

ACACIA COVE

R1-7 Planned Residential Development (Z-00-07)

SWC 59th Avenue & Union Hills Drive
Glendale, Arizona
Submitted March 8, 2000

Developer

Marlor Land Company, Inc.
d.b.a. Marlor Homes
8160 E. Butherus Drive, #5
Scottsdale, Arizona 85260
Tel: (480) 948-9550
Fax: (480) 948-5663

Engineer

Landmark Engineering, Inc.
7310 N. 16th Street, #285
Phoenix, Arizona 85020
Tel: (602) 861-2005
Fax: (602) 861-2175

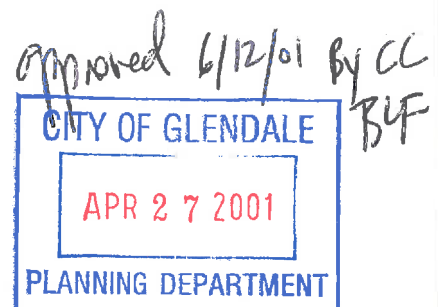
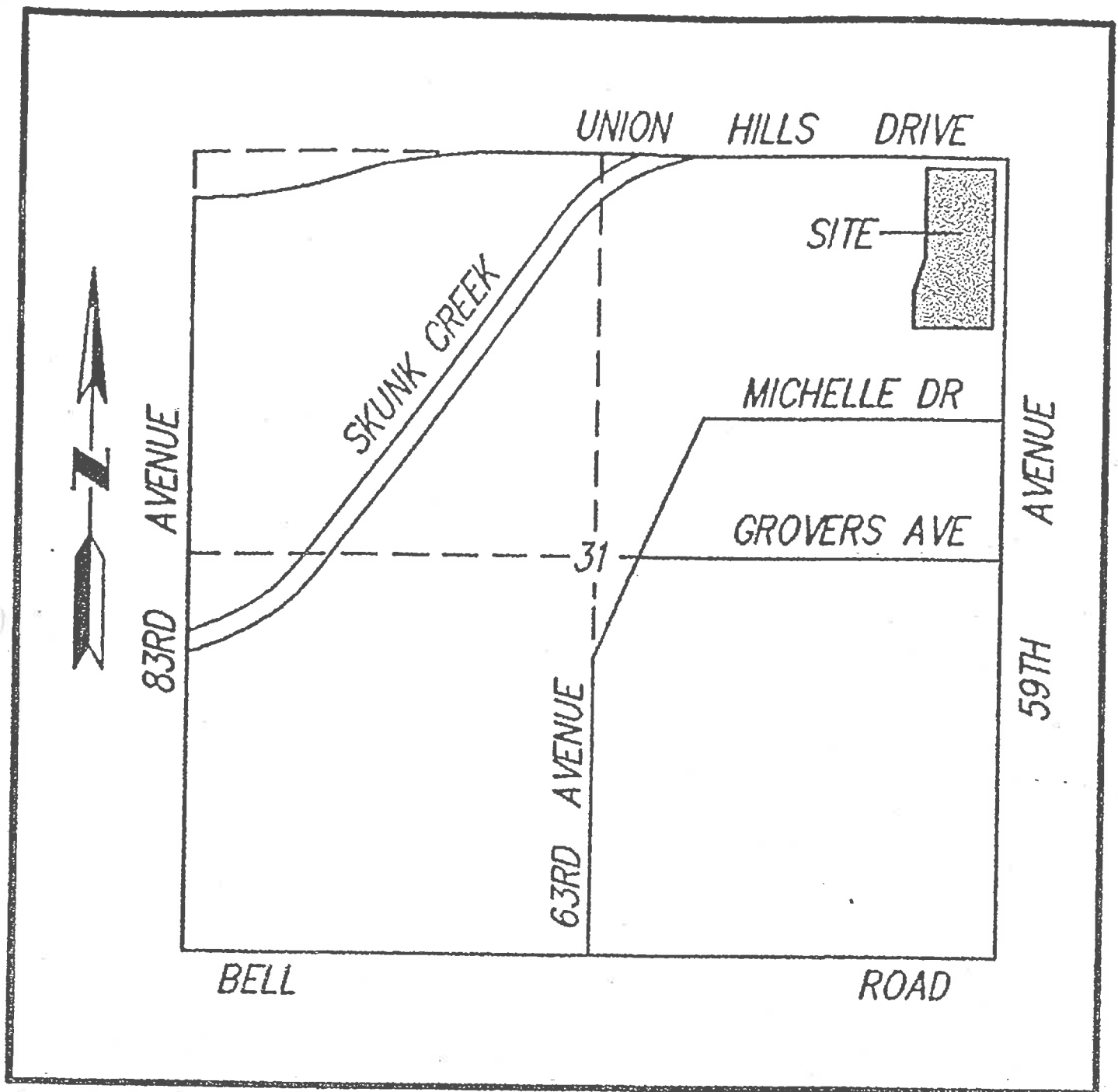


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VICINITY MAP

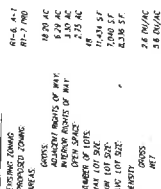


VICINITY MAP

SECTION 31
T.4N., R.2E., G.&S.R.B. & M.
MARICOPA COUNTY, ARIZONA

DEVELOPMENT PLAN

A PORTION OF THE NORTHEAST QUARTER OF SECTION 31,
TOWNSHIP 4 NORTH, RANGE 2 EAST, G.&S.R.B.&M.,
MARICOPA COUNTY, ARIZONA



VOLUME REDD (V_R) = 2300 (C₂) (Q) (A)
 REDD CO-EFFICIENT (C) = 0.83
 DRY MATTER INTENSITY (Q) = 125 m²/hr
 V_R = 2300 (0.83) (125) (10.32) = 81,094 CUBIC FEET = 1.86 AC-FT
 AREA (A) = 10.32 AC
 TOTAL VOLUME REQUIRED = 1.86 AC-FT
 TOTAL VOLUME AVAILABLE = 1.90 AC-FT

BASIS OF BEARING

4.51 LBS OF THE NORTHEAST QUARTER OF SECTION 31,
TOWNSHIP 4 NORTH RANGE 2 EAST, BEARING N 00° 00' 00" E

[illegible][illegible]

000,790

DEVELOPER

MANGLER LAND COMPANY, INC.
MARK MANGLER, PRESIDENT
10000 EAST BURNING WOOD, SUITE 5
SCOTTSDALE, ARIZONA 85260
PHONE, (480) 948-9550

CITY OF GLENDALE
CITY OF GLENDALE
CITY OF GLENDALE
ARIZONA PUBLIC SERVICE
U.S. WEST
SOUTHWEST GAS
CITY OF GLENDALE
CITY OF GLENDALE

WATER
SEWER
REFUSE
ELECTRICITY
TELEPHONE
GAS

BUILDER
RETHMAL, LLC

ENGINEER

UNION

LANGRISH ENGINEERING, INC.
CONTACT: JAMES D. TILMAN
7210 N. 16TH STREET, SUITE 205
PHOENIX, ARIZONA 85020
PHONE: (602) 961-2005

UNION

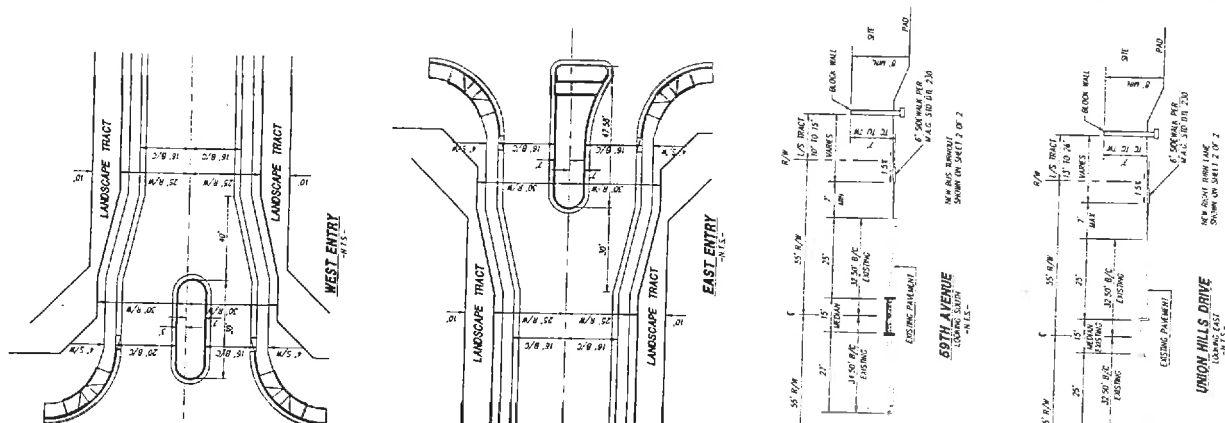
3000 EAST BURGESS DRIVE, SUITE 3
SCOTTSDALE, ARIZONA 85260
PHONE: (480) 846-8550

PHONE: (480) 940-8550
CONTACT: MICHAEL G. BANCROFTS
2310 N 14TH STREET, SUITE 205
PHOENIX, ARIZONA 85020
PHONE: (602) 861-2025

NO. 10 TO 101 SCALE

$$\frac{1}{\sqrt{\pi}} \int_{-\infty}^{\infty} f(x) e^{-x^2} dx = \frac{1}{\sqrt{\pi}} \int_{-\infty}^{\infty} f(x) e^{-x^2} dx$$
[illegible][illegible]

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1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100

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H-7 P.R.D. DEVELOPMENT PLAN
 ACACIA COVE
 A PORTION OF THE NORTHEAST QUARTER OF SECTION 31,
 TOWNSHIP 4 NORTH, RANGE 2 EAST, C.S.R.B.M.,
 MARICOPA COUNTY, ARIZONA

