other uses are not appropriate in the NSC zoning district. Currently, no convenience uses as defined by the Ordinance are proposed in this request. However, it is understood that a rezoning, along with amendments to the MDP, to request for a Conditional Use Permit could permit convenience uses.

Section 5.708 of the Ordinance outlines specific performance standards to include a restriction of no single retail use greater than 75,000 square feet, design review approval for the entire site prior to issuing building permits, phasing and that plazas containing at least 1,000 square feet per net acre be provided, 50% of which being required to be developed in Phase 1. The DMP submitted with this request complies with each of these performance standards.

Section 5.709 addresses the MDP submittal requirements, which includes the location of all proposed buildings, plazas, pedestrian walkways, drive aisles, parking, loading and service areas, landscaping retention, entry features, perimeter walls and street improvements. A Comprehensive Master Sign program is included in the MDP as well as on-site lighting, including individual fixture cut sheets. Detailed plans related to the hardscape and open space features have also been submitted.

Each of the proposed uses and the corresponding square footages are clearly identified on the MDP, while great consideration has been taken in both relating the proposed retail development to the arterial corner and higher density residential developments that wrap the site.

## **Site Plan**

The MDP incorporates site planning techniques intended to feature the overall architecture. Open pedestrian spaces, landscaping and hardscapes compliment the buildings while parking screen walls and entry features promote citizen interaction from both the intersection and from the adjoining neighborhood and create an inviting appeal to the center.

We have designed the site to showcase the building architecture by placing the buildings along the perimeter, eliminating parking areas between off-site pedestrians and the center. Restaurant/Retail 'A', located on the immediate corner, has been designed to allow integration between pedestrians, landscape and the buildings and has created an inviting monument to the

site. Retail/Offices 'D', 'E' and 'F', located at the southeast corner of the site, are also located on the perimeter of the site and are set back more than 60 feet from the adjacent property lines.

An application to abandon Lamar Road will be submitted with all of the right-of-way being incorporated into this MDP.

### **Building Elevations**

Building architecture features modern forms and the integration of vertical and horizontal elements intended to reduce massing, create visual interest in horizontal and vertical variations and provide a strong sense of pedestrian scale. Each proposed building includes covered pedestrian walkways finished in a host of modern materials and colors.

### **Summary And Conclusions**

Based on the property's location and the southeast arterial corner of 83<sup>rd</sup> Avenue and Glendale Avenue and given the either planned or developed commercial land uses on each of the other corners of the intersection, it would appear that the proposed General Plan Amendment and rezoning is appropriate.

As required by the General Plan Amendment and rezoning, an MDP has been submitted and features thoughtful site planning to include all buildings located within a landscaped setting, parking oriented on the interior of the site screened by the land use, strong pedestrian scale and open spaces.

Finally, an application was submitted proposing the abandonment of Lamar Road and has been scheduled for the March 28, 2006 City Council Meeting. The abandoned right-of-way has been incorporated into this project.



PROJECT DATA

ADDRESS: 8283 WEST GLENDALE AVENUE  
GLENDALE, ARIZONA  
PROPOSED USE/OCCUPANCY TYPE: MIXED USE/MIXED

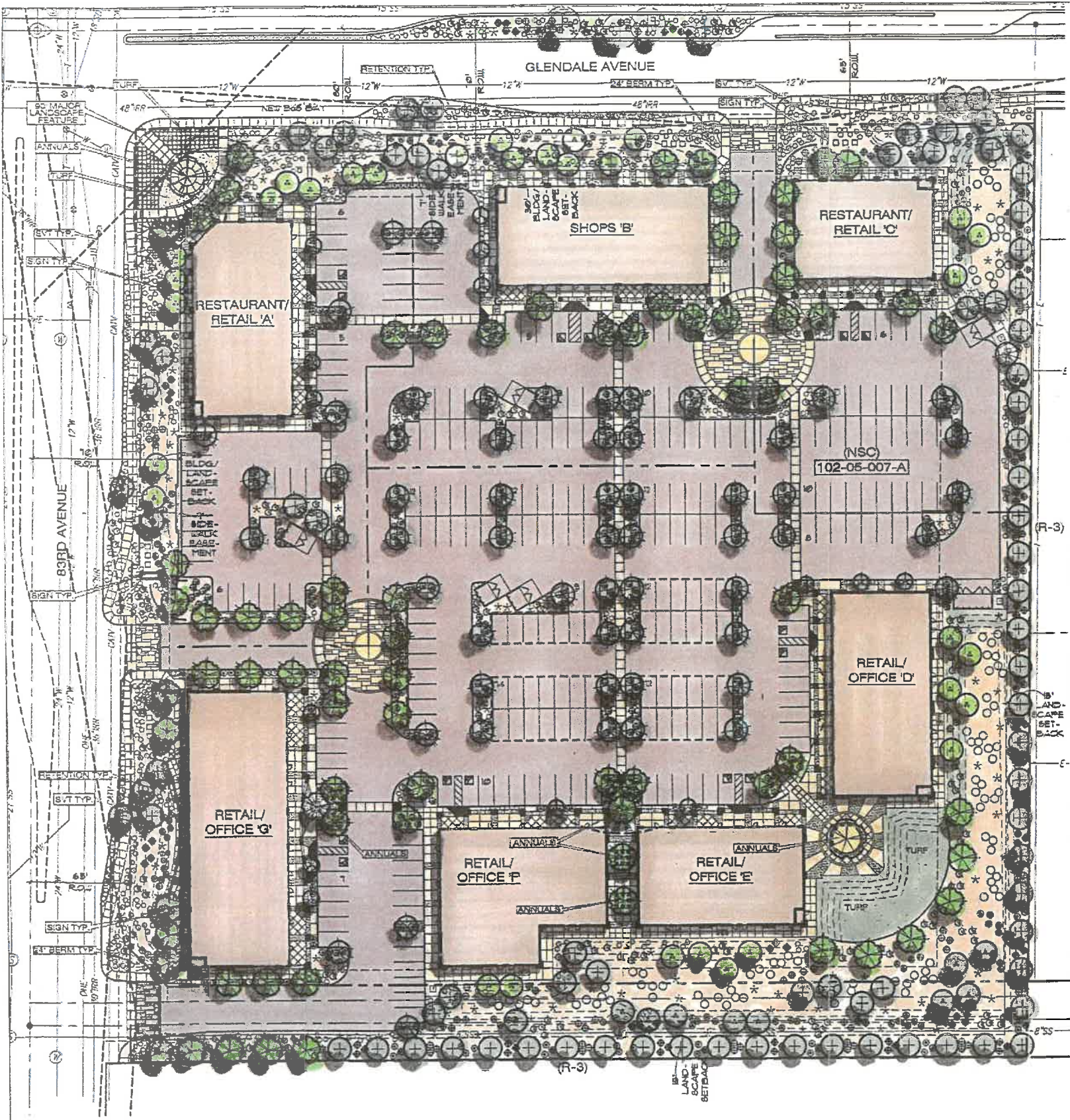
EXISTING ZONING: R-3  
PROPOSED ZONING: NSC

SITE DATA:  
GROSS SITE AREA 358,875 S.F. (8.24 Ac.)  
NET SITE AREA 358,875 S.F. (8.24 Ac.)

BUILDINGS:	
REST./RETAIL 'A' + PATIO (8,278 S.F.+1,000 S.F.)	9,278 S.F.
SHOPS 'B'	9,147 S.F.
REST./RETAIL 'C' + PATIO (6,011 S.F.+980 S.F.)	6,991 S.F.
RETAIL/OFFICE 'D'	8,842 S.F.
RETAIL/OFFICE 'E'	7,187 S.F.
RETAIL/OFFICE 'F'	8,903 S.F.
RETAIL/OFFICE 'G'	11,934 S.F.
TOTAL	62,282 S.F.

BUILDING COVERAGE: 17.35%

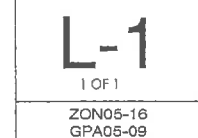
PARKING:  
PARKING REQUIRED: 250 SPACES  
PARKING PROVIDED: 266 SPACES



SITE PLAN

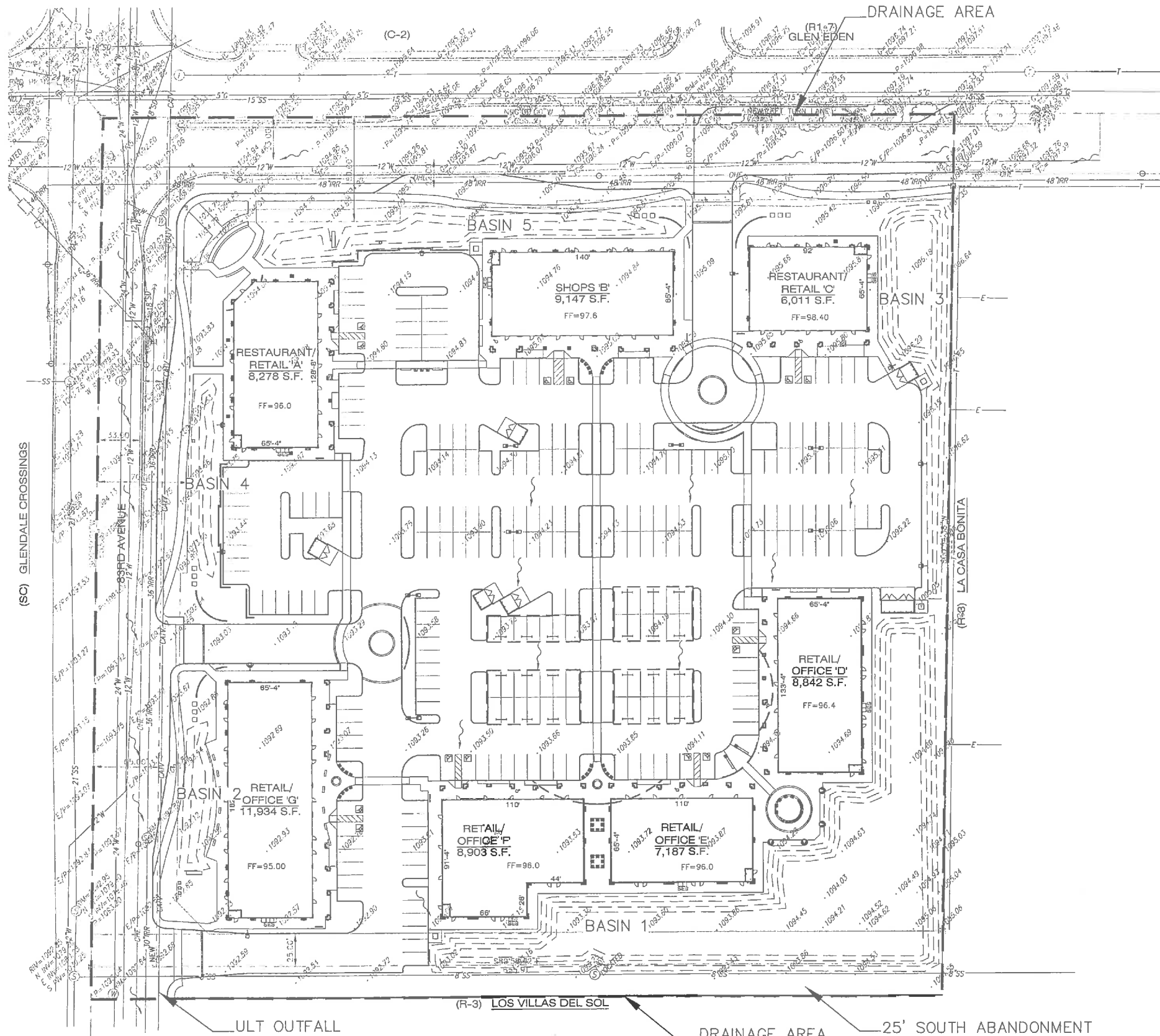
04076  
03.01.06





SHRUB PLANTING DETAIL





STORM WATER RETENTION CALCULATION

V REQ= 7200\*C\*I\*A  
C=0.90 COMMERCIAL  
I=1.45"  
A= 10.24 AC  
  
V REQ = 96,228 CU FT  
  
SURFACE BASINS:  
BASIN 1: 81,089 CU FT  
BASIN 2: 1,399 CU FT  
BASIN 3: 14,275 CU FT  
BASIN 4: 1,192 CU FT  
BASIN 5: 4,093 CU FT  
  
UG RETENTION: 0  
  
V PROV = 102,048 CU FT

ULTIMATE OUTFALL OF PROJECT TO SW CORNER TO 83RD AVE R/W.  
NARRATIVE: SITE WILL RETAIN 100 YEAR 2 HOUR VOLUME. EXISTING ROADWAY DRAINAGE PATTERNS AND STORM DRAINS TO REMAIN AS EXISTING, HOWEVER DRAINAGE AREA IS TO ROADWAY CENTERLINE PER CITY OF GLENDALE REQUIREMENTS. 3 LARGE ONSITE BASINS AND UNDERGROUND RETENTION TO CONTAIN VOLUME. PERCOLATION TESTS FOR SURFACE BASINS PENDING. UPON FILLING, ULTIMATE OUTFALL WILL BE TO 83RD AVE ROW AT THE SOUTH EDGE OF THE PROPERTY.

ONSITE PIPE COLLECTION SYSTEM WILL BE REQUIRED TO COLLECT FLOWS AND ROUTE TO RETENTION BASINS.

BASIN SIZING INCLUDES HALF STREET, HOWEVER STREET FLOWS DO NOT ENTER SITE. GLENDALE AVE STORM DRAIN TO REMAIN IN PLACE AND OPERATIONAL AND FLOWS ON 83RD AVE TO MAINTAIN EXISTING FLOWS TO SOUTH.

APPROX LF OF RETAINING WALLS: 1900 LF

FEMA FLOOD MAP 04013C1640E 7-19-D1 ZONE X.

UTILITY INFORMATION

WATER: CITY OF GLENDALE. MAINS EXIST IN BOTH STREETS. ONSITE PUBLIC MAIN PROPOSED LOOPING BETWEEN ARTERIALS. DOMESTIC METERS AND FIRE TAPS TO BE SERVICED FROM.

SEWER: SEWER MAINS EXIST IN BOTH STREETS. SITE TO TAP EITHER MAIN FOR SERVICES.

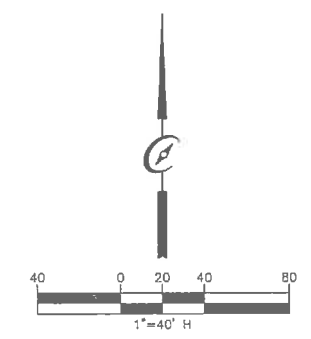
REVISIONS	
DATE	DESCRIPTION
3-1-06	SP REVISIONS
11-14-06	SP REVISIONS
10-11-06	SP REVISIONS
10-9-05	REVISIONS, ADD
	REVISIONS, ADD
7-22-05	ADD RETAINING WALLS
6-30-05	PRELIM G-D-FOR ZONING

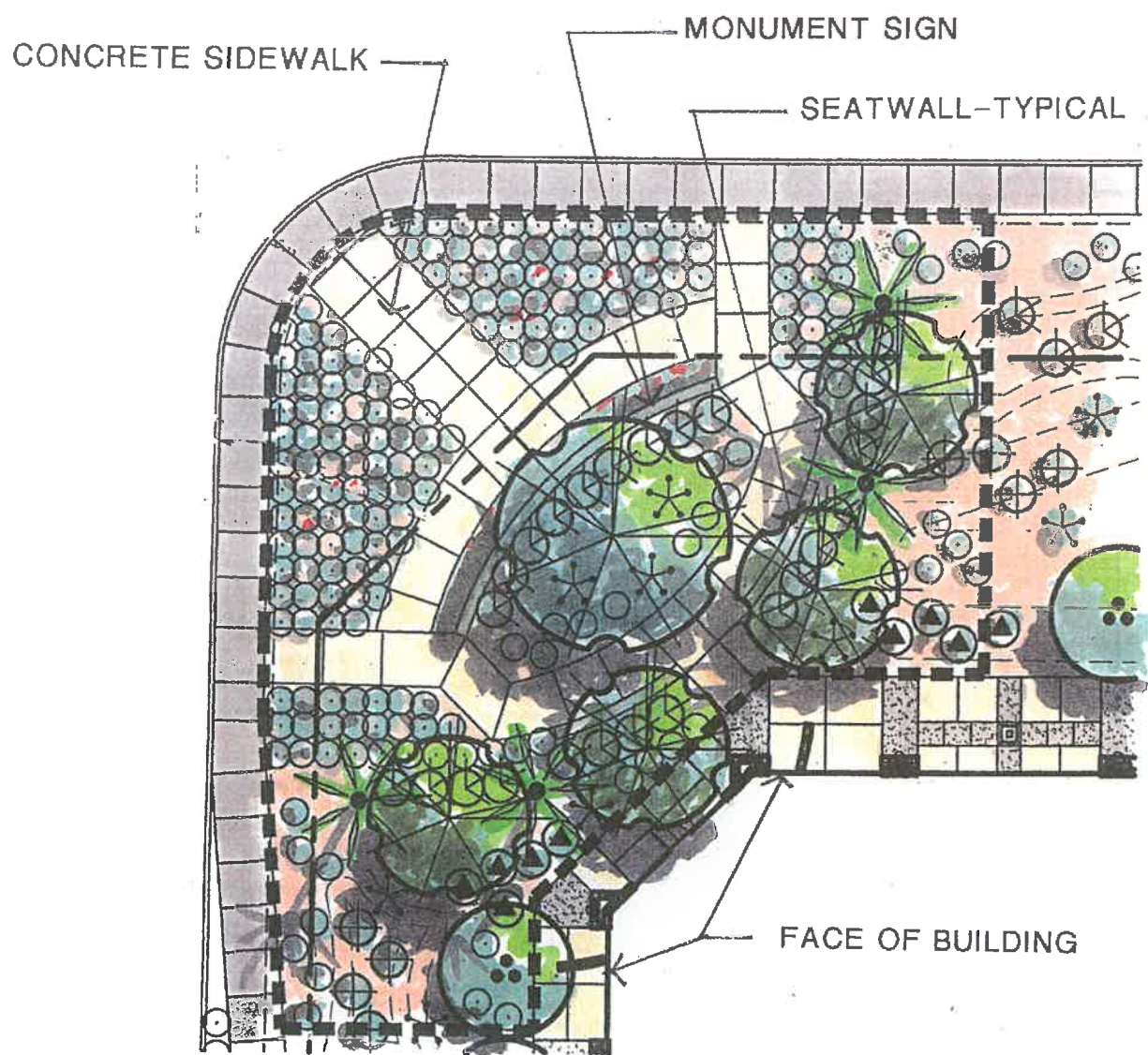
THE GLEN AT 83RD AVE  
K+I ARCHITECTS  
JAVAN INVESTMENTS  
8283 W. GLENDALE AVE  
GLENDALE, ARIZONA

Metro/Land Consultants, LLC  
1850 N. CENTRAL AVE., SUITE 525 PHOENIX, AZ 85004 PH. 402-393-2030 FAX 402-393-2031  
DESIGN: SB  
CHECKED: SB  
DRAFTING: MLC  
DATE: JUNE 2005  
IMPROVEMENT PLANS  
PRELIM GRAD + UTILS

SEAL  
PRELIMINARY  
30489  
STEVEN R. BOWSER  
REGISTERED PROFESSIONAL ENGINEER  
FOR CONSTRUCTION  
602-263-1100  
Blue Sticks Center  
CALL COLLECT

JOB NO. 05-1-19  
GD-1

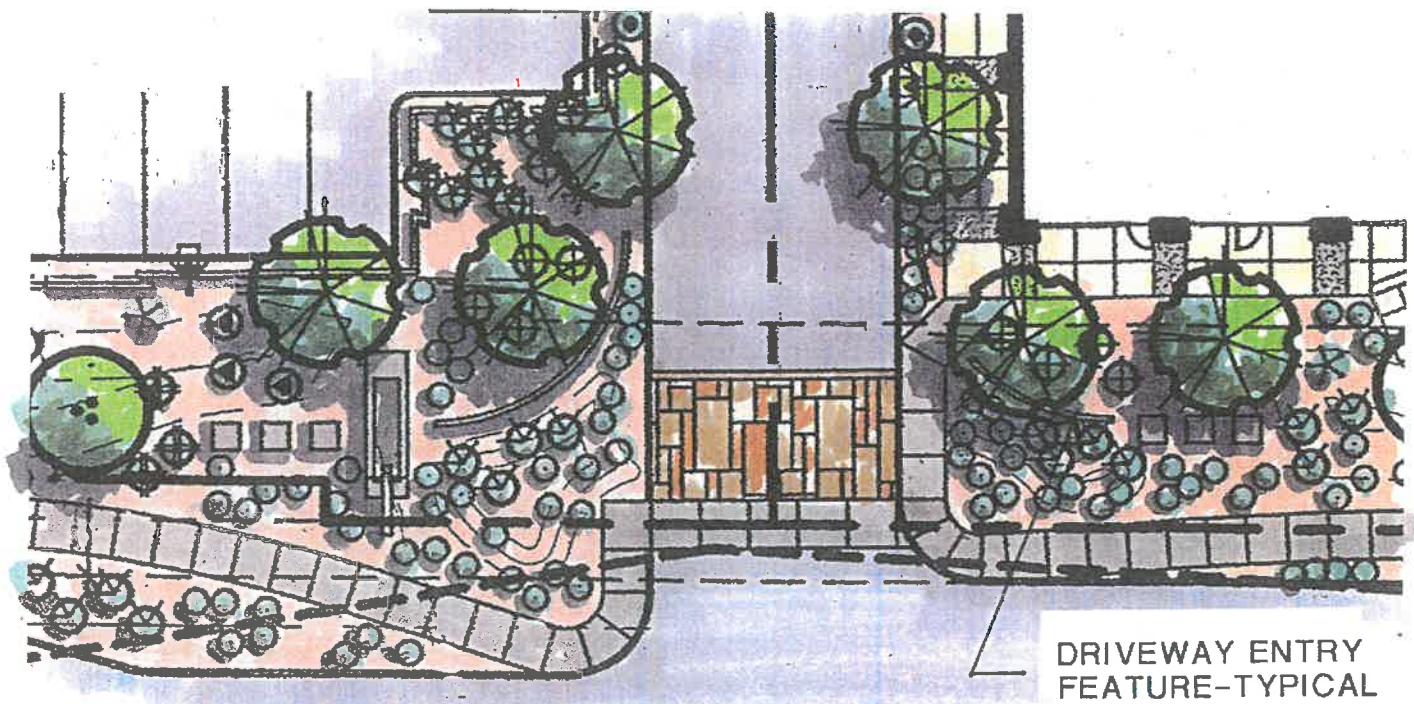
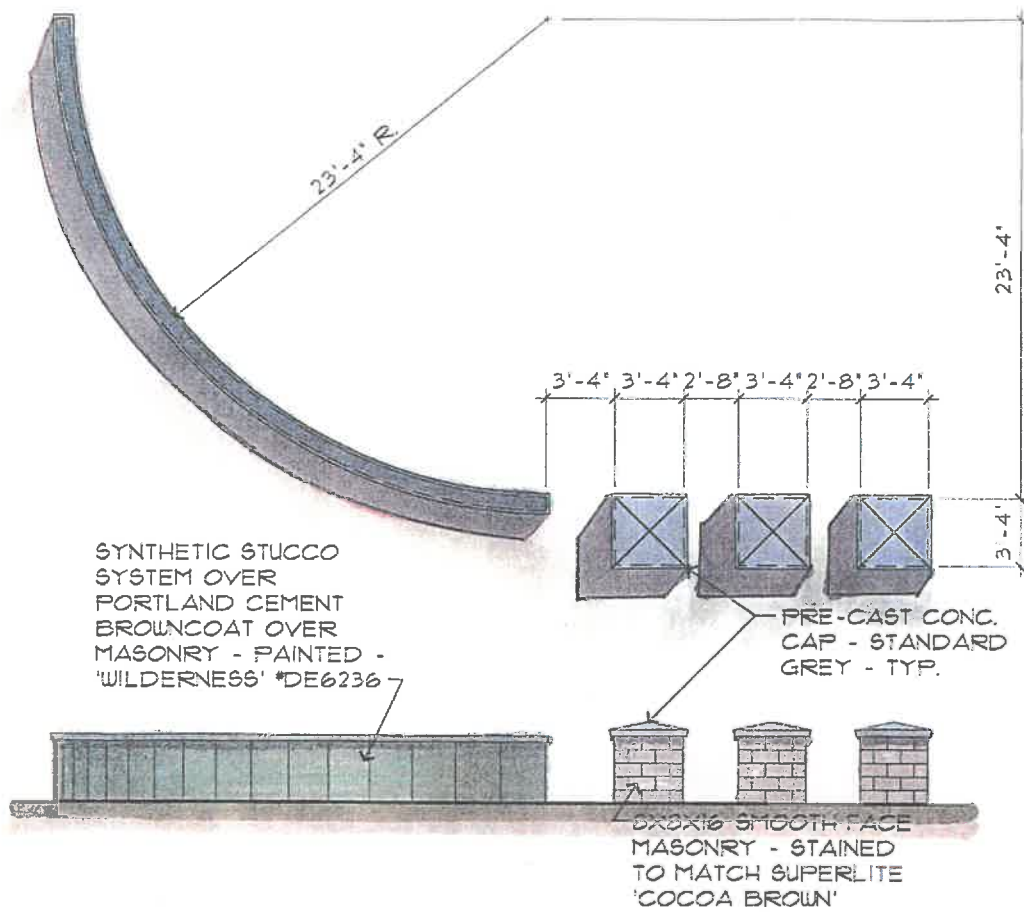




## CORNER FEATURE (LANDSCAPE)

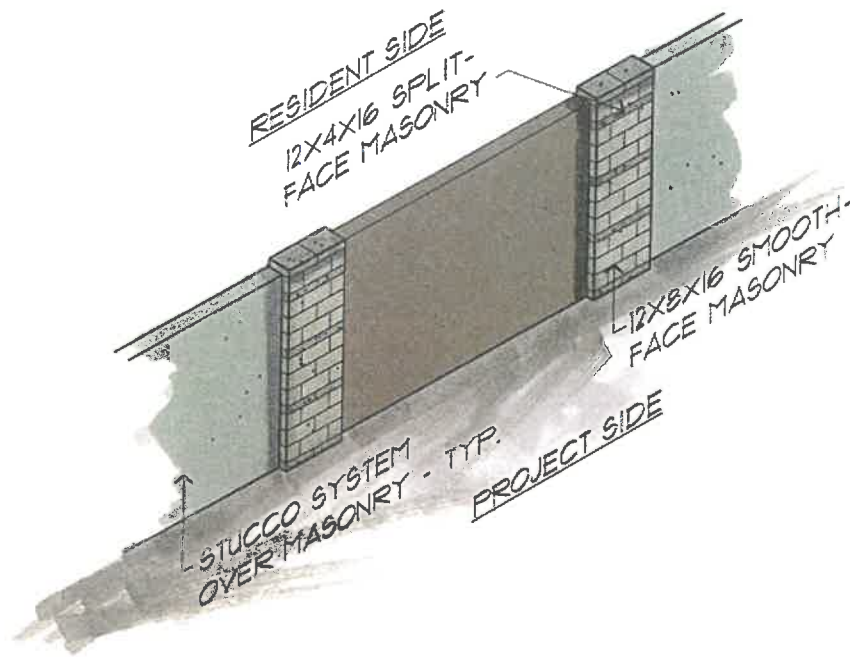
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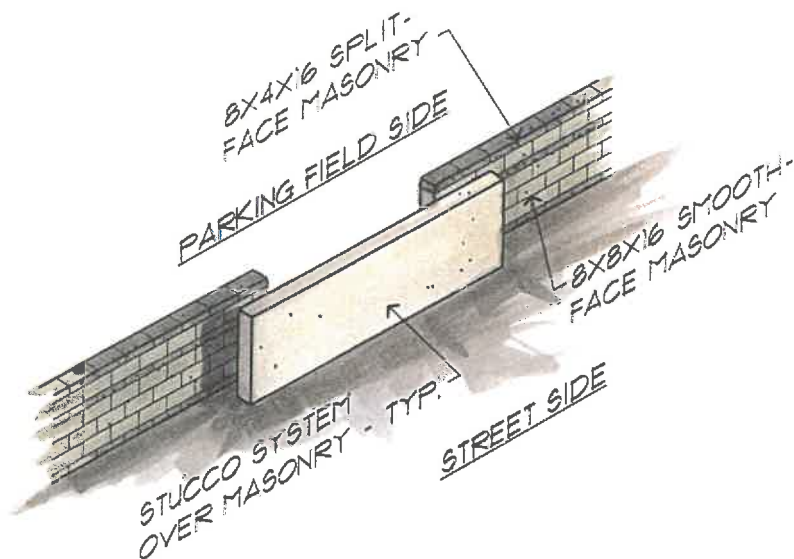


## DRIVEWAY ENTRY FEATURE

(B)

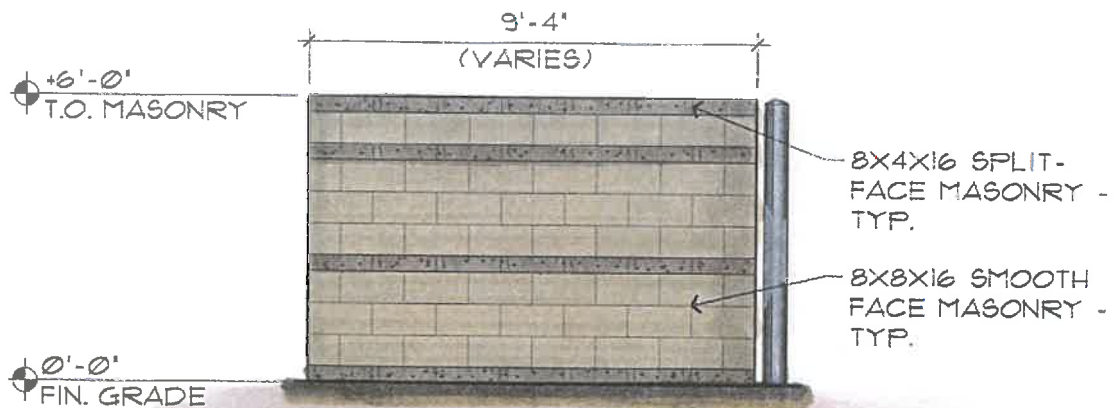
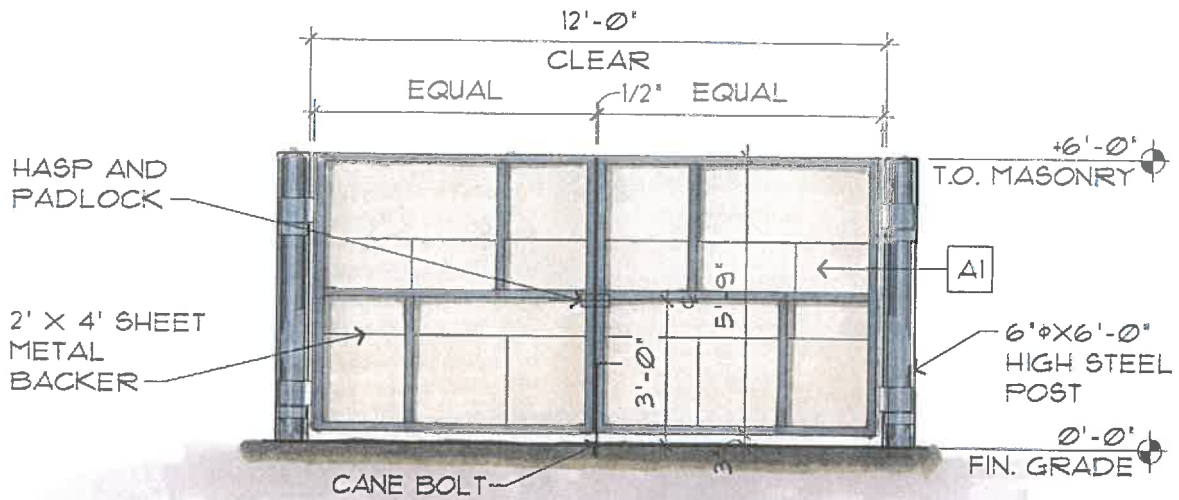