LANDMARK ENGINEERING, INC.
7310 N. 16TH STREET
SUITE 285
PHOENIX, ARIZONA 85020
(602) 861-2005

1.2.2

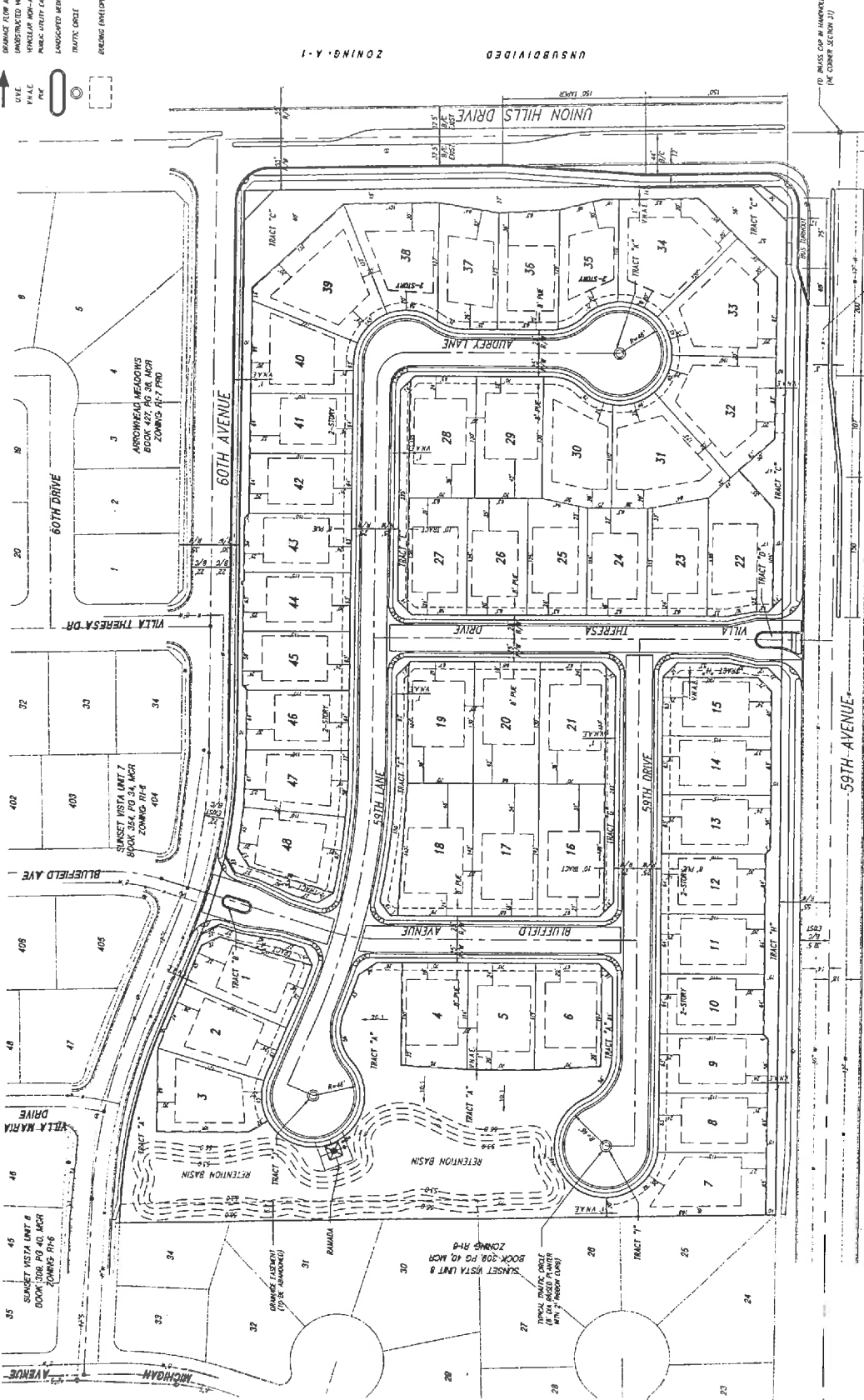
A horizontal scale bar with alternating black and white segments. It is labeled with '50', '0', '50', and '100' from left to right, with the unit 'FEET' at the far right.

7 P.R.D. DEVELOPMENT P
A PORTION OF THE NORTHEAST QUARTER OF SECTION 31,
TOWNSHIP 4 NORTH, RANGE 2 EAST, G.&S.R.B.&M.,
MARICOPA COUNTY, ARIZONA



LEGEND

-  FORWARD FLUSH
 SET BRASS CUP
 FIRE HYDRANT
 RATED VALVE
 SAFETY SENSE MANIFOLD
 RATING LINE
 DRAINAGE FLOW ARROW
 UNDRUNK-TO NEW EASEMENT
 HYDRAULIC NON-ACCESS EASEMENT
 VEHICLE UTILITY EASEMENT
 LANDSCAPED MEDIAN
 TRAFFIC CIRCLE
 BUILDING ENVELOPE



UNSUBDIVIDED

ZONING. C-1

UNSUBSCRIBED

R-1-7 P.R.D. DEVELOPMENT PLAN
ACACIA COVE
A PORTION OF THE NORTHEAST QUARTER OF SECTION 31,
TOWNSHIP 4 NORTH, RANGE 2 EAST, C&S.R.B.M.,
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SUITE 285
PHOENIX, ARIZONA 85020
(602) 861-2005

Open Space Amenities

Acacia Cove, a proposed R1-7 PRD Development

#	Guidelines	If any lots are less than 7,000 sq. ft.	If all lots are 7,000 -10,000 sq.ft	If all lots are 10,000 sq.ft. or larger
		<i>All Required</i>	<i>Select 2 Options</i>	<i>None Required</i>
1	<i>Provide retention areas that meander through the subdivision as a green belt instead of a single rectangular basin</i>	<i>Required</i>	<i>Optional</i>	<i>Optional</i>
2	<i>Provide landscaped open spaces visible from arterial street view as well as from residential street view</i>	<i>Required</i>	<i>Selected</i>	<i>Optional</i>
3	<i>Provide usable common open space that is centrally located, and improved with recreational facilities</i>	<i>Required</i>	<i>Selected</i>	<i>Optional</i>
4	<i>Provide an internal pathway system</i>	<i>Required</i>	<i>Selected</i>	<i>Optional</i>
5	<i>Provide amenities such as golf courses and lakes</i>	<i>Required</i>	<i>Optional</i>	<i>Optional</i>

Note:

1. If any lots are less than 7,000 square feet in size, either in a single parcel, or within any unit of a multi-phased project, then all of the design guidelines are required for the entire project.
2. If all of the lots in a single-parcel, or within any unit of a multi-phased project are 10,000 square feet or greater none of the design guidelines are required for that parcel or unit.

Perimeter Improvements

Acacia Cove, a proposed R1-7 PRD Development

#	Guidelines	<i>If any lots are less than 7,000 sq. ft.</i>	<i>If all lots are 7,000 - 10,000 sq. ft.</i>	<i>If all lots are 10,000 sq. ft. or larger</i>
		<i>All Required</i>	<i>Select 1 Options</i>	<i>None Required</i>
1	<i>Provide enhanced entrances from arterial and collector streets</i>	<i>Required</i>	<i>Required</i>	<i>Optional</i>
2	<i>Provide enhanced perimeter theme walls along arterial and collector street</i>	<i>Required</i>	<i>Required</i>	<i>Optional</i>
3	<i>Provide distinctive horizontal and vertical relief in perimeter walls adjacent to streets</i>	<i>Required</i>	<i>Required</i>	<i>Optional</i>
4	<i>Provide a landscape tract between the street right-of-way and the perimeter wall.</i>	<i>Required</i>	<i>Selected</i>	<i>Optional</i>

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Streets

Acacia Cove, a proposed R1-7 PRD Development

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		<i>All Required</i>	Select 3 Options	<i>None Required</i>
1	<i>Provide an entrance curvilinear street system</i>	<i>Required</i>	<i>Optional</i>	<i>Optional</i>
2	<i>Provide minimum 6' wide landscape tracts at the end of blocks.</i>	<i>Required</i>	Selected	<i>Optional</i>
3	<i>Open streets and cul-de-sacs to common open space</i>	<i>Required</i>	Selected	<i>Optional</i>
4	<i>Provide local streets with detached sidewalks and street trees</i>	<i>Required</i>	<i>Optional</i>	<i>Optional</i>
5	<i>Provide landscape islands with prominent landscaping and cul-de-sacs</i>	<i>Required</i>	Selected	<i>Optional</i>
6	<i>Provide enhanced traffic calming devices when needed</i>	<i>Required</i>	Selected	<i>Optional</i>
7	<i>Provide collector streets with landscaped medians detached sidewalks and enhanced landscaping to create a boulevard effect</i>	<i>Optional in PRD's Required in PAD's</i>	<i>Optional in PRD's Required in PAD's</i>	<i>Optional</i>

Note:

1. If any lots are less than 7,000 square feet in size, either in a single parcel, or within any unit of a multi-phased project, then all of the design guidelines are required for the entire project.
2. If all of the lots in a single-parcel, or within any unit of a multi-phased project are 10,000 square feet or greater none of the design guidelines are required for that parcel or unit.

Lot Layout & Setbacks

Acacia Cove, a proposed R1-7 PRD Development

#	Guidelines	If any lots are less than 7,000 sq. ft.	If all lots are 7,000 -10,000 sq. ft.	If all lots are 10,000 sq.ft. or larger
		All Required	Select 5 Options	None Required
1.	Vary the widths of the lots that are side by side by 5' or more	Required	Optional	Optional
2.	Stagger front yard setbacks by 3' or more on adjoining lots and provide a range of 6' or more on the same block	Required	Selected	Optional
3.	Provide variation in the width of side yards and the separation between houses	Required	Optional	Optional
4.	Provide minimum 15' side yards for two story houses	Required	Optional	Optional
5.	Provide a minimum 30' rear yard setback for two story houses	Required	Selected	Optional
6.	Widen the corner lots by 10' or more than the interior lots on the same block	Required	Selected	Optional
7.	Orient the house at an angle within the building envelope on corner lots	Required	Optional	Optional
8.	Stagger rear setbacks where a row of lots backs to an arterial or collector	Required	Selected	Optional
9.	Vary the depth of perimeter lots to provide for variation in perimeter wall alignments	Required	Selected	Optional
10.	Provide a difference of at least 2,000 square feet between the minimum lot size of two or more parcels in a multi-parcel development	Optional in PRD's Required in PAD's	Optional in PRD's Required in PAD's	Optional

Note:

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2. If all of the lots in a single-parcel, or within any unit of a multi-phased project are 10,000 square feet or greater none of the design guidelines are required for that parcel or unit.