## SITE SCREEN WALL (PERIMETER)

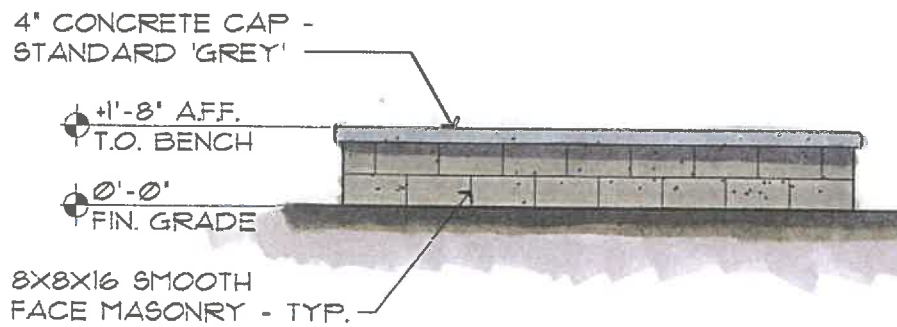


## PARKING LOT SCREEN WALL





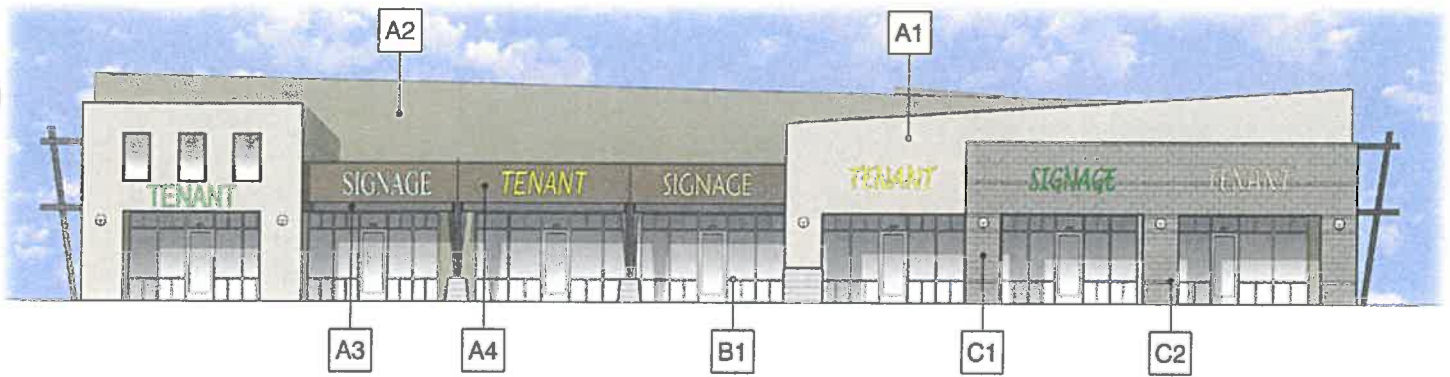
## TRASH ENCLOSURE



## SEAT WALL

(D)





- Paint/Stain (Dunn Edwards) -



A1 'POUROS STONE'  
DE6220



A2 'WILDERNESS'  
DE6236



A3 'JET'  
DE6378



A4 'LOG CABIN'  
DEA162

nt (Kawneer) -



B1 'CLEAR ANODIZED'  
ALUMINUM

s (Belgard) -



'MESQUITE'  
HOLLAND  
STONE

- Masonry (Superlite) -



C1 'COCOA BROWN'  
SMOOTH-FACE



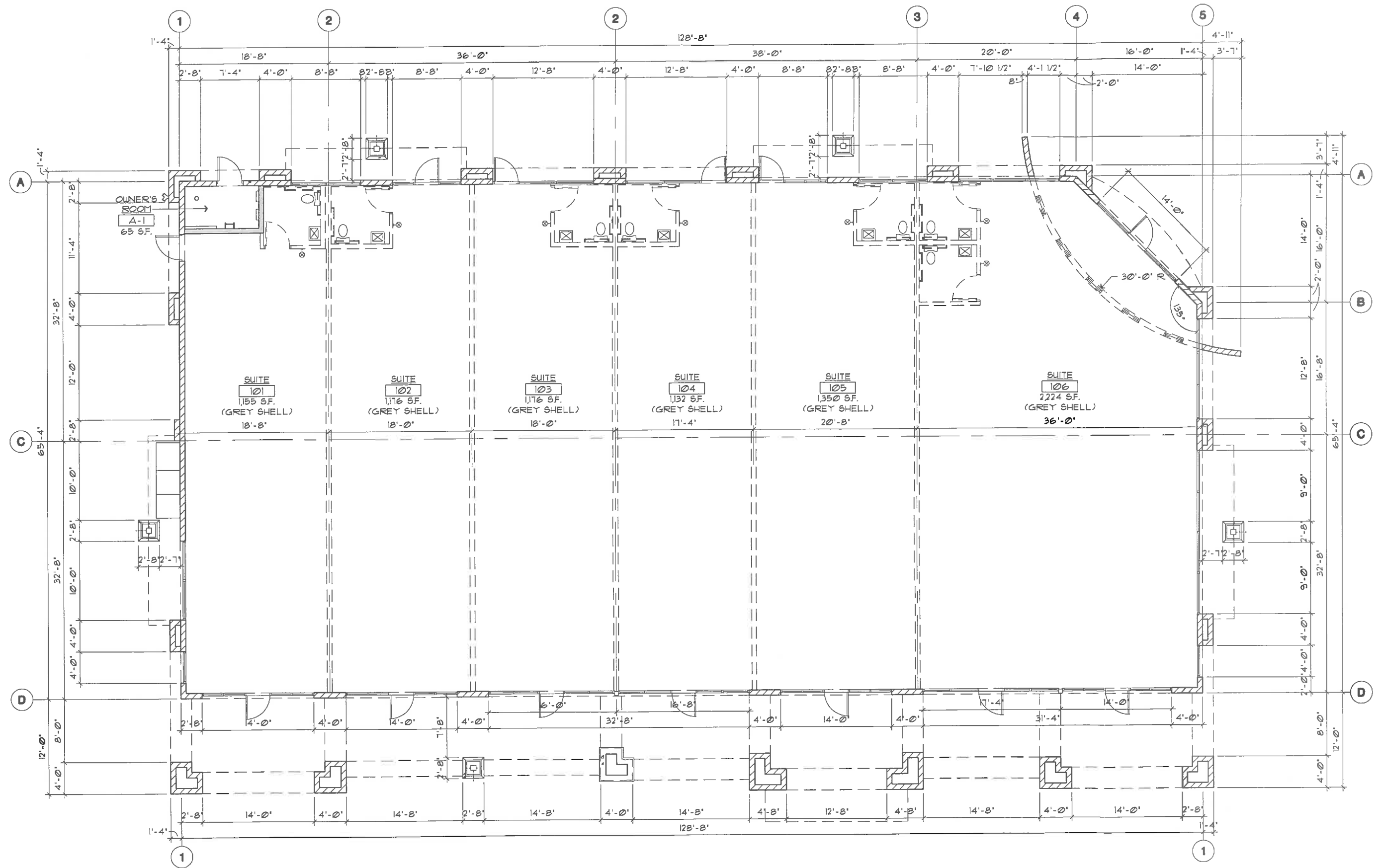
C2 'COCOA BROWN'  
SPLIT-FACE

- Color/Material Board -

GLEN 83, L.L.C.

**The Glen At 83rd Avenue**  
S.E.C. Of 83rd Avenue And Glendale Avenue  
Glendale, Arizona  
03.01.06  
04076





## RESTAURANT/RETAIL 'A'

(FLOOR PLAN)

04076

03.01.06





SOUTH ELEVATION (FRONT)



WEST ELEVATION (LEFT)



EAST ELEVATION (RIGHT)



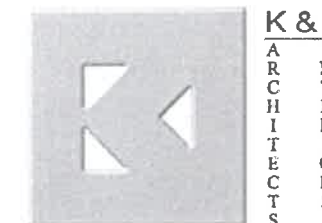
NORTH ELEVATION (REAR)



## RESTAURANT / RETAIL 'A'

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03.01.06

GLEN 83, L.L.C.



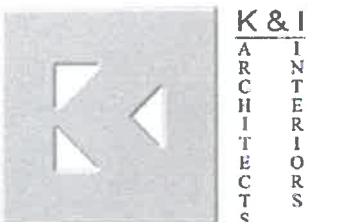


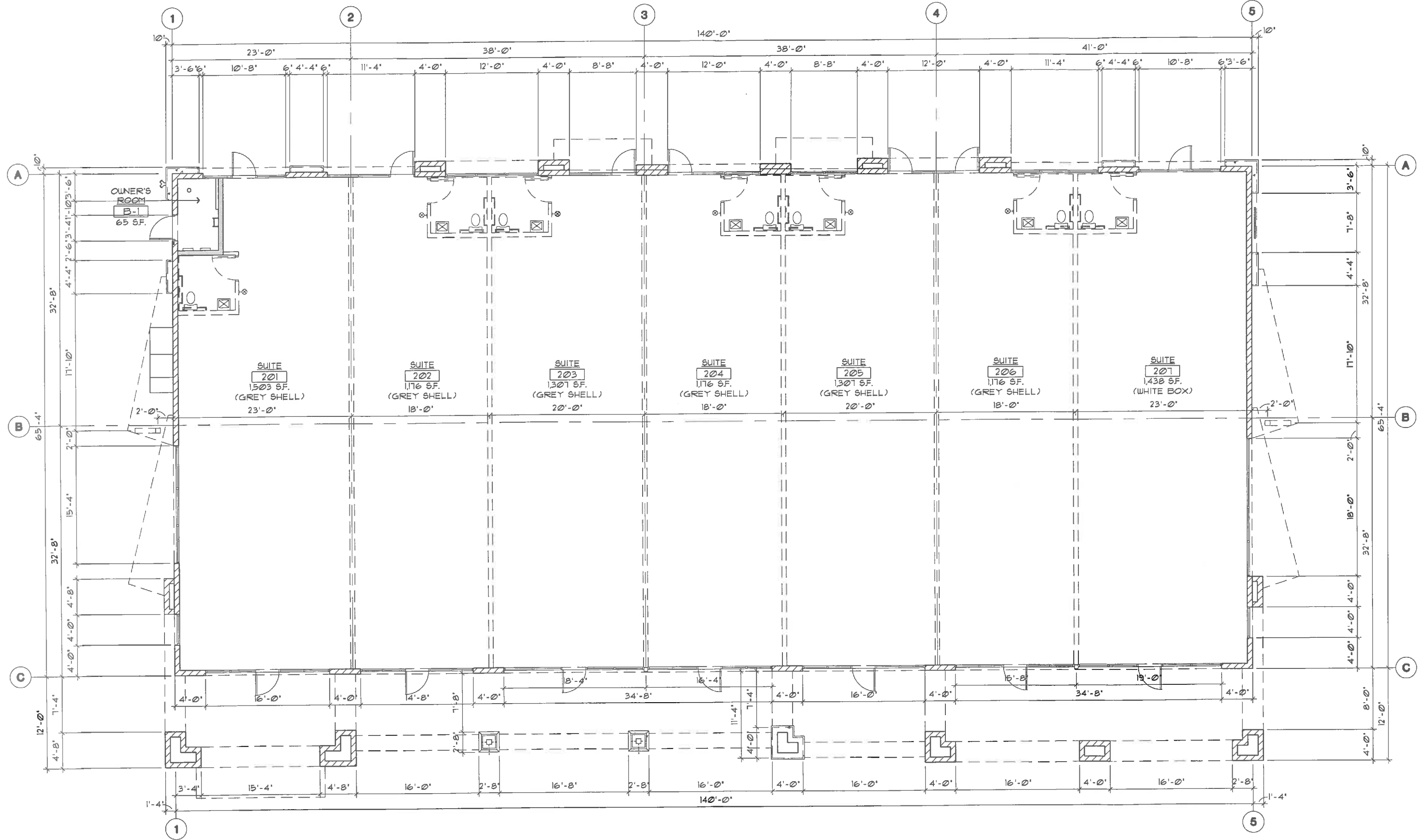


GLEN 83, L.L.C.

**RESTAURANT / RETAIL 'A'**  
 (VIEW FROM INTERSECTION ALONG 83RD AVENUE)

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 03.01.06





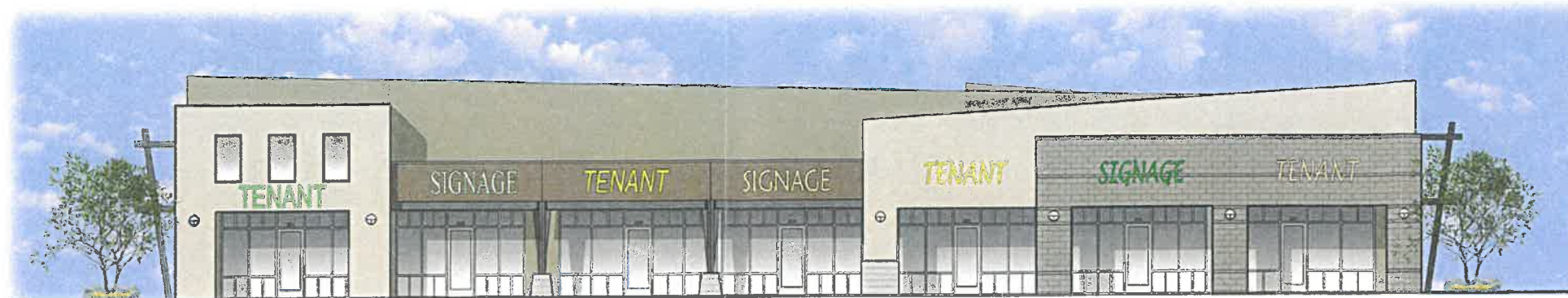
## SHOPS 'B'

(FLOOR PLAN)

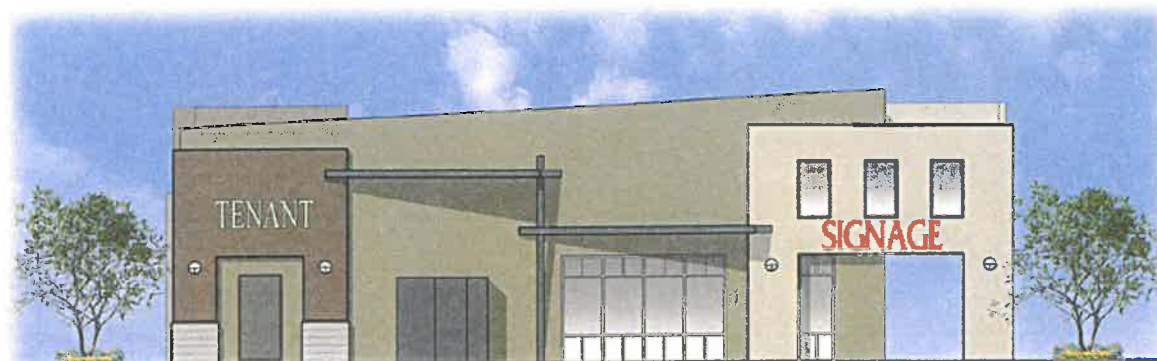
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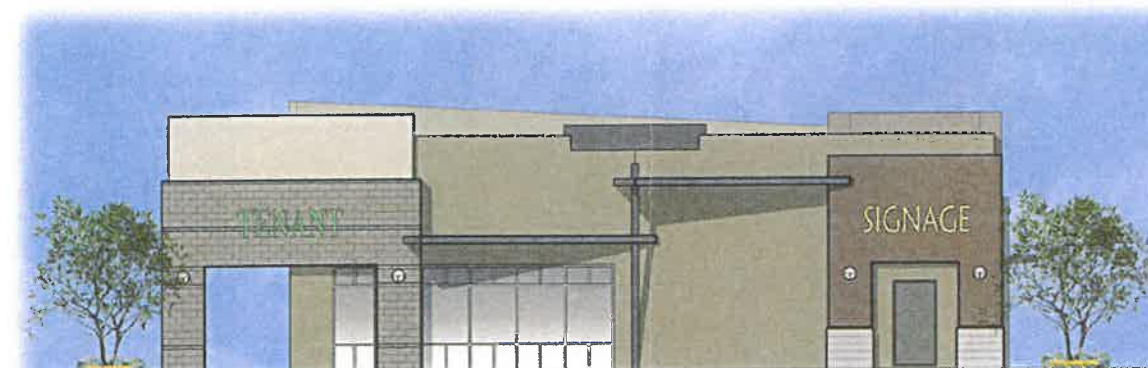




SOUTH ELEVATION (FRONT)



WEST ELEVATION (LEFT)



EAST ELEVATION (RIGHT)



NORTH ELEVATION (REAR)

GLEN 83, L.L.C.