CONCEPTUAL LANDSCAPE PLAN

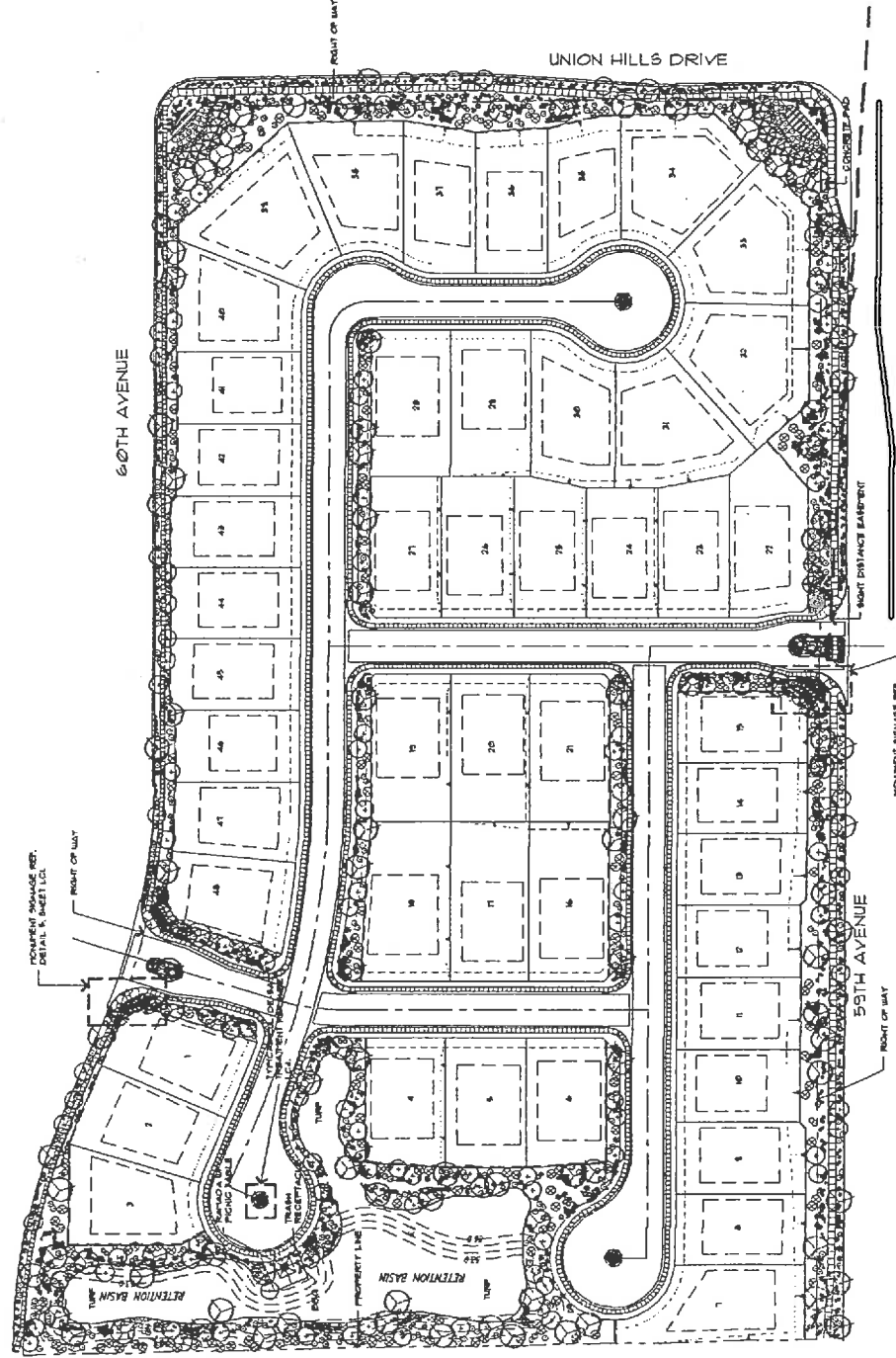
CONCEPTUAL PLANT SCHEDULE

SYMBOL BOTANICAL NAME COMMON NAME

TREES		
1	ACACIA	SWEET ACACIA
2	ACACIA	ACACIA
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100	ACACIA	ACACIA

GENERAL NOTES

1. CONCEPTUAL LANDSCAPE PLAN IS SCHEMATIC IN NATURE. AT THE TIME OF LANDSCAPE CONSTRUCTION, DRAINAGE, ACTUAL LOCATIONS, QUANTITIES, SIZES, AND SPACES SHALL BE DETERMINED AND WILL BE PER CITY CODES.
2. ALL TREES SHOWN WITHIN THIS PROJECT SHALL BE NURSERY GROWN OR SALVAGED FROM ON SITE. ALL TREES SHALL BE PLANTED WITHIN THE SPECIFIED PLANTING AREAS AND SHALL BE PROTECTED DURING CONSTRUCTION.
3. ALL LANDSCAPE AREAS SHALL RECEIVE AN AUTOMATIC IRRIGATION SYSTEM.
4. ALL PLANT MATERIAL SHALL BE INSTALLED PER CITY REQUIREMENTS. PLANT MATERIAL INSTALLED WITHIN RIGHT-OF-WAY AREAS SHALL BE OF A SPECIES THAT DOES NOT GROW TO A HEIGHT OF MORE THAN 10' AND SHALL BE MAINTAINED PER CITY REQUIREMENTS.
5. ALL NON-TREE AREAS SHALL RECEIVE A 2" DEPTH OF DECOMPOSED GRANITE.
6. THE RETENTION BASIN ON THE PLAN IS CONCEPTUAL IN NATURE. REFER TO THE ENGINEERING PLANS FOR ACTUAL GRADING AND DRAINAGE CONSTRUCTION.
7. ALL EARTHWORK WILL BE DONE TO DRAIN AWAY FROM SIDEWALKS AND STRUCTURES.
8. FINAL LOT CONFIGURATION MAY VARY AT THE TIME OF FINAL PLAN APPROVAL.
9. ADDITIONAL PLANT MATERIAL MAY BE INTRODUCED AS DIFFERENT VARIETIES BECOME AVAILABLE THROUGH LOCAL NURSERIES AND IF THEY ARE CONSISTENT WITH THE OVERALL THEME OF THE PROJECT.

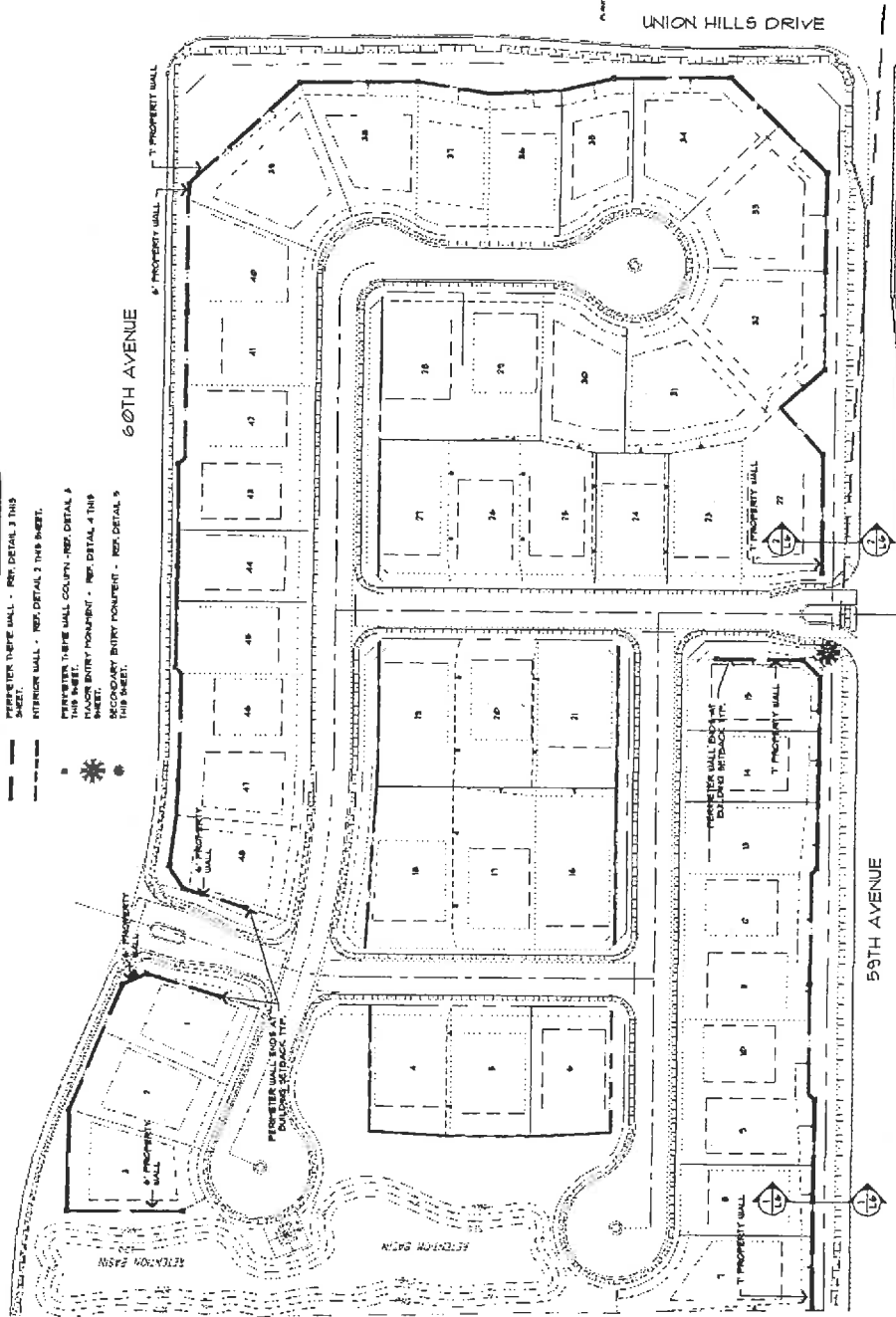


Conceptual Landscape Plan
Acacia Cove
 Prepared For: MARLOR HOMES

PERIMETER WALLS & ENTRANCE FEATURES

WALL LEGEND

- PERIMETER THEME WALL - REF. DETAIL 3 THIS SHEET.
- INTERIOR WALL - REF. DETAIL 2 THIS SHEET.
- PERIMETER THEME WALL COLPH. REF. DETAIL 4 THIS SHEET.
- MAJOR ENTRY MONUMENT - REF. DETAIL 4 THIS SHEET.
- SECONDARY ENTRY MONUMENT - REF. DETAIL 5 THIS SHEET.

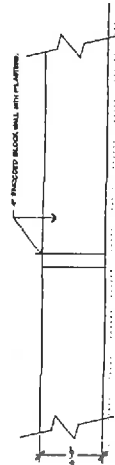


1 WALL LAYOUT PLAN
SCALE: 1/8" = 1'-0"

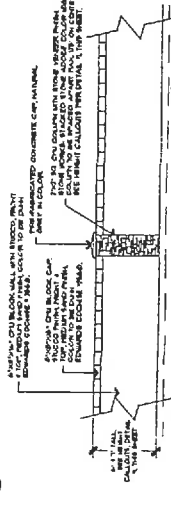
Conceptual Monumentation and Master Wall Plan

Scavina Cove

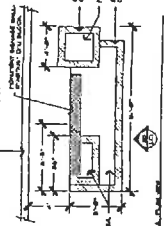
Prepared For: MARLOR HOMES



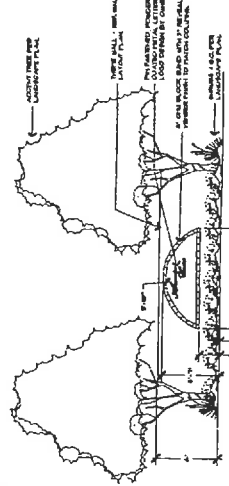
2 INTERIOR WALL ELEVATION
SCALE: 1/8" = 1'-0"



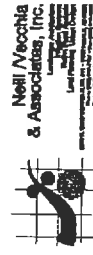
3 PERIMETER THEME WALL ELEVATION
SCALE: 1/8" = 1'-0"



4 MAJOR ENTRY MONUMENT DETAIL - 59TH AVE.
SCALE: 1/8" = 1'-0"



5 SECONDARY ENTRY MONUMENT ELEVATION - 80TH AVE.
SCALE: 1/8" = 1'-0"



60-09109
AUG 17, 2000

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CONCEPTUAL PLANT SCHEDULE	
SYMBOL	BOTANICAL NAME

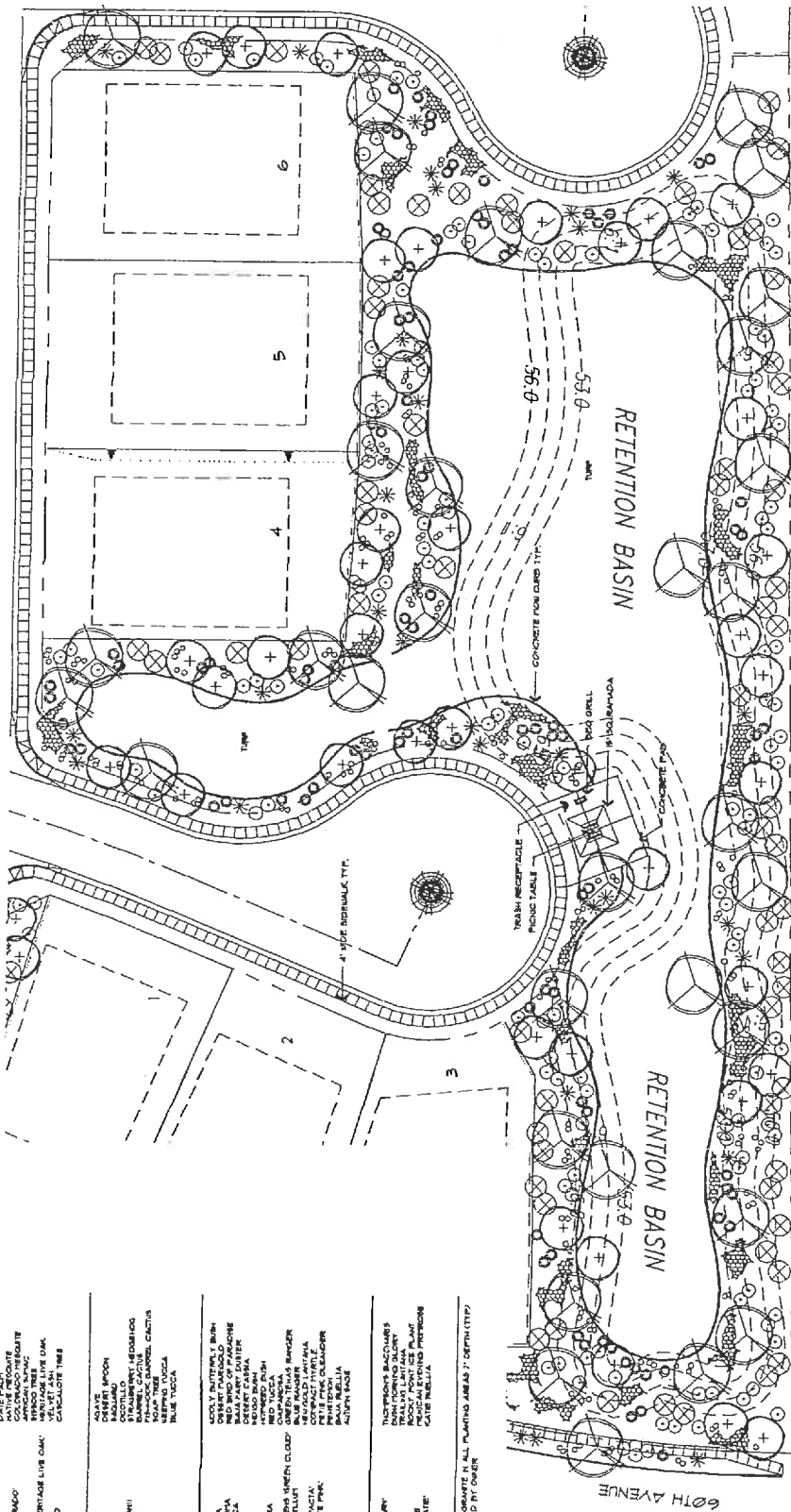
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Scaccia Cove

**Neil Vecchia
& Associates, Inc.**

CONCEPTUAL PLANT SCHEDULE

SYMBOL	BOTANICAL NAME	COMMON NAME
1	ACACIA BARKERIANA	WEST ACACIA
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98	ACACIA BARKERIANA	WEST ACACIA
99	ACACIA BARKERIANA	WEST ACACIA
100	ACACIA BARKERIANA	WEST ACACIA