**SHOPS 'B'**

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03.01.06



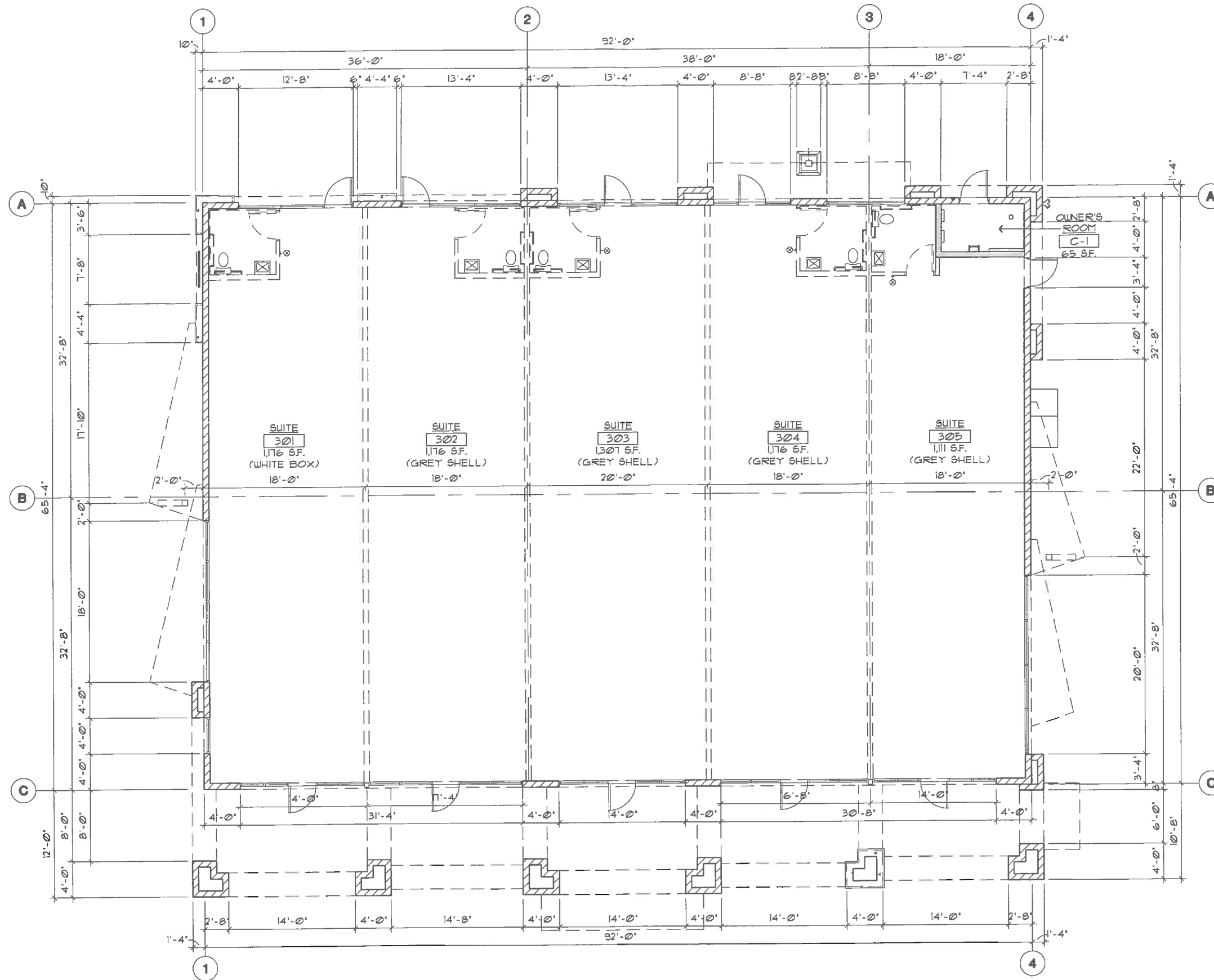




GLEN 83, L.L.C.

**SHOPS 'B'**  
 (VIEW FROM PARKING FIELD)  
 04076  
 03.01.06





## RESTAURANT/RETAIL 'C'

(FLOOR PLAN)

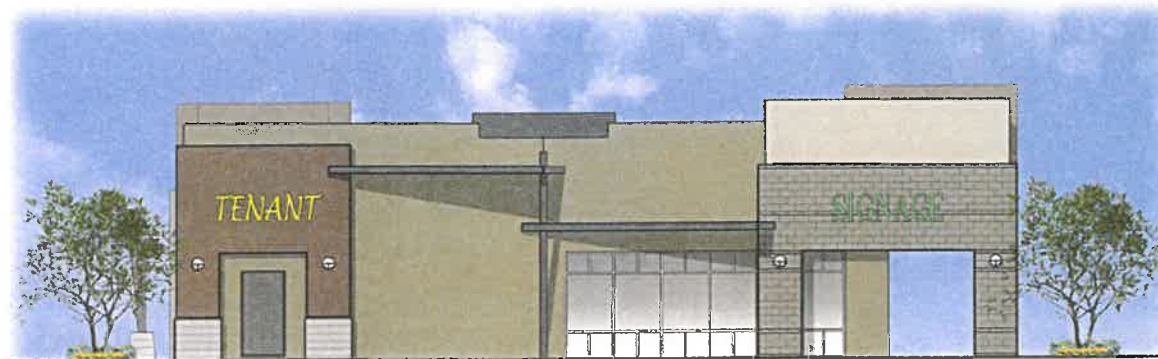
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03.01.06





SOUTH ELEVATION (FRONT)



WEST ELEVATION (LEFT)



EAST ELEVATION (RIGHT)

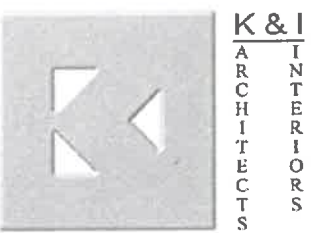


NORTH ELEVATION (REAR)

GLEN 83, L.L.C.

# RESTAURANT / RETAIL 'C'

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03.01.06





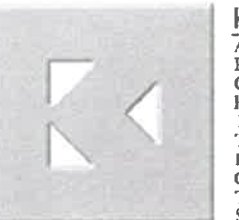


GLEN 83, L.L.C.

## RESTAURANT / RETAIL 'C'

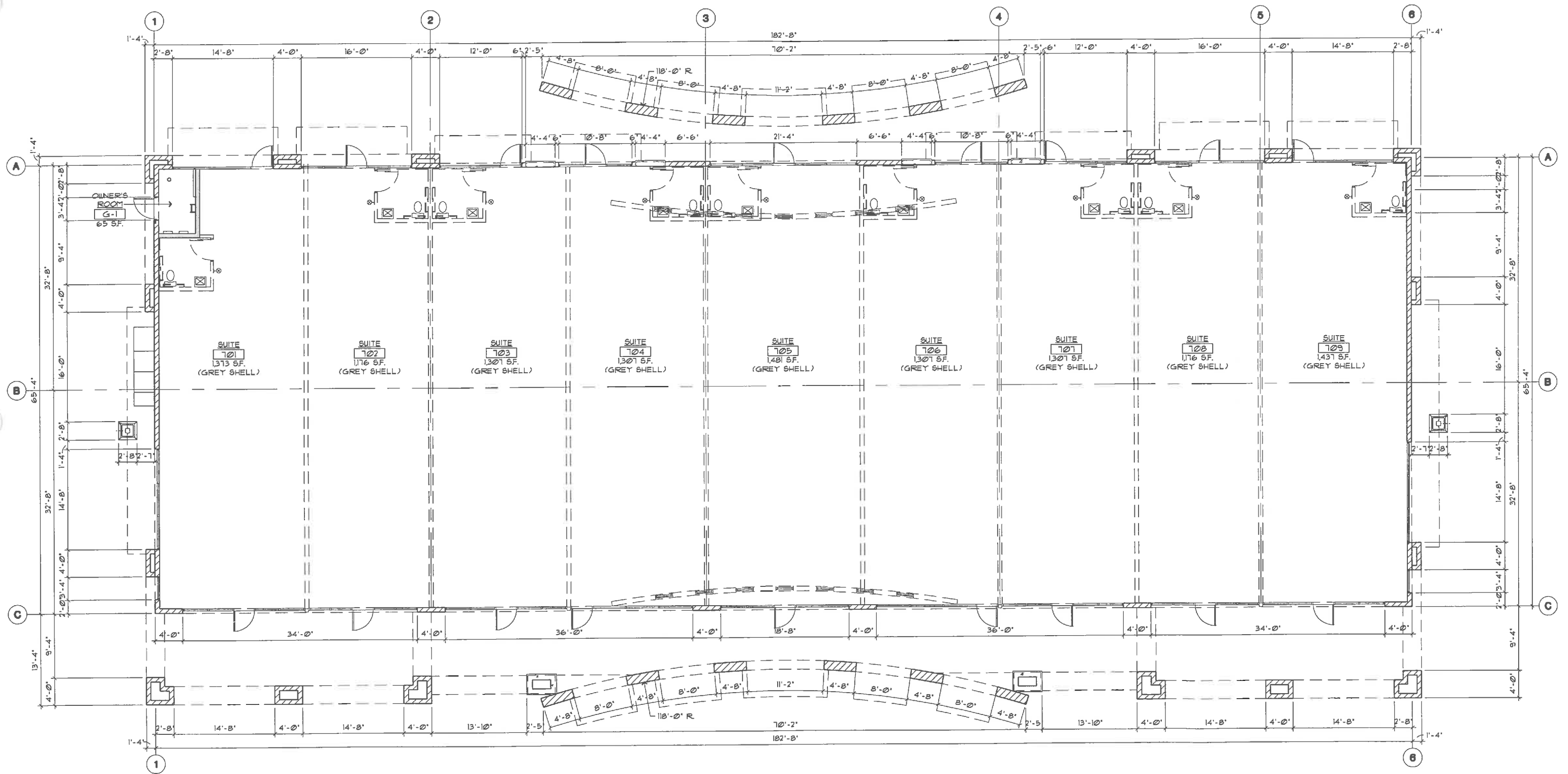
(VIEW FROM PARKING FIELD)

04076  
03.01.06



K&I  
ARCHITECTS  
INTERIORS





## RETAIL/OFFICE 'G'

(FLOOR PLAN)

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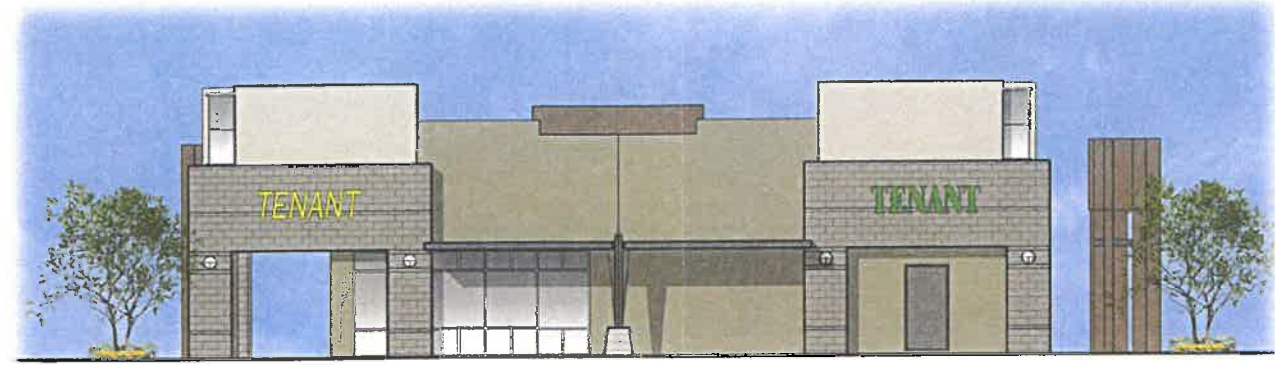
03.01.06



EAST ELEVATION (FRONT)



SOUTH ELEVATION (LEFT)



NORTH ELEVATION (RIGHT)



WEST ELEVATION (REAR)

GLEN 83, L.L.C.

**RETAIL / OFFICE 'G'**

04076  
03.01.06





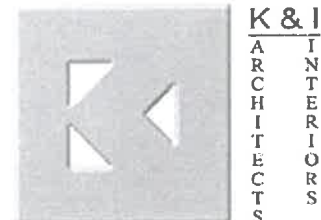


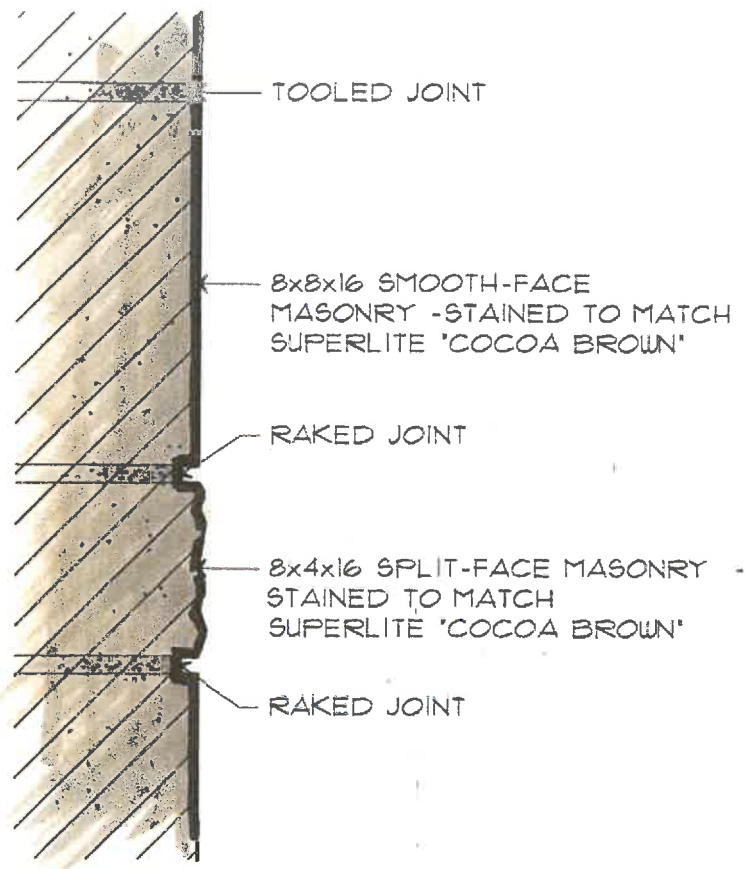
GLEN 83, L.L.C.

## RETAIL / OFFICE 'G'

(VIEW FROM PARKING FIELD)

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03.01.06

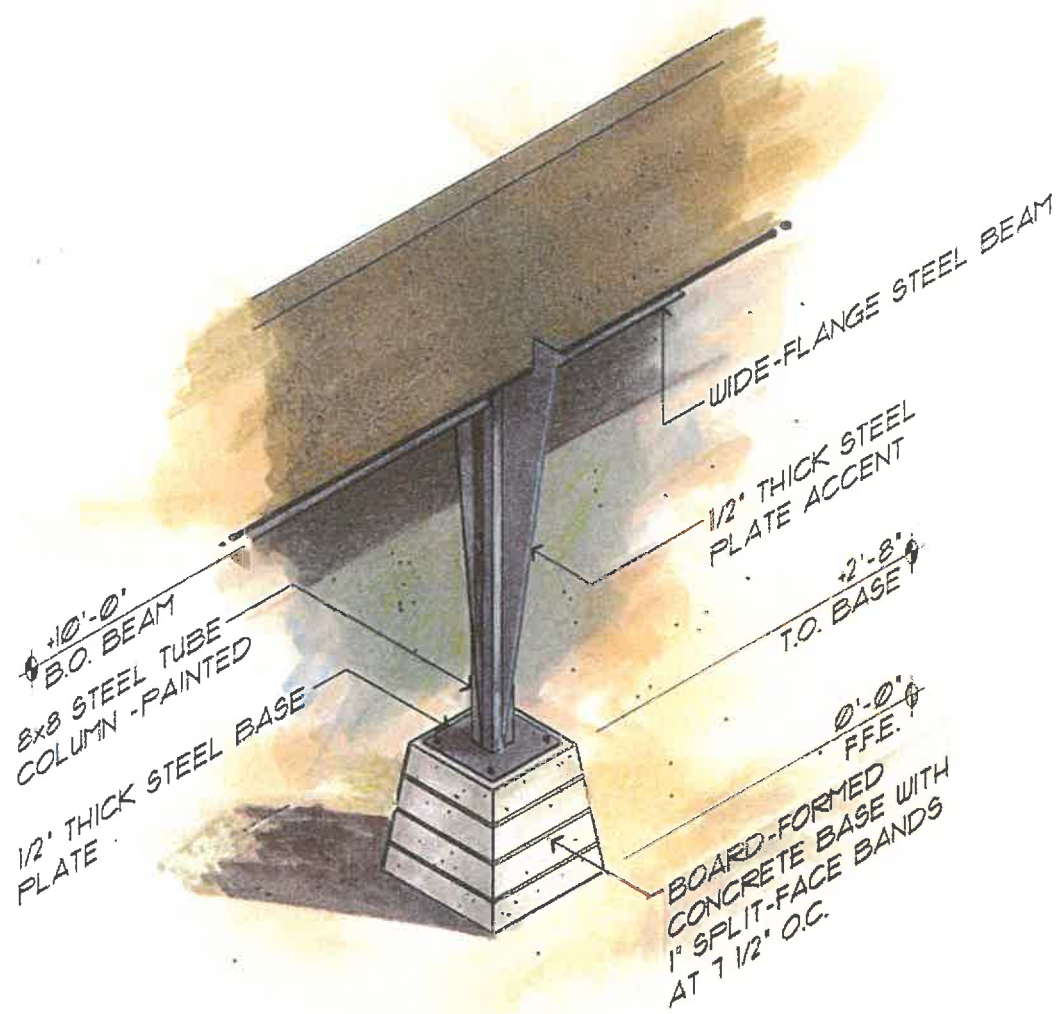




## MASONRY ACCENT

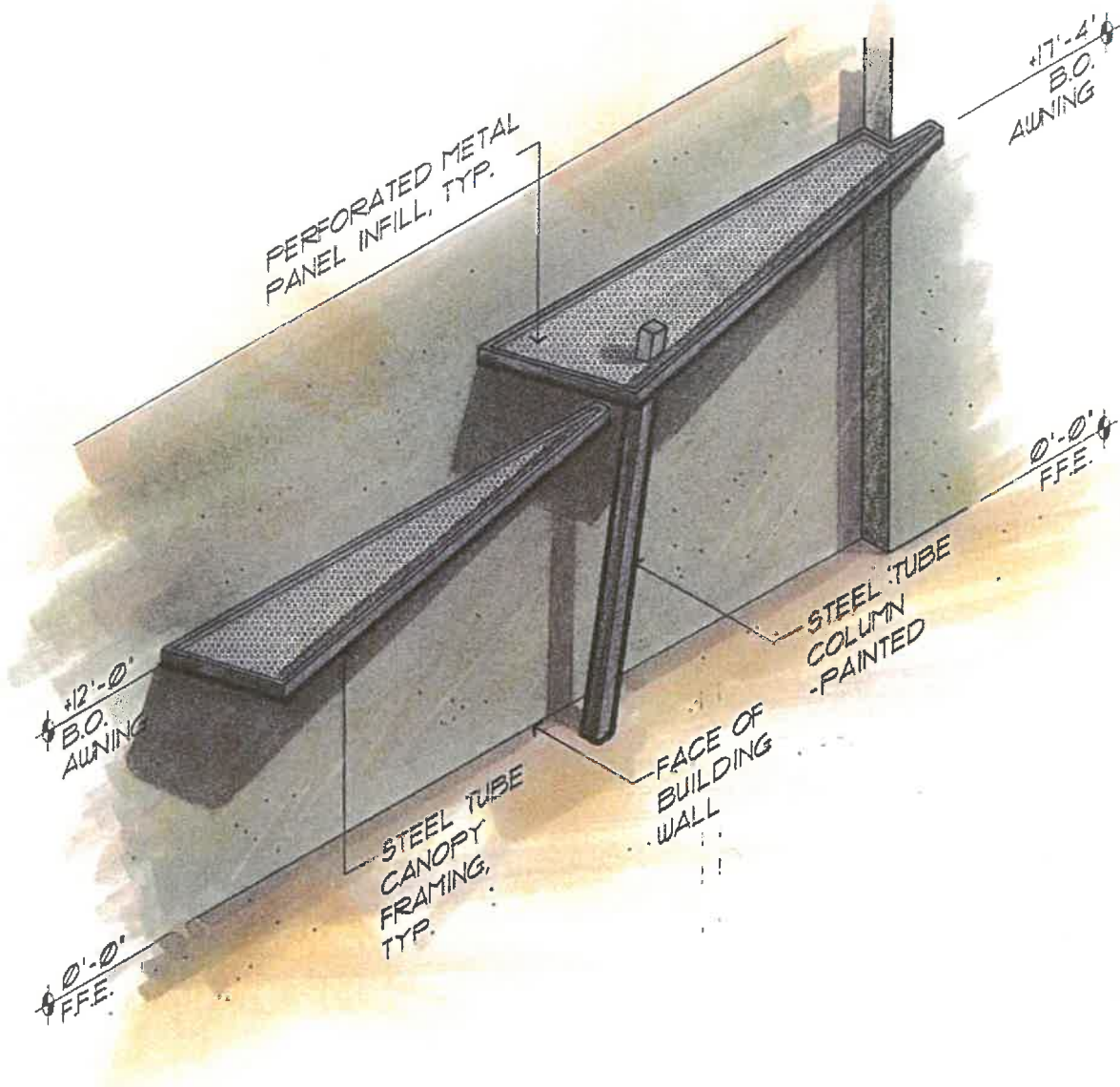
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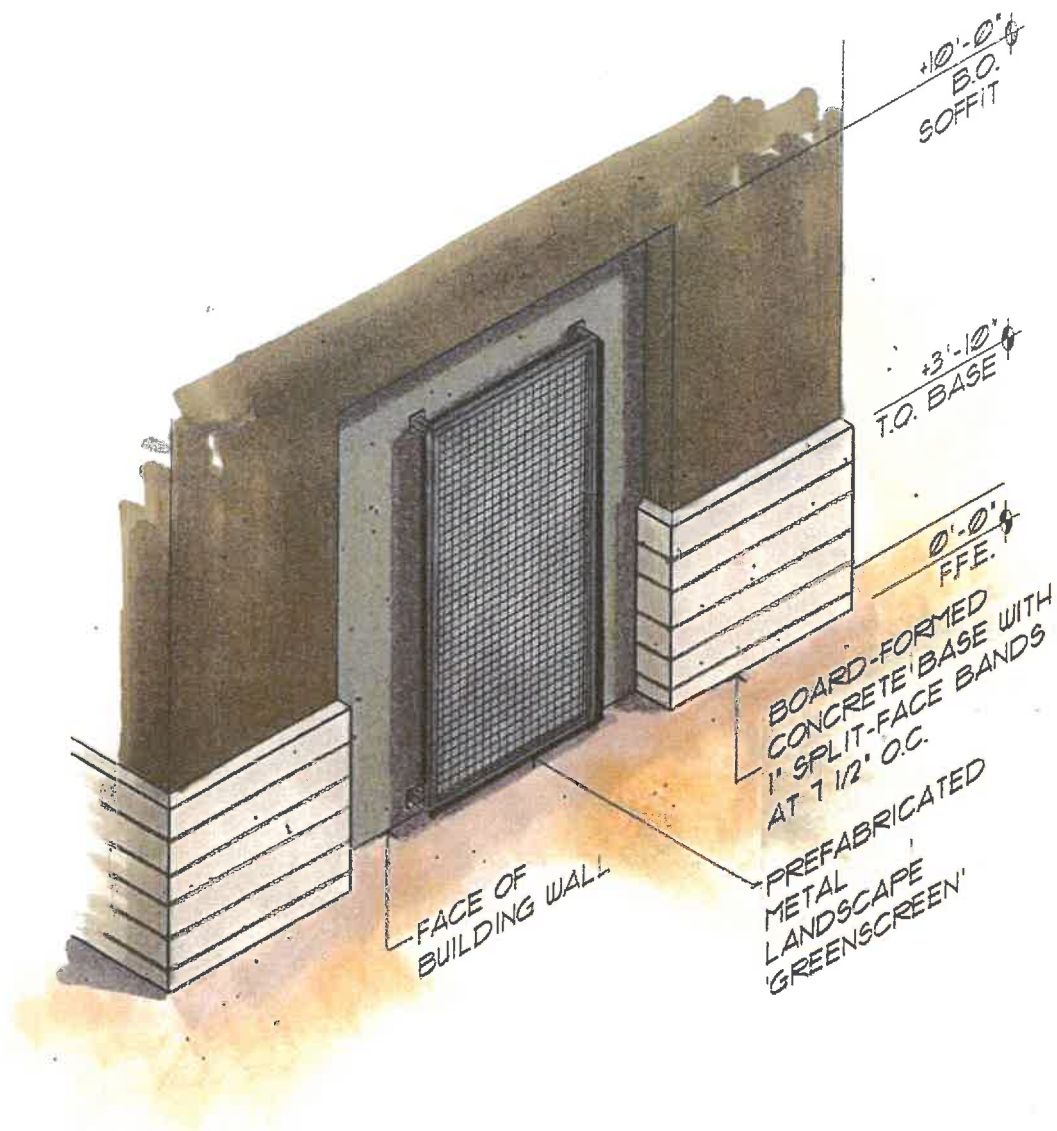


## STEEL CANOPY COLUMN

(B)

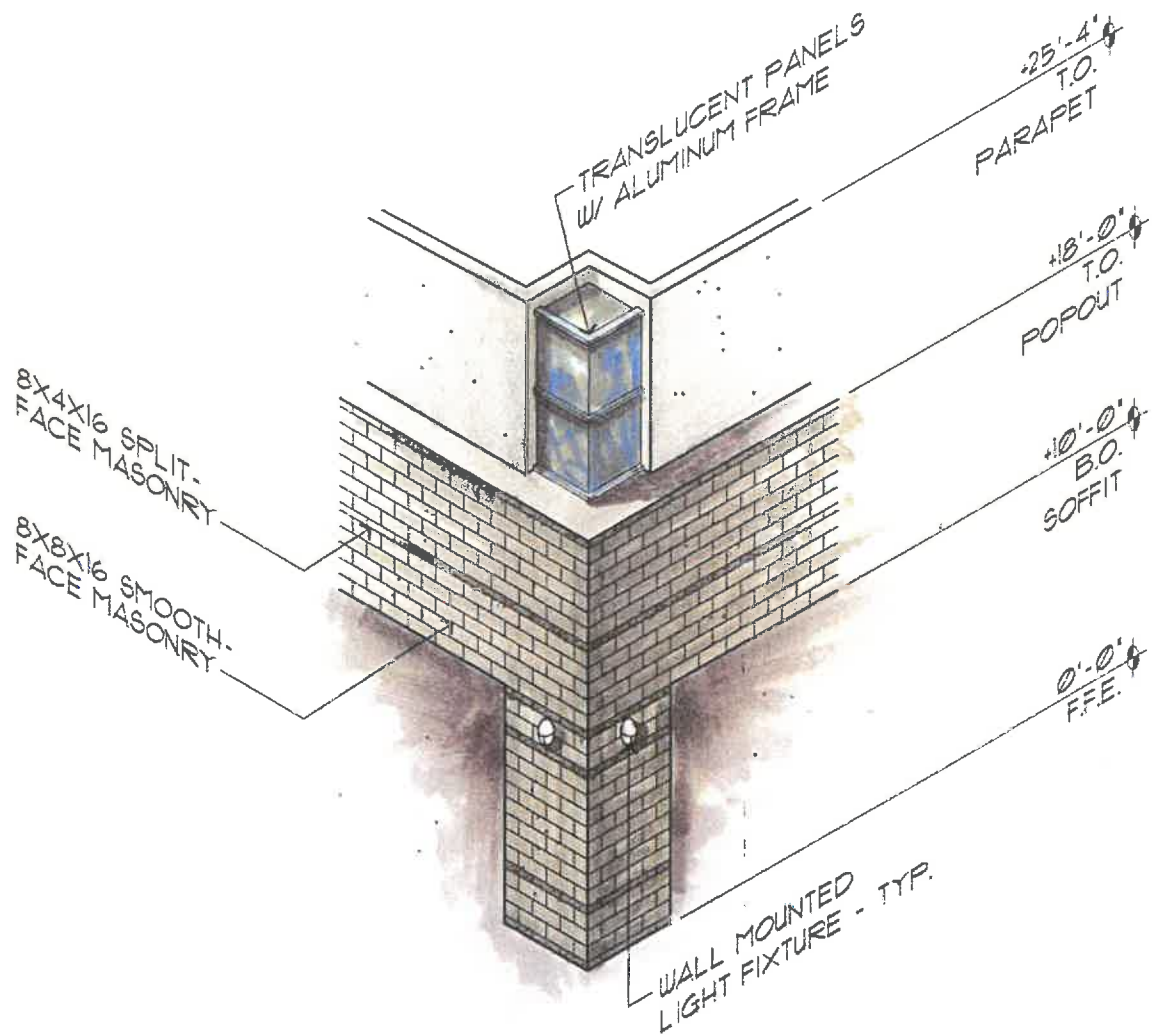


STEEL AWNING (SIDE)