1 ENLARGEMENT OF PARK (TRACT 'A')
LC5 SCALE: 1/8"=1'-0"

Conceptual Park Layout
Acacia Cove

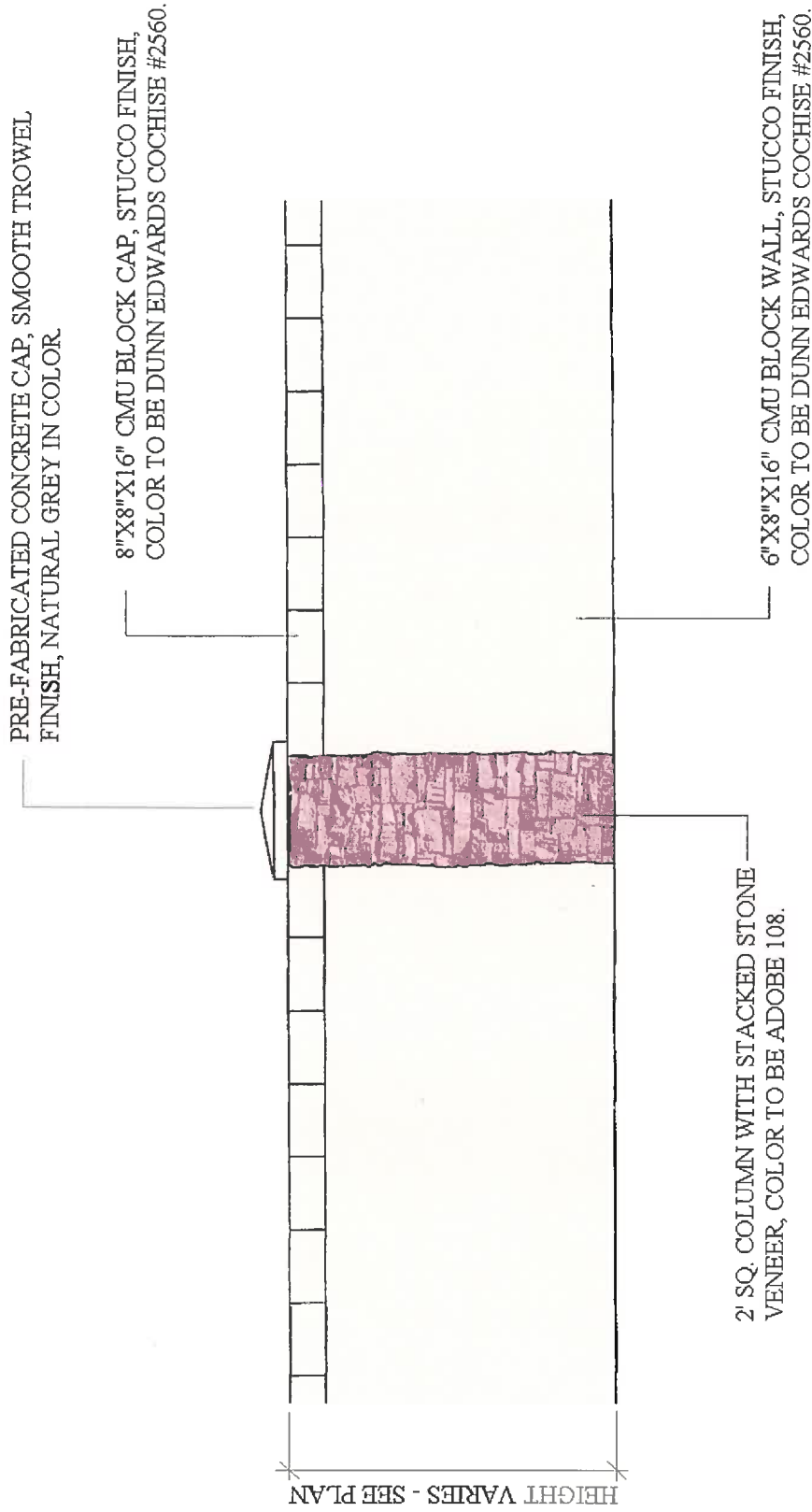
Prepared For: MARLOR HOMES

NORTH



NOV-000203
JULY 21, 2000

LC5



NOTE: COLUMNS ARE CENTERED ON PROPERTY LINE. WALLS TO BE CENTERED ON COLUMN. STONE VENEER TO BE APPLIED ON SIDES FACING PUBLIC RIGHT OF WAY. STUCCO FINISH TO BE APPLIED ON SIDES FACING RESIDENTIAL HOMES ONLY. END WALL COLUMN TREATMENT TO HAVE VENEER ON THREE SIDES.

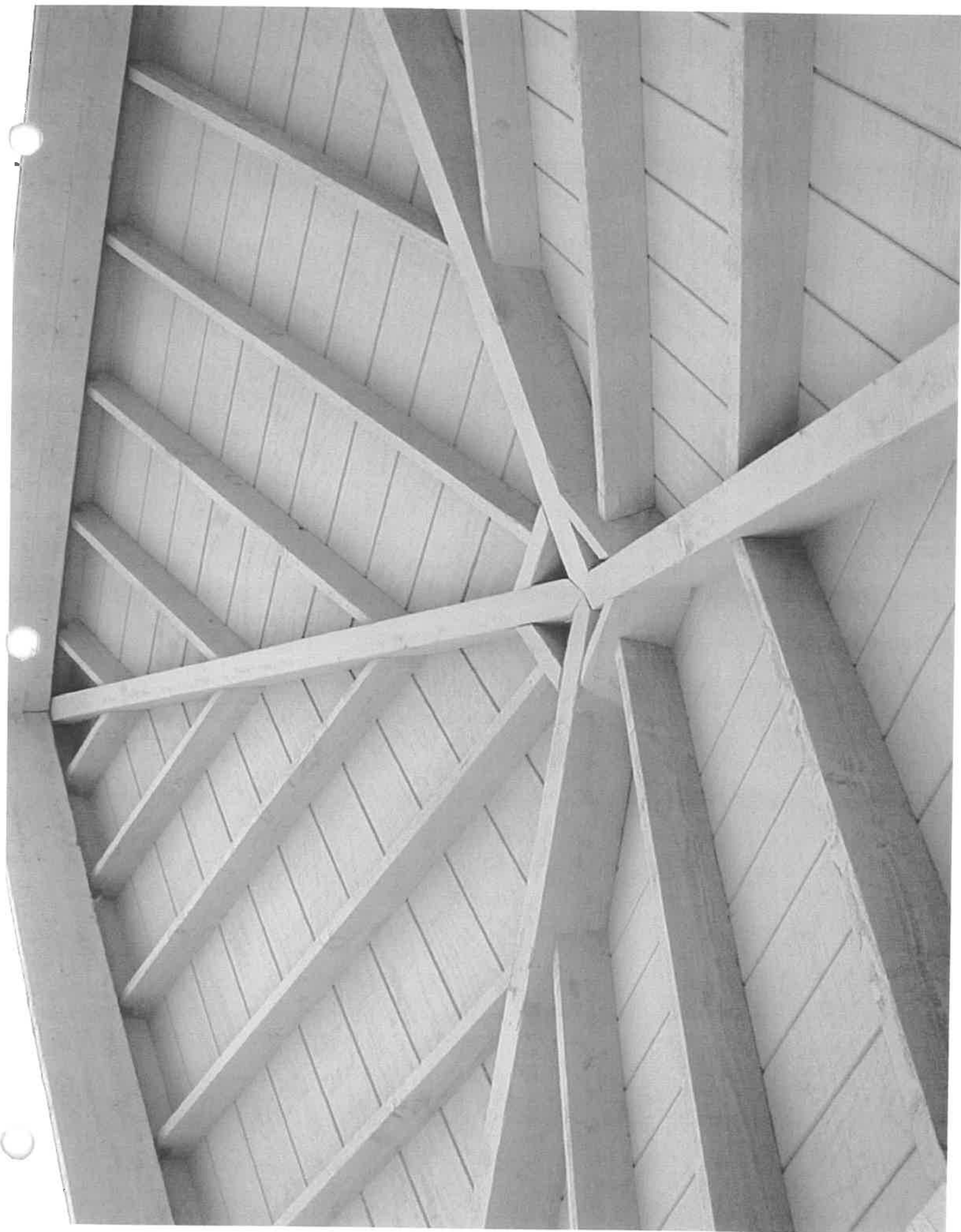
THEME WALL COLOR BOARD

SCALE: NTS









DEVELOPMENT STANDARDS

	District Standards	Proposed Standards
Minimum Net Lot Area	7,000 square feet	7,000 square feet
Minimum Lot Width	70 feet	63 feet *
Minimum Lot Depth	100 feet	110 feet
Minimum Front Setback	15' to living area 20' to garage or carport	18' from property line 20' from back of sidewalk Setbacks will vary from 18' to 24' from back of property line **
Minimum Rear Setback	20' feet	20' feet **
Minimum Side Setback	5' and 10'	5' and 10' ***, **
Minimum distance between buildings on adjacent lots	15' feet	15' feet
Minimum Street Sideyard Setback	10' feet	10' feet ****
Maximum Structure Height	30' feet	30' feet
Maximum % Lot Coverage	40%	45% **

* Lot width is measured at the 20' front setback

** Setbacks and lot coverage are based on the approved development plan as shown by the building envelope.

*** Fireplaces may project 2' into any required setback. Bay windows and entertainment centers may project 2' for a horizontal distance not to exceed 10' in the 10' sideyard only.

**** Unless adjacent to a landscape tract.

HOUSE PRODUCT DESIGN CRITERIA

The homes to be built at Acacia Cove will be compatible with those in Sunset View and Arrowhead Meadows and other surrounding communities. There shall be a minimum of four standard plans with three elevations, with variations of trim and body colors per plan. The minimum standard specifications to be offered in every home shall include the following:

1. Exterior stucco on all sides.
2. Standard Rear yard covered patios (min. 120 sq. ft.) with stucco columns.
3. Ground mounted air conditioning units.
4. Two styles (flat or "S") of Concrete tile roof will be available.
5. Three car garages.
6. Masonry fenced rear yards with stucco where visible from the adjacent streets and open spaces.
7. All chimneys to be boxed and shall incorporate a decorative cornice to conceal the chimney flue.
8. Dual pane windows.
9. Front yard landscaping.
10. Stucco pop-outs, reveals or recesses on all windows, doors, gable ends and wall expanses on all elevations.
11. Anodized or baked enamel window frames and mullions.
12. Roof vents, flashing, electrical panels and exposed metal will be painted the color of the house.
13. Sectional metal garage door with decorative window panels.
14. Visual interest to be provided by articulation in wall planes and roof forms, variation in roof heights and ridgelines, or other architectural treatments.
15. Front door and one window from the living area will be visible from the street.
16. Standard patio covers with stucco finished columns.
17. Front entries and doorways shall be visible from the street and include lighted doorway areas and on both sides of garage.
18. A minimum of one window from the living area or kitchen area of the house shall be visible from the street.
19. Distinctive architectural details on front elevations.
20. Significant architectural differences in the choice of elevations offered for each floor plan.
21. One and two-story homes will be constructed.
22. All other requirements as outlined in the Single Family Residential Design Guidelines.

Preliminary renderings of four different floorplans with three distinct elevations with variations of trim and body colors per plan are shown on the next page. Additional plans and elevations are being designed and will be submitted at a later date under separate cover.

House Product

Acacia Cove, a proposed R1-7 PRD Development

#	Guidelines	If any lots are less than 7,000 sq. ft.	If all lots are 7,000 -10,000 sq.ft.	If all lots are 10,000 sq.ft. or larger
		All Required	7 Required Select 2 Options	4 Required rest optional
1	Provide distinctive architectural details on front elevations.	Required	Required	Required
2	Provide significant architectural differences in the choice of elevations offered for each floor plan.	Required	Required	Required
3	Locate houses with different front elevations on adjoining lots.	Required	Required	Optional
4	Provide distinctive architectural detailing on the rear elevation of houses backing onto arterial and collector streets and common areas.	Required	Optional	Optional
5	Locate houses with different rear elevations on adjoining lots backing onto arterial and collector streets and common areas.	Required	Optional	Optional
6	Provide a variety of roof forms and ridge lines on houses backing onto arterial and collector streets and common areas.	Required	Required	Optional
7	De-emphasize garage fronts as the most prominent feature on front elevations.	Required	Required	Optional
8	Provide covered rear patios which match the architecture of the house.	Required	Required	Required
9	Incorporate a variety of durable exterior materials and finishes.	Required	Required	Required
10	Provide a variety of roof colors and textures.	Required	Optional	Optional
11	Provide a variety of front yard landscaping packages.	Required	Selected	Optional
12	Provide enhanced decorative return walls on individual lots.	Required	Selected	Optional

Note:

1. If any lots are less than 7,000 square feet in size, either in a single parcel, or within any unit of a multi-phased project, then all of the design guidelines are required for the entire project.
2. If all of the lots in a single-parcel, or within any unit of a multi-phased project are 10,000 square feet or greater none of the design guidelines are required for that parcel or unit.