## RECESSED LANDSCAPE TRELLIS

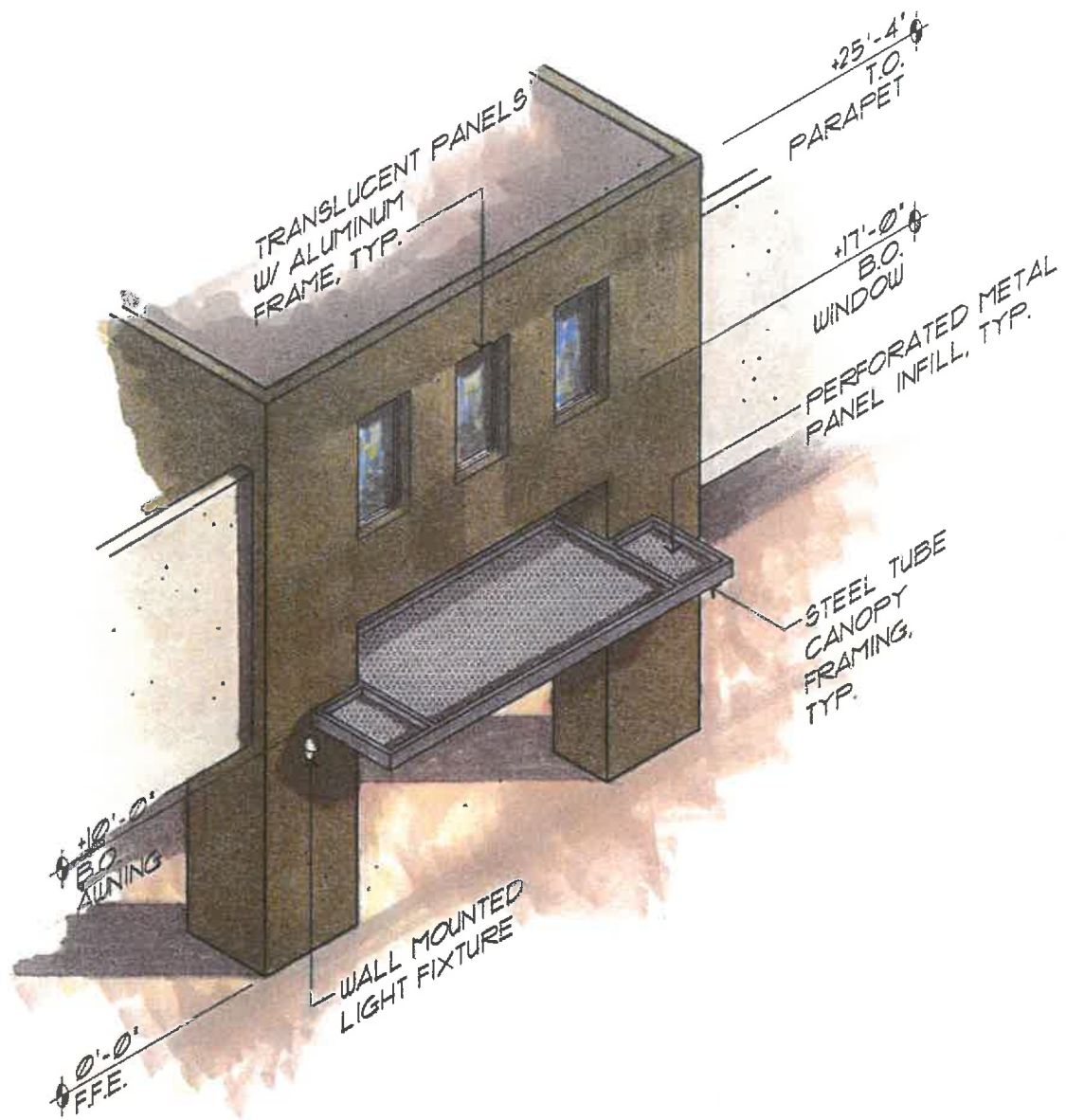
D



## CORNER GLAZING (HIGH)

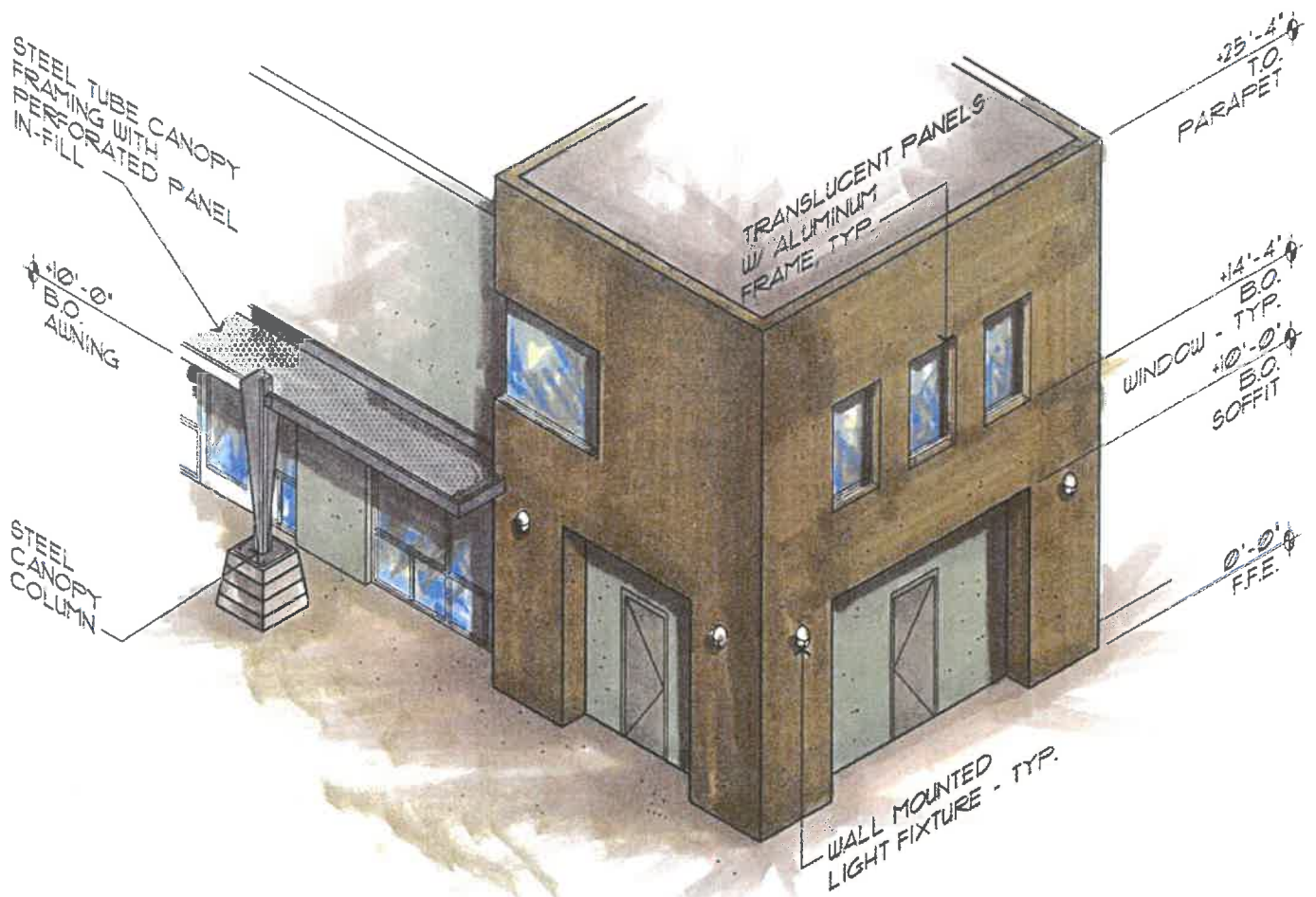
E





## STEEL AWNING AT TOWER

F



## CORNER TOWER WITH GLAZING AND STEEL AWNING (TYP.)

G



A COMPREHENSIVE SIGN PLAN FOR:

# THE GLEN

AT 83RD AVENUE





# **The Glen At 83<sup>rd</sup> Avenue Glendale, Arizona**

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Project Design Team

Project Narrative

Building Wall Sign Standards

Window Sign Standards

Building Address/Identification Standards

Exhibits

# **The Glen At 83<sup>rd</sup> Avenue Glendale, Arizona**

## **1. Project Design Team**

### **Architect**

K & I Architects

Phone: (602) 525-5202 Ext. 230

Contact: Mark Bowker

### **Sign Consultant**

Young Electric Sign Company

6725 West Chicago Street

Chandler, Arizona 85226

Phone: (480) 449-3726

Fax: (480) 961-5923

Contact: Kelee Walton

# **The Glen At 83<sup>rd</sup> Avenue Glendale, Arizona**

## **2. Project Narrative**

The Glen At 83<sup>rd</sup> Avenue is a unique neighborhood commercial center located at the southeast corner of 83<sup>rd</sup> Ave and Glendale. The project comprises a total of 7 buildings (Buildings A through G) totaling approximately 62,282 square feet. The development incorporates many site planning techniques intended to feature the architecture, pedestrian open spaces, landscaping, hardscaping and invite, enhance and encourage the pedestrian experience both from the intersection and from the adjoining neighborhood with approximately 10,000 s.f. of pedestrian areas.

The building architecture features modern forms and the integration of vertical and horizontal elements and are painted a variety of colors.

### **Sign Function and Design Theme**

Signage is created to provide identification and way finding. Major project identification (Sign Type D) is provided at the Corner on 83<sup>rd</sup> Ave and Glendale along with sidewalks and bench.

Multi Tenant Signage (Sign Type A) is used to identify the tenants in the project for both the front buildings and the hidden buildings in the back of the project. These signs (Sign Type A) are 13'2" in overall height (additional architectural embellishment), 12' to the top of the text with approximately 80 square feet of sign area. There are ten tenant panels on each sign to provide all tenants street exposure. The number and layout of the tenant panels may change but never to increase the total sign area of 80 square feet. A solid panel that matches the color of the monument sign shall cap all monument sign panels not in use for an existing business in the center

Two Directory Signs are used at each drive to assist in directing visitors to their desired merchant, see sign type B.

The signage utilizes the same architectural features and colors of the buildings.



The materials used in the construction of the signs are directly related to the buildings nearby and their materials, colors, and textures. The use of horizontal and vertical lines and colors all provide additional inspiration for the sign design theme.

### **3. Building Wall Sign Standards**

The intent of these standards is to provide the guidelines necessary to achieve visually coordinated, balanced and appealing signage environment at The Glen At 83<sup>rd</sup> Ave project.

All signs shall be placed within a sign envelope designated on the elevation drawings included in the exhibits hereto. Not more than one occupant sign may be placed in each sign envelope. Wall signs will be restricted to identifying the person, firm, corporation and up to three of the principle services and/or the products offered specifically at this location when the name alone does not identify the general nature of the business. All signs shall comply as follows pursuant to the City of Glendale sign regulations:

1. Sign area for each Occupant wall sign shall not exceed 200 square feet total aggregate for all signs per business.
2. Occupant may have one square foot of sign area for every 1 linear feet of business wall elevation along the street frontage on which the sign is displayed.
3. Business on a pad shall be permitted one wall sign as stated above in #2 for any one elevation, with the sign area on all other elevations not to exceed one-half the square footage for every linear foot of elevation where the sign is displayed.
4. Occupants may have a sign on each elevation of the leased space as long as not to exceed total aggregate sign area allowed does not exceed 200 square feet.
5. All signs must be placed onto leased space.
6. Logos that are national trademarks or part of a branding campaign are permitted and count towards the total aggregate sign area.
7. Signs painted directly on the wall are prohibited.
8. All signs to be internally illuminated with LED illumination.
9. Signs constructed of aluminum, reverse pan channel, individual letters either face illuminated or halo illuminated.
10. Letter returns to be a minimum of 5" deep and a maximum of 9" deep.
11. No exposed hardware or fasteners allowed.
12. No exposed conduit or raceways may be used. All conductors and transformers must be concealed.
13. All exterior bolts, fasteners, clips or other hardware shall be of hot-dipped galvanized iron or stainless steel. No black iron materials of any type shall be permitted.
14. Letter color is open.

15. Letter return color should be painted a complimentary color to the face of the letter and must be approved by the Landlord.
16. Letter font is open but must be approved by the landlord.
17. 1-inch trim caps are permitted. Trim caps shall match sign face color or be bronze or gold. All returns for building mounted signs shall be bronzed or painted to match the building with a matching trim cap.
18. All penetrations of the building shall be neatly sealed and kept in a watertight condition. Building penetrations shall be minimized. Upon removal of any sign, the fascia shall be restored to the texture, color and finish of the surrounding wall area at the Occupant's expense.
19. Locations of all signs are as shown and approved in this comprehensive sign plan.
20. The Landlord reserves the sole right to interpret enforce and administer the terms and conditions of the sign criteria and all related documents and policies.
21. Exposed neon is not permitted.
22. No flashing or animation is permitted.
23. Building mounted signs shall not be placed on parapet walls that extend above the lowest maximum parapet height on a particular elevation.

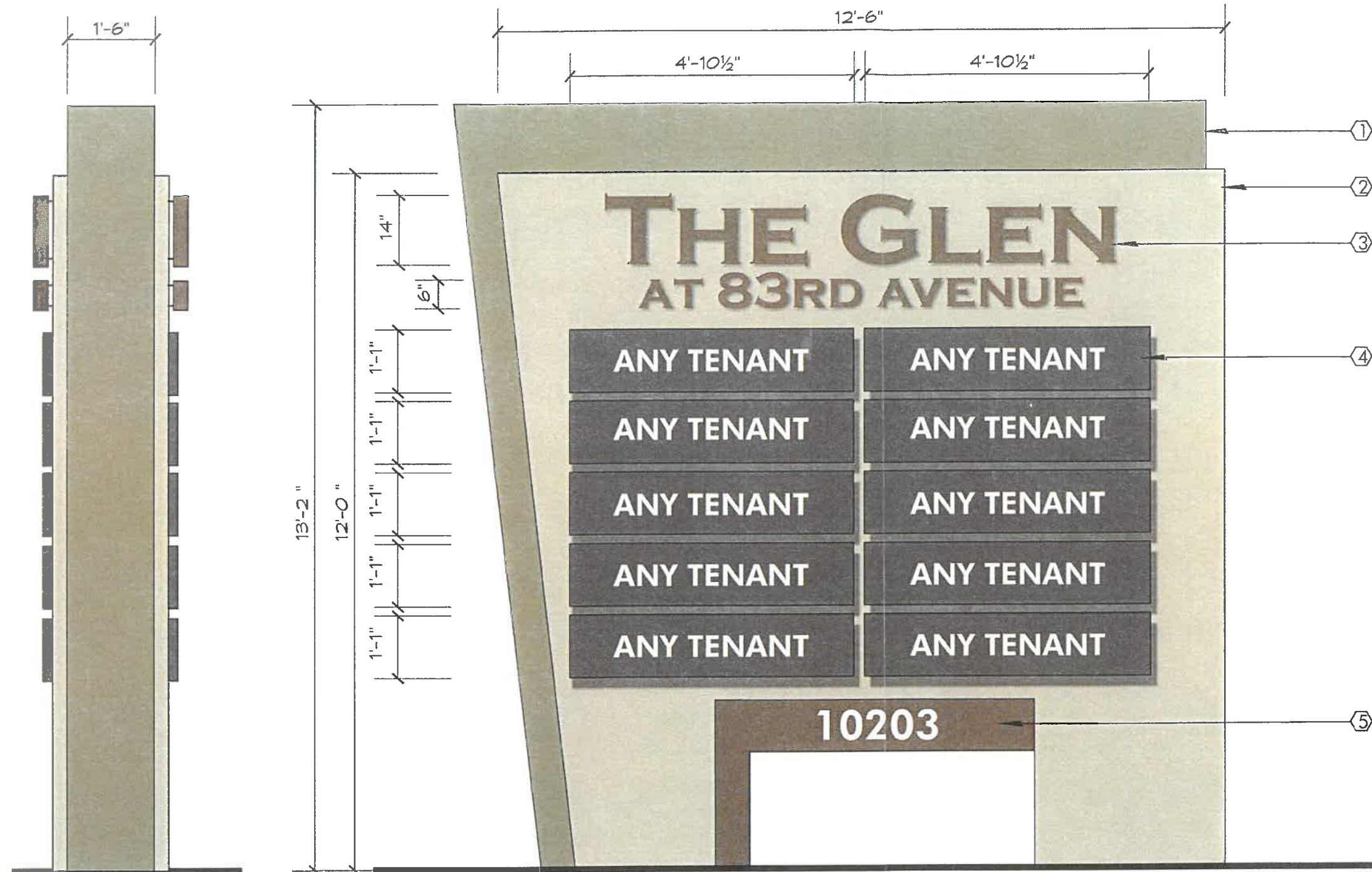
Four sets of scaled designs must be submitted to Landlord or his representative 30 days prior to submitting to the city for permits. Occupant is responsible for obtaining permission from Landlord prior to City submittal.

#### **4. Entry Door/ Side Lite Sign Standards**

1. All materials are to be #220-10 white, reverse cut, high performance 3M Scotchcal vinyls.
2. Area of window signs not to exceed 25% of the total window area or 144 square feet
3. Window signage limited to Tenant/User names, hours of operation and telephone number, except as otherwise approved by Landlord.

#### **5. Building Address/Identification Standards**

All buildings shall have one (1) building address identification per elevation. Each address character shall be 1" deep, reverse pan channel, aluminum characters painted dark bronze, and the character height shall be 6". Building address identification and locations shall comply with exhibits contained within this comprehensive sign plan.



# SPECIFICATION KEY NOTES

- ① FABRICATED ALUMINUM TOP. PAINT TO MATCH #DE6166 "FLICKERING GOLD"
- ② FABRICATED ALUMINUM CABINET W/ TEXTURE FINISH. PAINT TO MATCH #DE6220 "POROUS STONE".
- ③ FABRICATED ALUMINUM REVERSE CHANNEL LETTERS PAINTED TO MATCH #DEA156 "CHERRY COLA"
- ④ TENANT PANELS ARE ROUTED ALUMINUM W/ BACKED-UP ACRYLIC COPY. ALL COLORS ARE TO BE DETERMINED. PANELS ARE TO BE PAINTED TO MATCH #DE6378 "JET"
- ⑤ REVEAL IS PAINTED TO MATCH #DEA156 "CHERRY COLA". ADDRESS NUMERALS ARE FLAT CUT OUT WHITE ACRYLIC.

END VIEW

**A** DOUBLE FACE MONUMENT SIGN ELEVATION  
SCALE: 1/2" = 1' - 0"

△ ADD "D".  
△ MODIFY "B".

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ARIZONA CONTRACTOR LICENSE NO. #073322-007, AWWINOS NO. #073322, ELECTRICAL NO. #093600

**YESCO YOUNG ELECTRIC SIGN COMPANY**

\* Illuminated displays will be wired for 120 volt power unless otherwise noted.  
\* Cost for providing necessary electrical wiring to sign area is not included in sign proposal.

SALES APPROVAL: \_\_\_\_\_  
DATE: \_\_\_\_\_

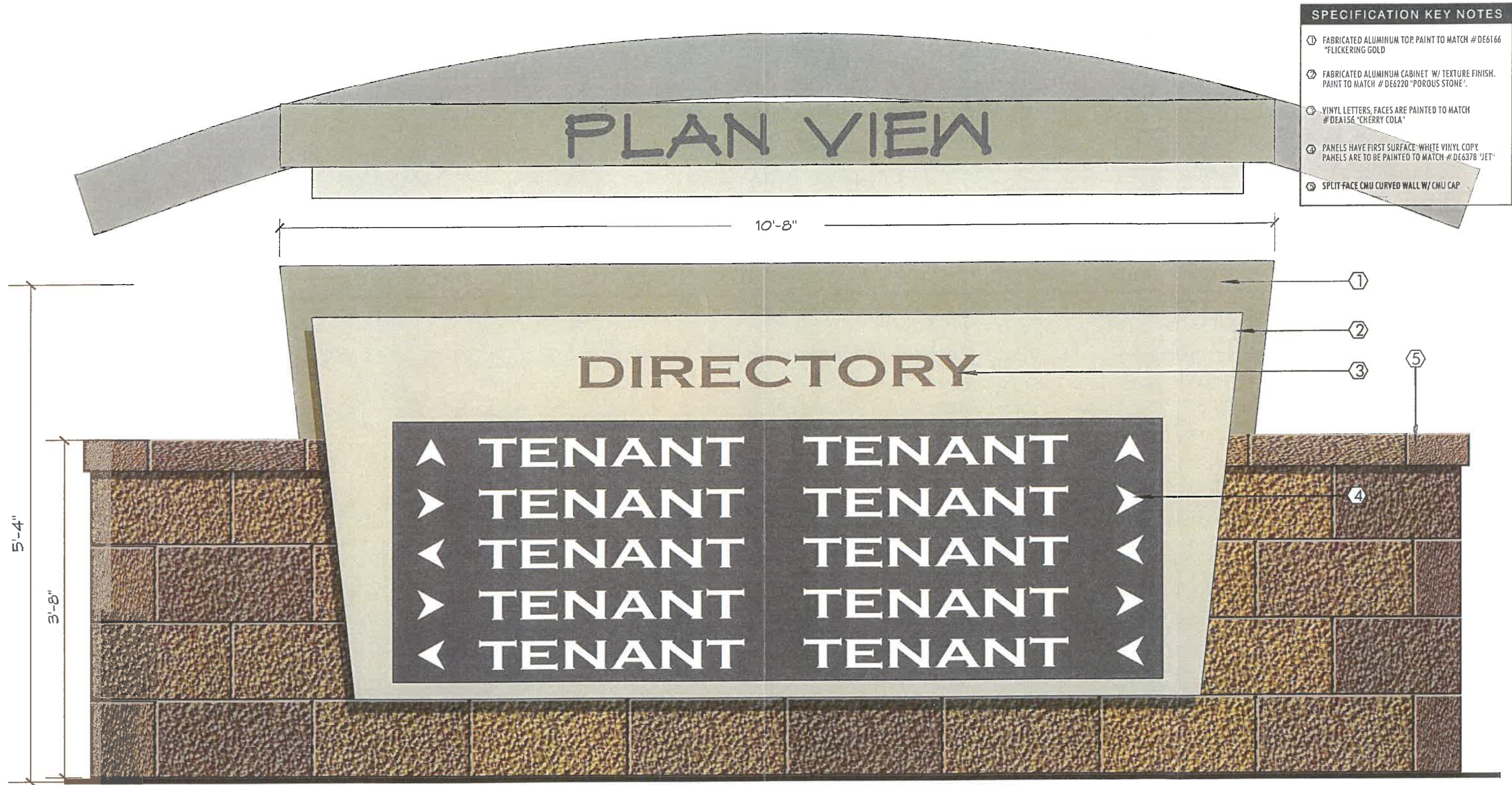
REV. #	DATE	BY	REV. #	DATE	BY
1	11/9/05	LSD			
2	11/17/05	LSD			

FIRM NAME / PROJECT ADDRESS	
THE GLEN @ 83rd AVENUE	
S.E.C. CORNER OF 83rd AVENUE	
GLENDALE, AZ	
SALESPERSON KELEE WALTON	
SCALE: As Noted	
ORIG. DESIGNER: JBREEN	
ORIGINAL DATE: 10/23/05	

**51495-R2**  
FILE DESIGN NUMBER

**1 OF 9**  
SHEET NUMBER





**B** SINGLE FACE DIRECTORY  
SCALE: 1" = 1' - 0"

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SALES APPROVAL: \_\_\_\_\_

DATE: \_\_\_\_\_

REV. #	DATE	BY	REV. #	DATE	BY
1	11/9/05	LSD			
2	11/17/05	LSD			
3	11/22/05	LSD			

FIRM NAME / PROJECT ADDRESS

THE GLEN @ 83rd AVENUE  
S.E.C. CORNER OF 83rd AVENUE  
GLENDALE, AZ

SALESPERSON KELEE WALTON

SCALE: As Noted

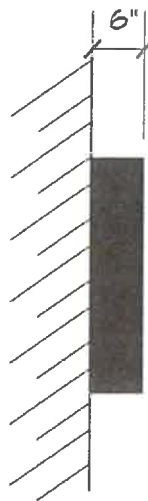
ORIG. DESIGNER: JBREEN

ORIGINAL DATE: 10/23/05

**51495-R3**  
FILE DESIGN NUMBER

**2 OF 9**  
SHEET NUMBER





VARIES PER TENANT FRONTAGE

# ANY TENANT

**TYPICAL TENANT ILLUMINATED CHANNEL LETTER DISPLAY**  
NOT TO SCALE

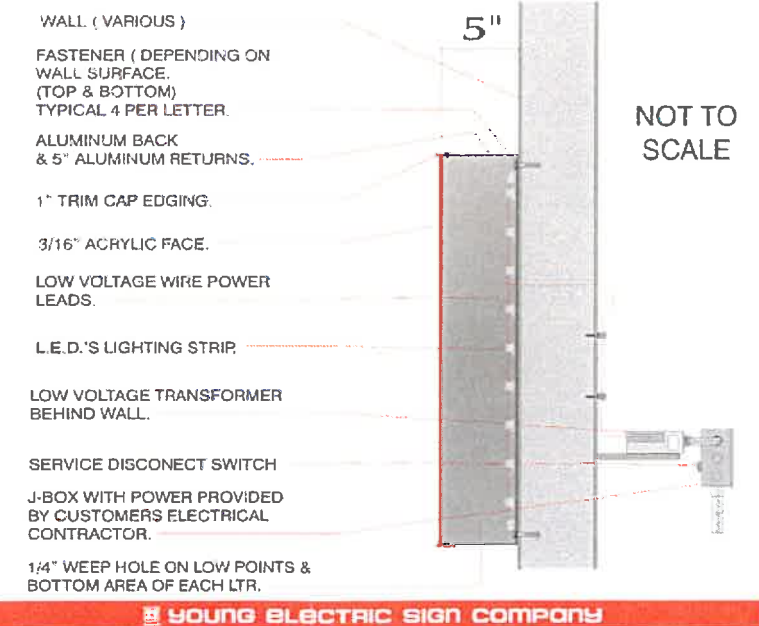
**DESCRIPTION**

MANUFACTURE AND INSTALL VARIOUS LED INTERNALLY ILLUMINATED CHANNEL LETTER DISPLAYS.

**MATERIALS**

LETTER RETURNS ARE FABRICATED OF .040 PRE-FINISHED ALUMINUM RETURNS W/ .063 ALUMINUM BACKS. FACES ARE 3/16" THICK ACRYLIC W/ 1" TRIM CAP EDGE (ALL COLORS, LOGOS AND FONTS ARE TO BE DETERMINE). ALL ILLUMINATION TO BE LED TYPE ILLUMINATION.

**PAN-CHANNEL LETTERS / LED.**



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**yesco. YOUNG ELECTRIC SIGN COMPANY**

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**SALES APPROVAL:**

DATE:

REV. #	DATE	BY	REV. #	DATE	BY
⚠	11/9/05	LSD			
⚠	11/17/05	LSD			

FIRM NAME / PROJECT ADDRESS

THE GLEN @ 83rd AVENUE  
S.E.C. CORNER OF 83rd AVENUE  
GLENDALE, AZ

SALESPERSON KELEE WALTON

SCALE: As Noted

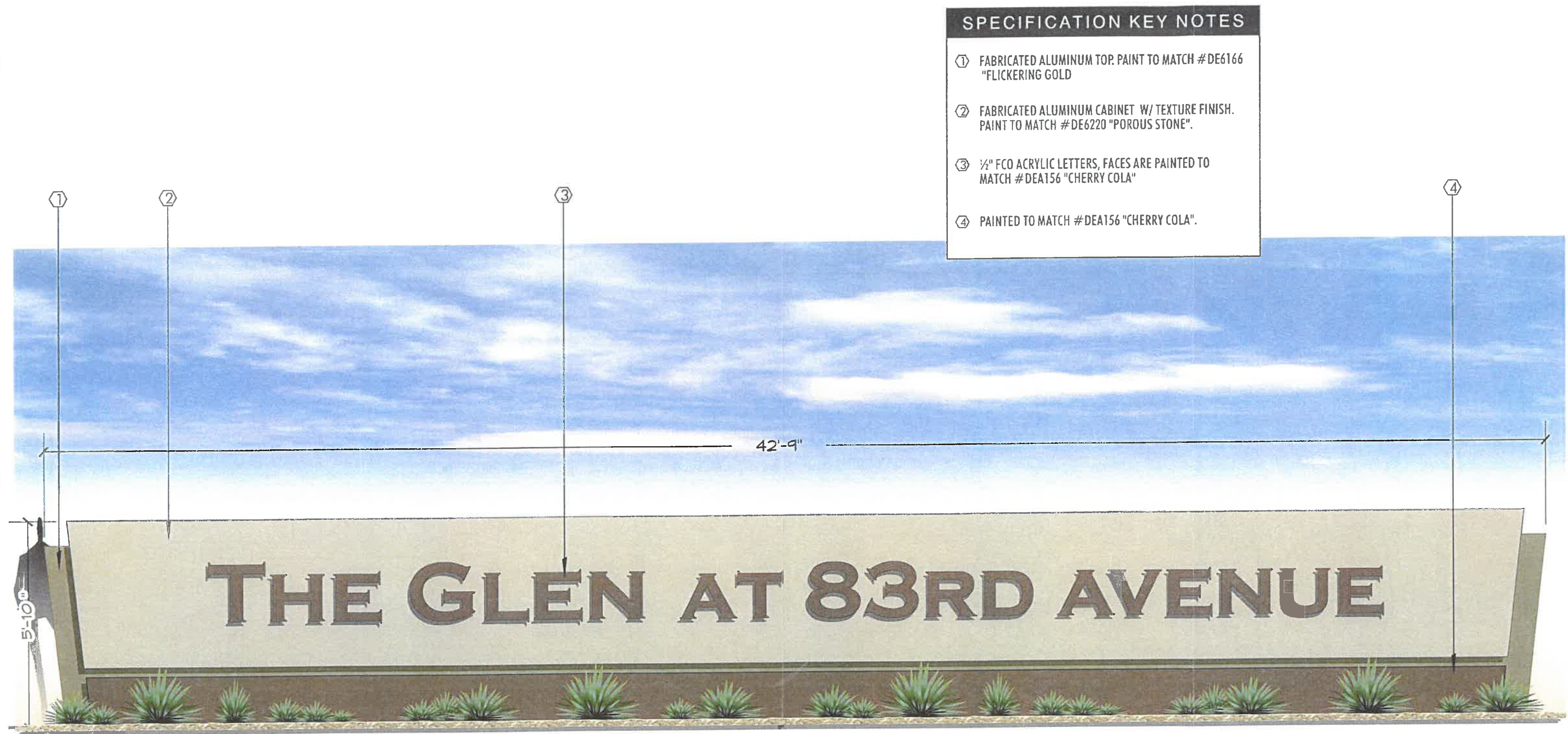
ORIG. DESIGNER: JGREEN

ORIGINAL DATE: 10/23/05

**51495-R2**  
FILE DESIGN NUMBER

**3 OF 9**  
SHEET NUMBER





SPECIFICATION KEY NOTES

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- ② FABRICATED ALUMINUM CABINET W/ TEXTURE FINISH. PAINT TO MATCH #DE6220 "POROUS STONE".
- ③ ½" FCO ACRYLIC LETTERS, FACES ARE PAINTED TO MATCH #DEA156 "CHERRY COLA"
- ④ PAINTED TO MATCH #DEA156 "CHERRY COLA".

**D** SINGLE FACE MAIN IDENTIFICATION SIGN  
SCALE: 3/8" = 1' - 0"

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ARIZONA CONTRACTOR LICENSE NO. #073322-007, AWMINGIS NO. #073322, ELECTRICAL NO. #002800  
**YESCO, YOUNG ELECTRIC SIGN COMPANY**

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SALES APPROVAL: \_\_\_\_\_  
DATE: \_\_\_\_\_

REV. #	DATE	BY	REV. #	DATE	BY
1	11/9/05	LSD			
2	11/17/05	LSD			

FIRM NAME / PROJECT ADDRESS		
THE GLEN @ 83rd AVENUE		
S.E.C. CORNER OF 83rd AVENUE		
GLENDALE, AZ		
SALESPERSON KELEE WALTON		
SCALE: As Noted		
ORIG. DESIGNER: JGREEN		
ORIGINAL DATE: 10/23/05		

**51495-R2**  
FILE DESIGN NUMBER

**4 OF 9**  
SHEET NUMBER





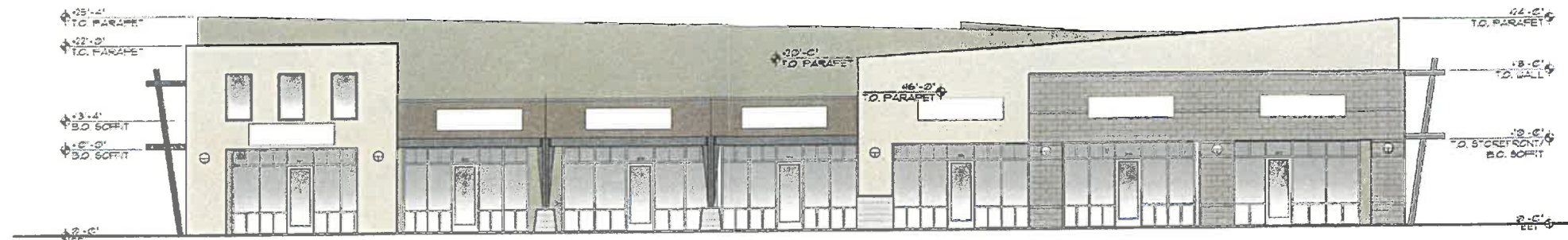
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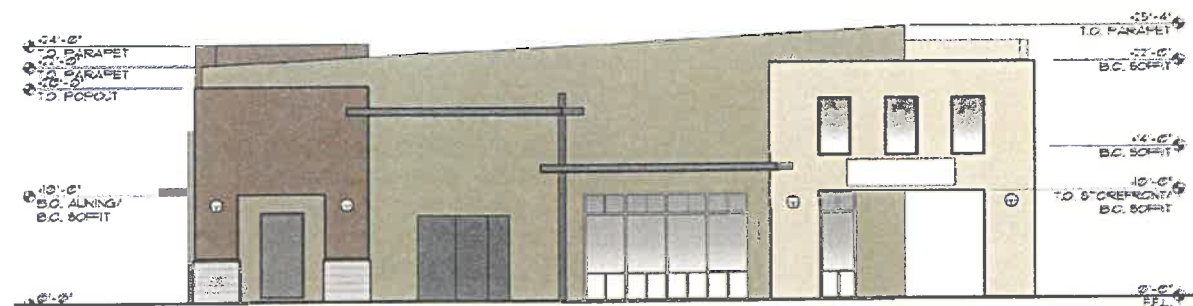
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**Young Electric Sign Company**

DATE:

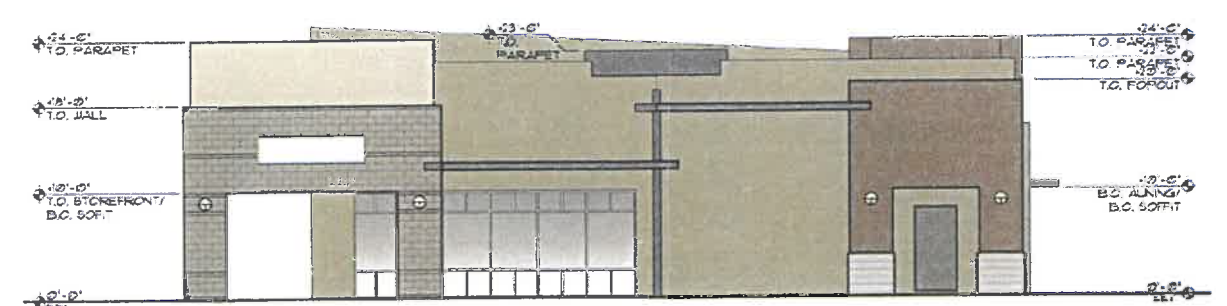
5 OF 9  
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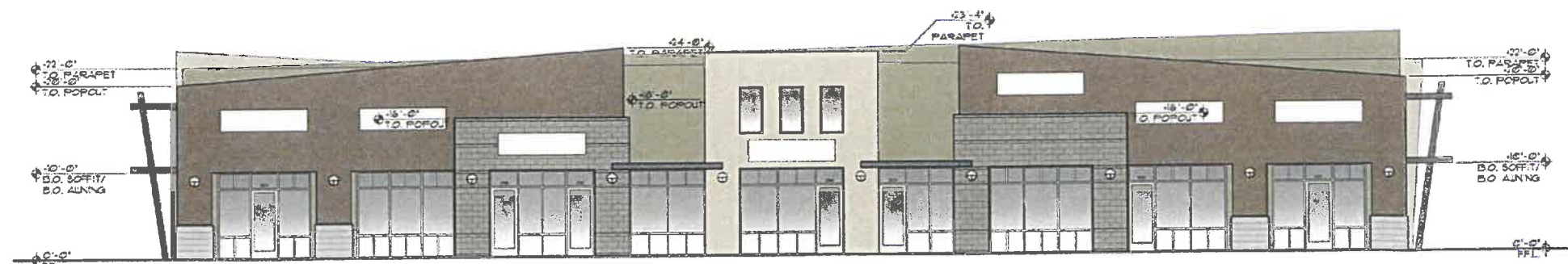
SOUTH ELEVATION (FRONT)