ACACIA COVE

HOUSE PRODUCT COLOR PALETTE

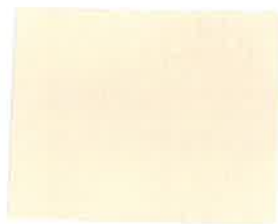
Stucco Base (Dunn Edwards)



Bone White SP427



Oyster SP511



Cashmere SP152

Tile Roof



Coyote Blend (S-tile)



Coyote Blend (Flat-tile)

ACACIA COVE

HOUSE PRODUCT COLOR PALETTE

Trim Colors (Dunn Edwards)



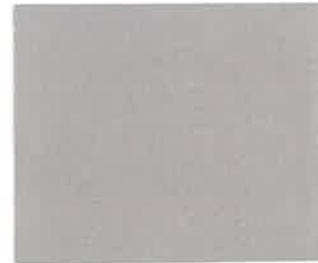
Norfolk Brown 79



Woodlawn Green SP18



Cocoa EX74



Cable Ash SP154



Mesa Tan SP7

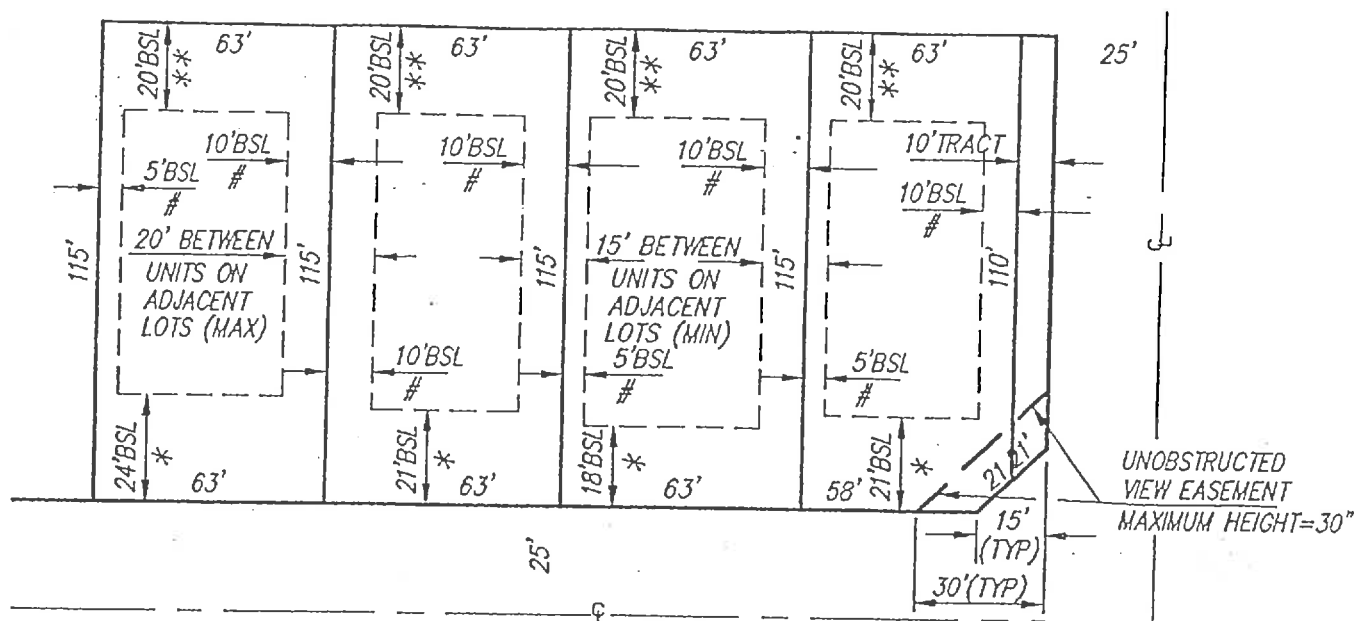


Talliesin Blue SP270



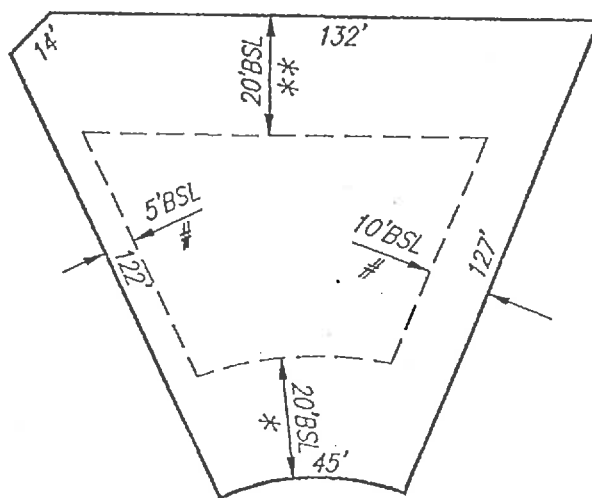
Whisper Grey SP856

TYPICAL PLOT PLAN



TYPICAL INTERIOR & CORNER LOT

NOT TO SCALE



TYPICAL CUL-DE-SAC LOT

NOT TO SCALE

SIDE SETBACKS ARE 5' AND 10' UNLESS IDENTIFIED OTHERWISE ON SHEET 2
(15' MINIMUM, 20' MAXIMUM)

* FRONT SETBACK VARIES - SEE SHEET 2

** REAR SETBACK VARIES - SEE SHEET 2

MAXIMUM LOT COVERAGE IS 45%

SEE Z-00-07 FOR SPECIFIC DEVELOPMENT STANDARDS

LEGAL DESCRIPTION

The Northeast quarter of the Northeast quarter of Section 31, Township 4 North, Range 2 East of the Gila and Salt River Base and Meridian, Maricopa County, Arizona;

EXCEPT the Northwest quarter of the Northeast quarter of the Northeast quarter of Section 31, Township 4 North, Range 2 East;

EXCEPT the North 55 feet of said Northeast quarter of the Northeast quarter of Section 31;

EXCEPT East 55 feet of said Northeast quarter of the Northeast quarter of Section 31;

EXCEPT any portion thereof lying within that certain parcel of land as described in Instrument No. 84-457516;

EXCEPT any portion thereof lying within SUNSET VISTA UNIT 7, according to Book 354, pager 34, records of Maricopa County, Arizona ; and

EXCEPT any portion thereof lying within SUNSET VISTA UNIT 8, according to Book 309, page 40, records of Maricopa County, Arizona

HOUSE PRODUCT

The Avon PLAN 1809

M · A · R · L · O · R

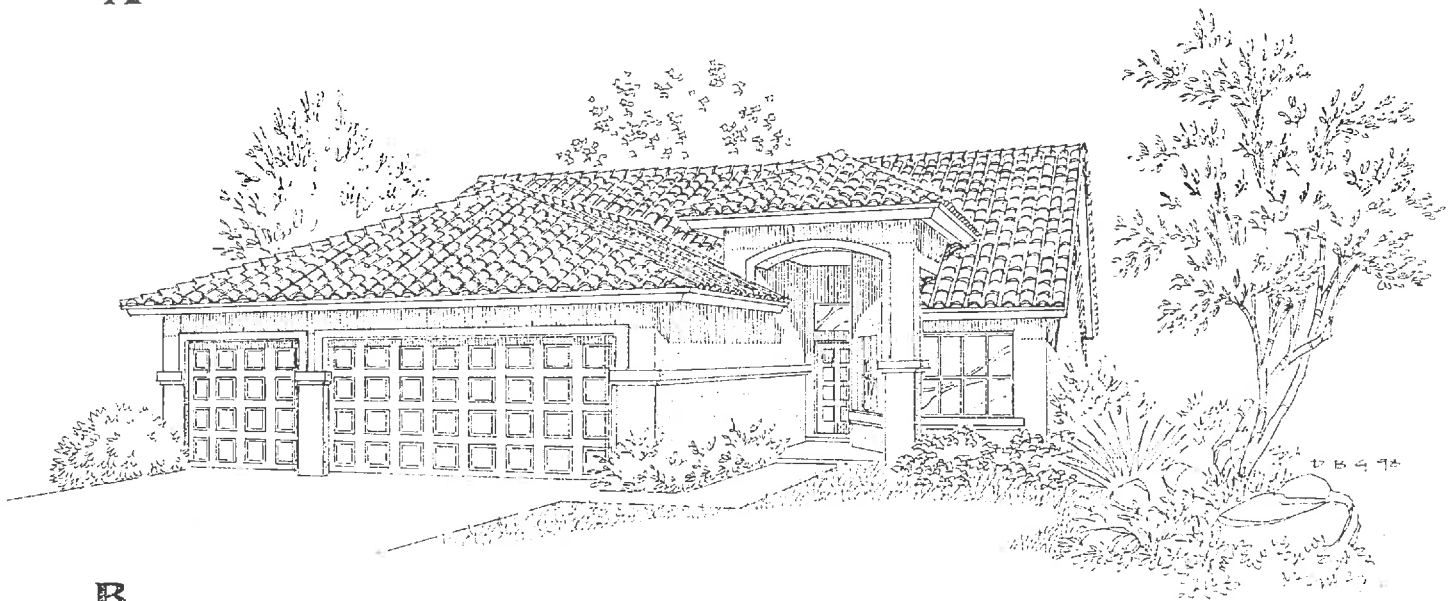
HOMES

Cactus Cove

The Avon PLAN 1809



A

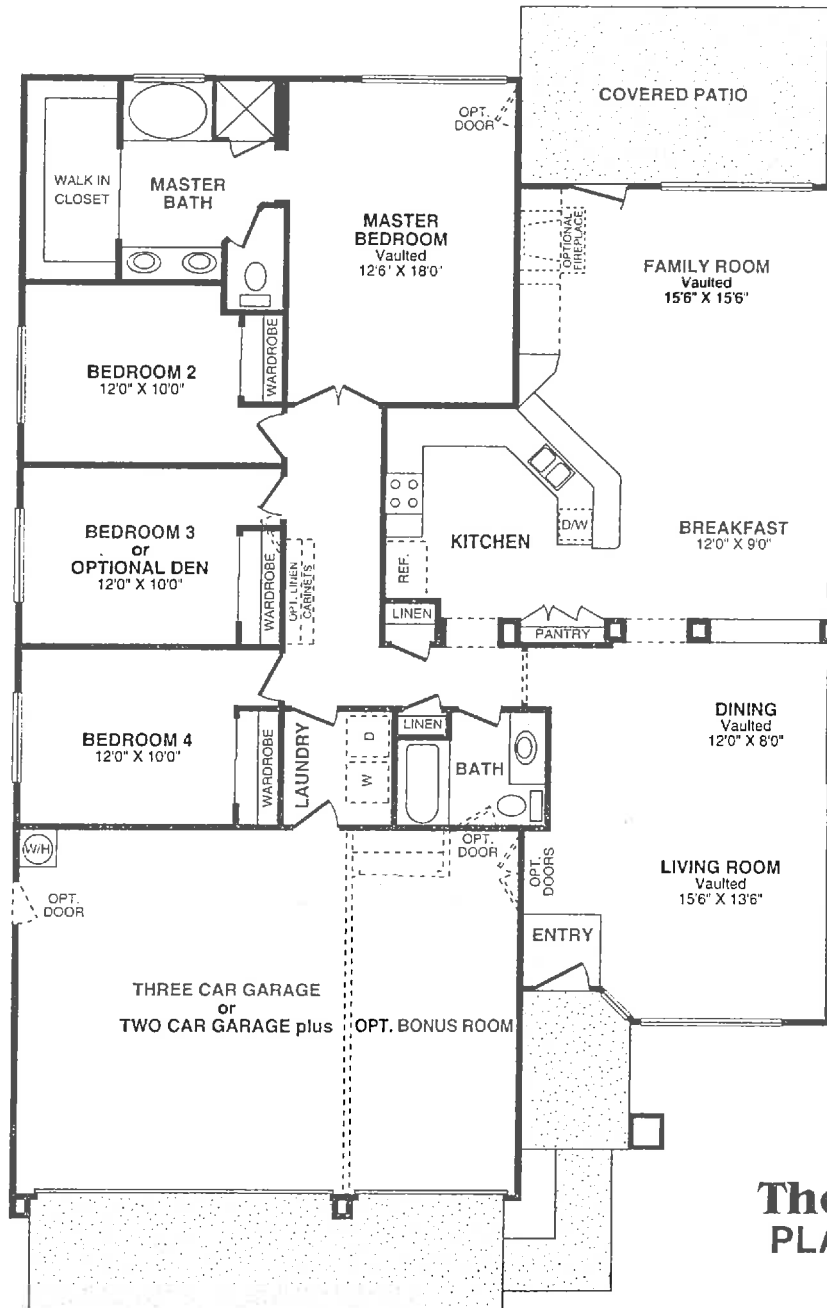


B

In a continuing effort to improve product, Marlor Homes reserves the right to change floor plans, specifications and prices without prior notice.
All floor plans and exterior renderings are artist's conceptions and all dimensions are approximate.

M · A · R · L · O · R
HOMES

Cactus Cove



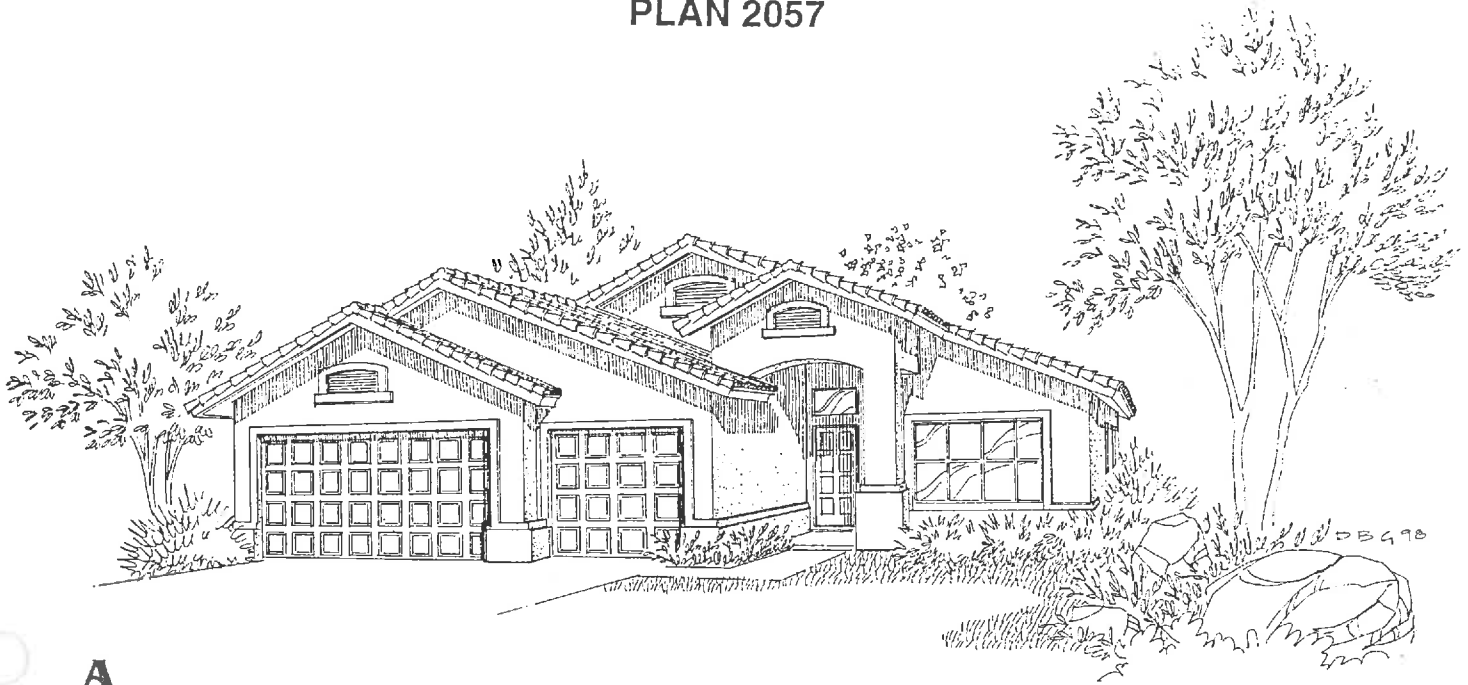
The York
PLAN 2057

In a continuing effort to improve product, Marlor Homes reserves the right to change floor plans, specifications and prices without prior notice. All floor plans and exterior renderings are artist's conceptions and all dimensions are approximate.

M · A · R · L · O · R
HOMES

Cactus Cove

The York PLAN 2057



A

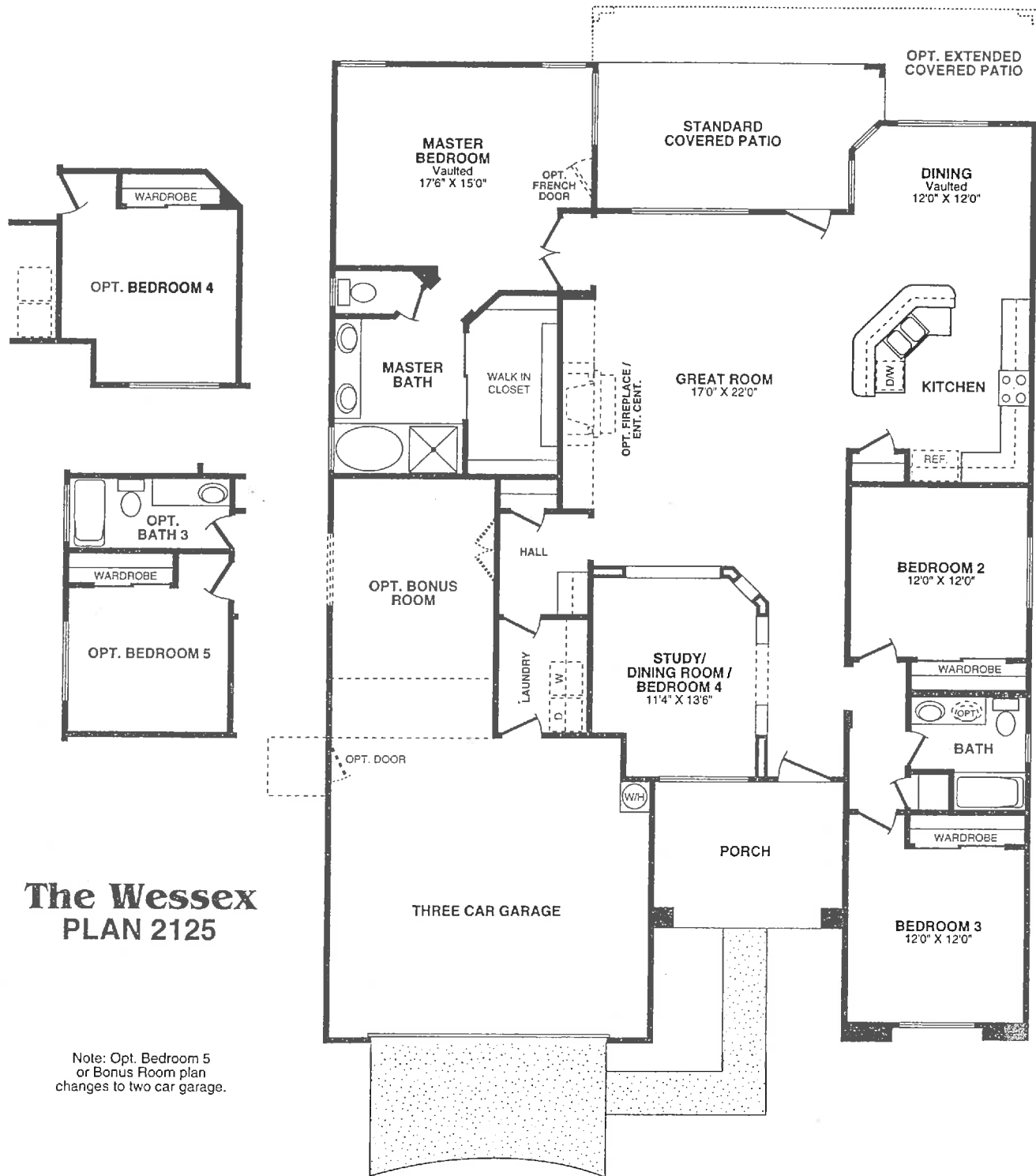


B

In a continuing effort to improve product, Marlor Homes reserves the right to change floor plans, specifications and prices without prior notice.
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M · A · R · L · O · R
HOMES