WEST ELEVATION (LEFT)



EAST ELEVATION (RIGHT)



NORTH ELEVATION (REAR)



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ARIZONA CONTRACTOR LICENSE NO. #073322-007, AWWINOS NO. #073322, ELECTRICAL NO. #082800

**YESCO YOUNG ELECTRIC SIGN COMPANY**

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SALES APPROVAL:

DATE:

REV. #	DATE	BY	REV. #	DATE	BY
1	11/9/05	LSD			
2	11/17/05	LSD			

FIRM NAME / PROJECT ADDRESS

**THE GLEN @ 83rd AVENUE**  
**S.E.C. CORNER OF 83rd AVENUE**  
**GLENDALE, AZ**

SALESPERSON **KELEE WALTON**

SCALE: *As Noted*

ORIG. DESIGNER: **JBREEN**

ORIGINAL DATE: **10/23/05**

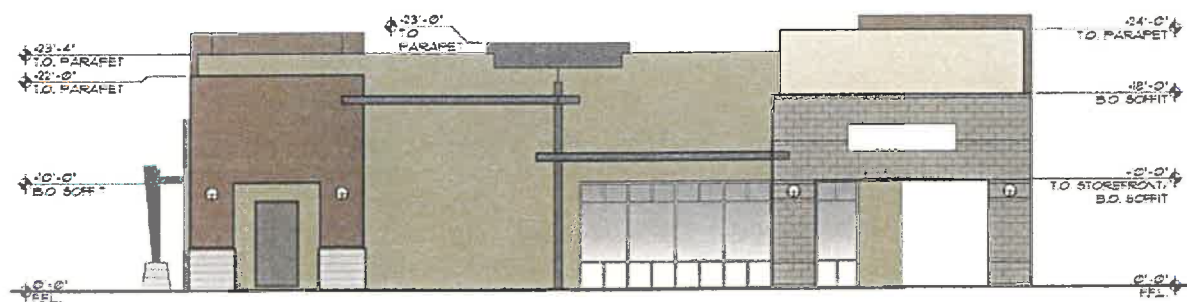
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**6 OF 9**  
 SHEET NUMBER

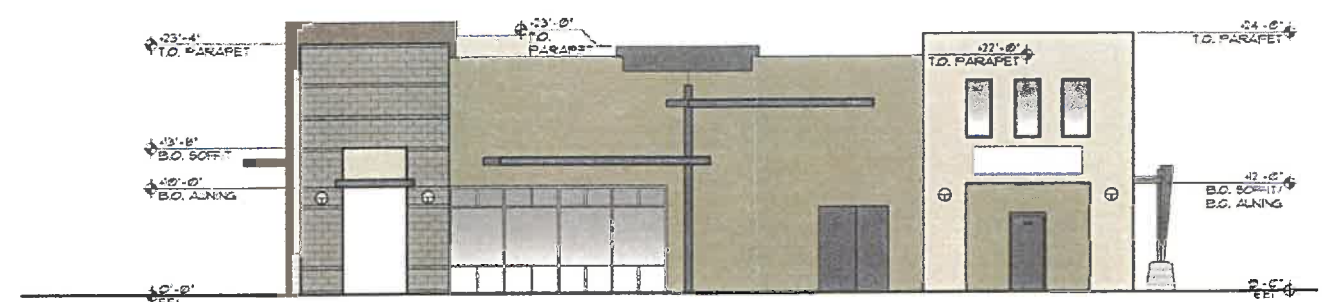




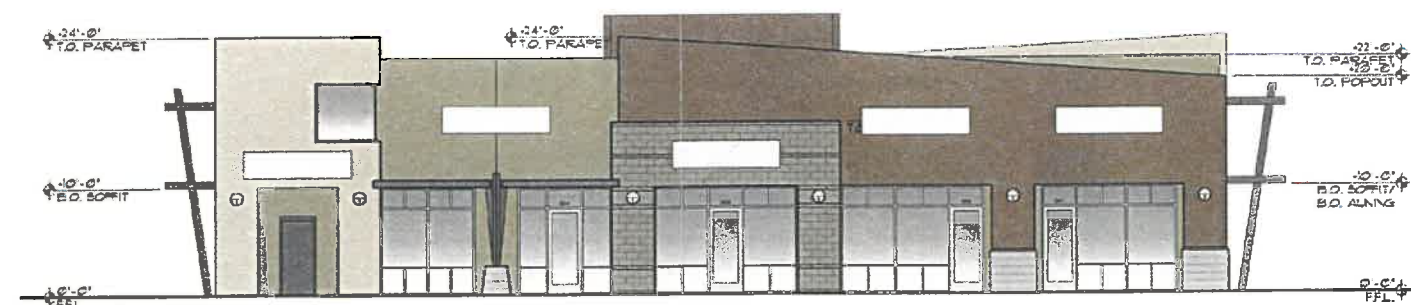
SOUTH ELEVATION (FRONT)



WEST ELEVATION (LEFT)



EAST ELEVATION (RIGHT)



NORTH ELEVATION (REAR)



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ARIZONA CONTRACTOR LICENSE NO. #073322-067, AWWINGS NO. #073322, ELECTRICAL NO. #082800

YESCO, YOUNG ELECTRIC SIGN COMPANY

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SALES APPROVAL:

DATE:

REV. #	DATE	BY	REV. #	DATE	BY
1	11/9/05	LSD			
2	11/17/05	LSD			

FIRM NAME / PROJECT ADDRESS

THE GLEN @ 83rd AVENUE  
S.E.C. CORNER OF 83rd AVENUE  
GLENDALE, AZ

SALESPERSON KELEE WALTON

SCALE: As Noted

ORIG. DESIGNER: JJBREEN

ORIGINAL DATE: 10/23/05

51495-R2

FILE DESIGN NUMBER

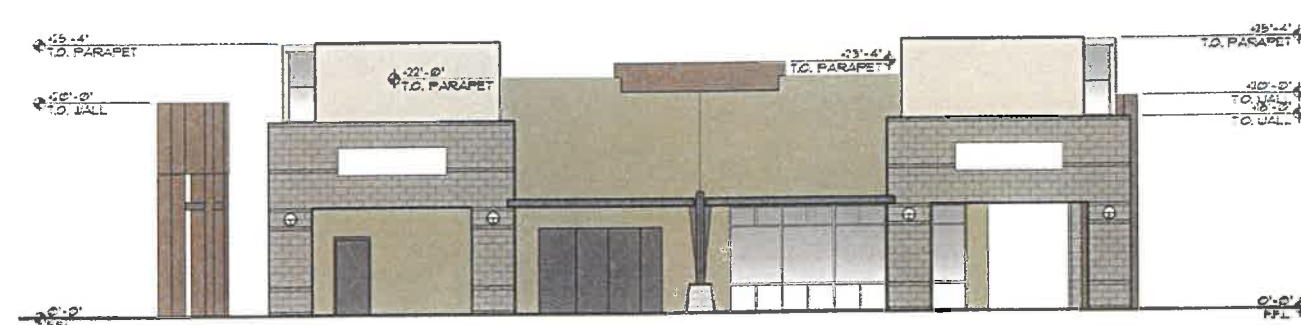
7 OF 9

SHEET NUMBER

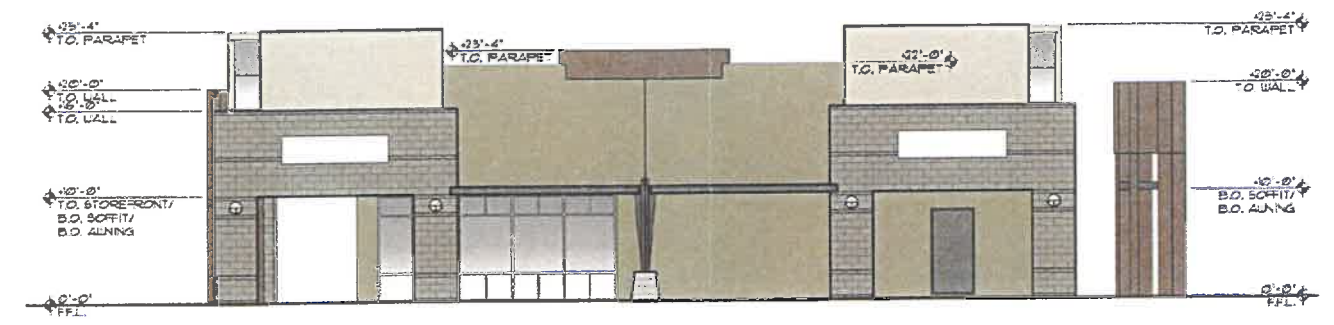




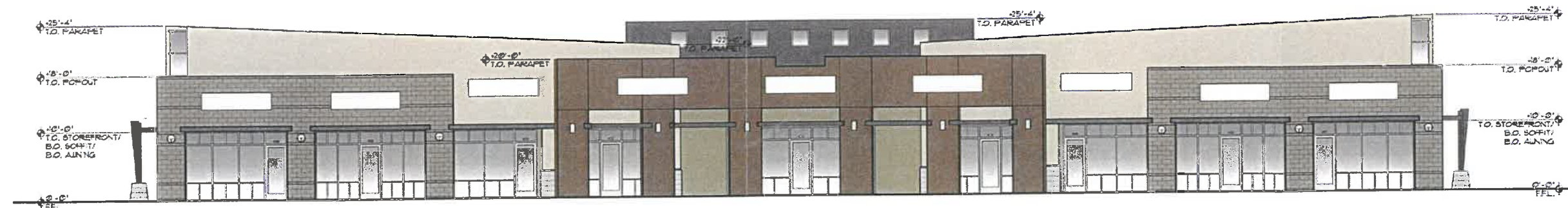
EAST ELEVATION (FRONT)



SOUTH ELEVATION (LEFT)



NORTH ELEVATION (RIGHT)



WEST ELEVATION (REAR)



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**YESCO. YOUNG ELECTRIC SIGN COMPANY**

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REV. #	DATE	BY	REV. #	DATE	BY
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2	11/17/05	LSD			

FIRM NAME / PROJECT ADDRESS

**THE GLEN @ 83rd AVENUE**  
**S.E.C. CORNER OF 83rd AVENUE**  
**GLENDAL, AZ**

SALESPERSON KELEE WALTON

SCALE: As Noted

ORIG. DESIGNER: JGREEN

ORIGINAL DATE: 10/23/05

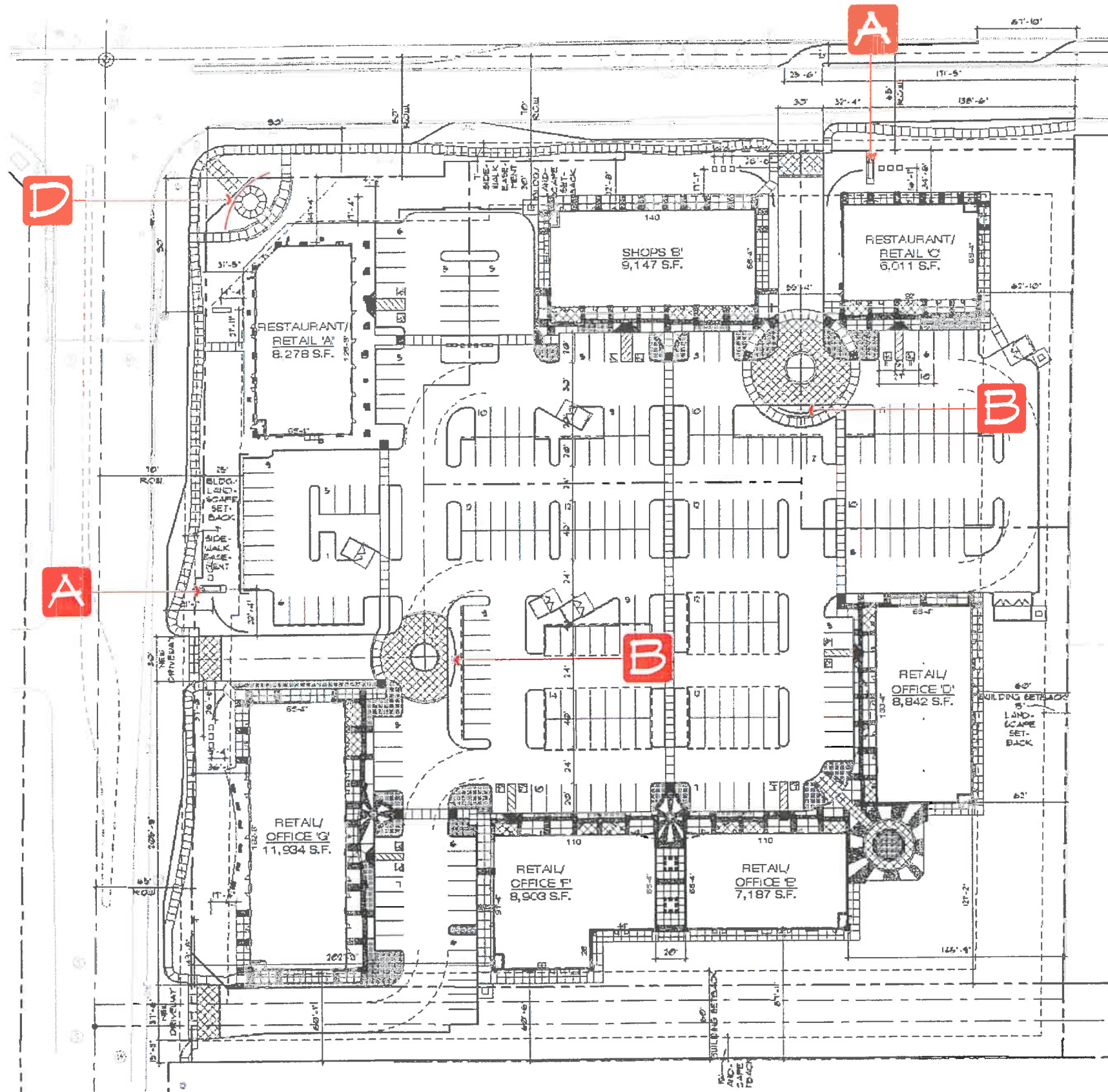
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FILE DESIGN NUMBER

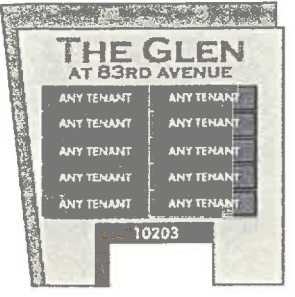
**8 OF 9**

SHEET NUMBER






A




**D/F MONUMENT MAIN ID**

B



**S/F DIRECTORY**

D



**S/F MAIN ID**

**SITE PLAN**  
NOT TO SCALE



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ARIZONA CONTRACTOR LICENSE NO. #073322-007, AWNINGS NO. #073322, ELECTRICAL NO. #002000  
**YOUNG ELECTRIC SIGN COMPANY**

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SALES APPROVAL:  
DATE:

REV. #	DATE	BY	REV. #	DATE	BY
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2	11/17/05	LSD			
3	11/22/05	LSD			

FIRM NAME / PROJECT ADDRESS	
THE GLEN @ 83rd AVENUE	
S.E.C. CORNER OF 83rd AVENUE	
GLENDALE, AZ	
SALESPERSON KELEE WALTON	SCALE: As Noted
	ORIG. DESIGNER: JBREEN
	ORIGINAL DATE: 10/23/05

**51495-R3**  
FILE DESIGN NUMBER

**9 OF 9**  
SHEET NUMBER