Cactus Cove



**The Wessex
PLAN 2125**

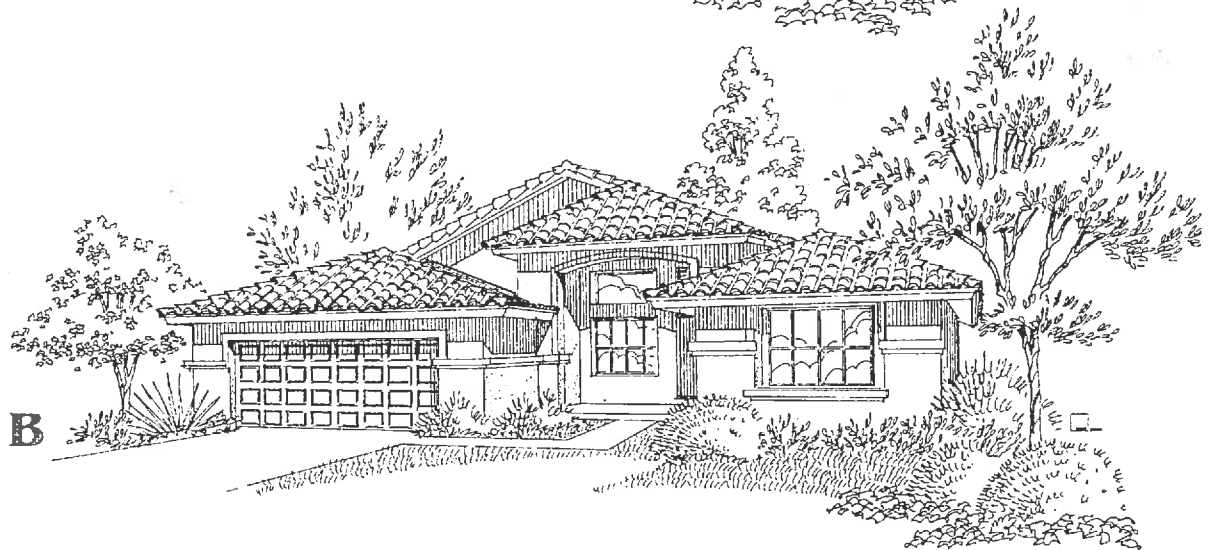
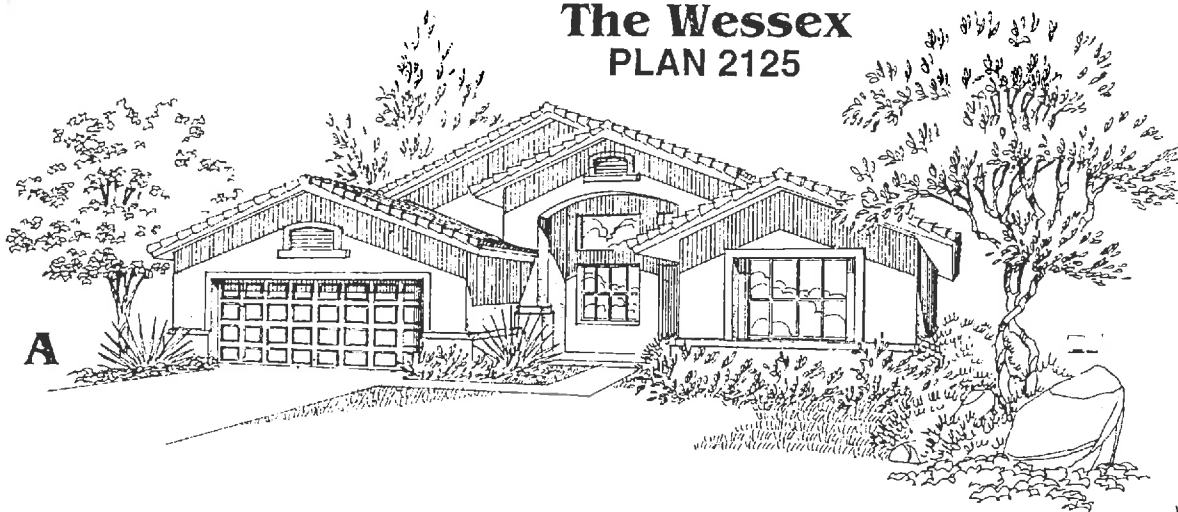
Note: Opt. Bedroom 5
or Bonus Room plan
changes to two car garage.

In a continuing effort to improve product, Marlor Homes reserves the right to change floor plans, specifications and prices without prior notice.
All floor plans and exterior renderings are artist's conceptions and all dimensions are approximate.

M · A · R · L · O · R
HOMES

Cactus Cove

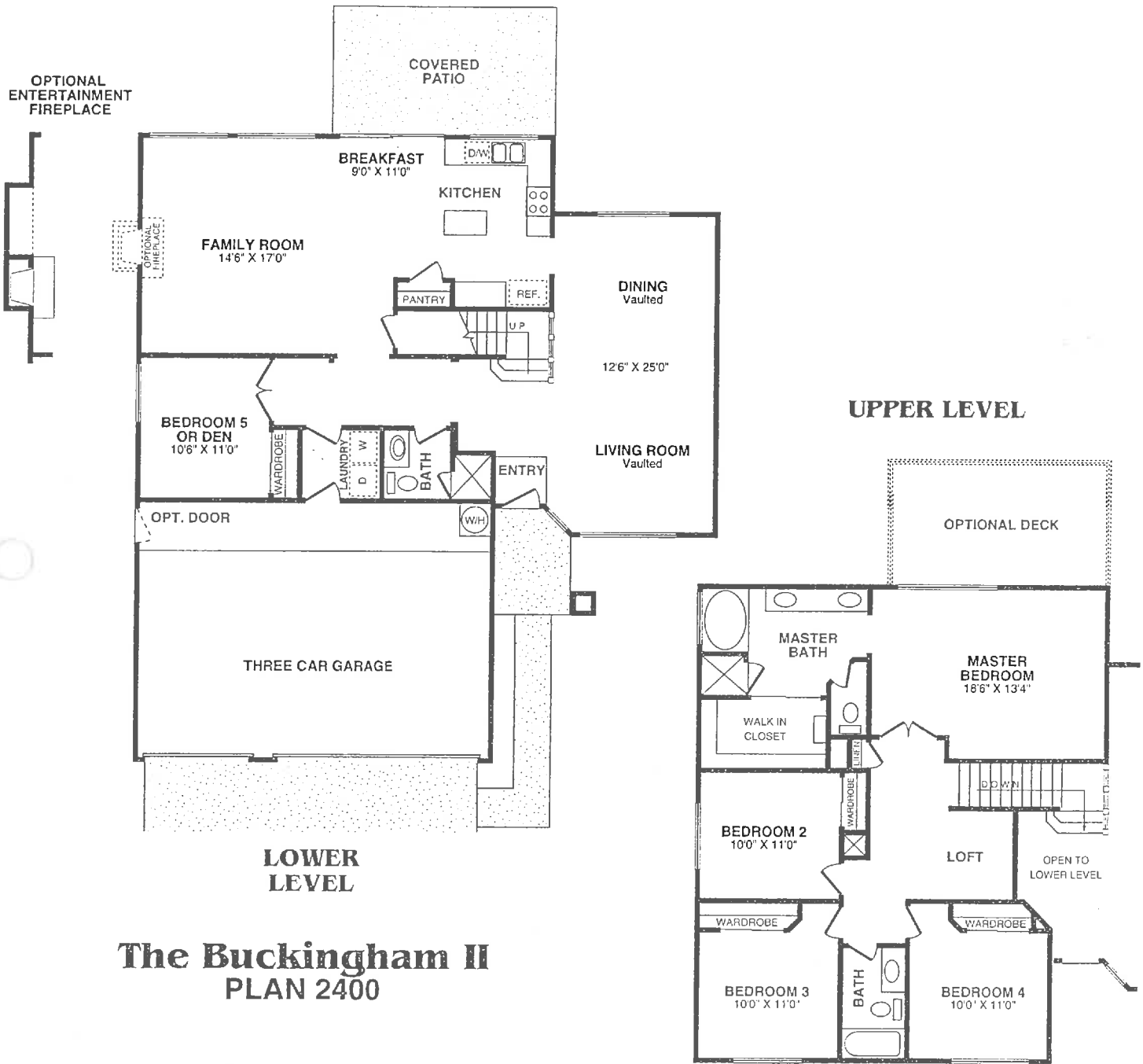
The Wessex PLAN 2125



In a continuing effort to improve product, Marlor Homes reserves the right to change floor plans, specifications and prices without prior notice.
All floor plans and exterior renderings are artist's conceptions and all dimensions are approximate.

M · A · R · L · O · R
HOMES

Cactus Cove



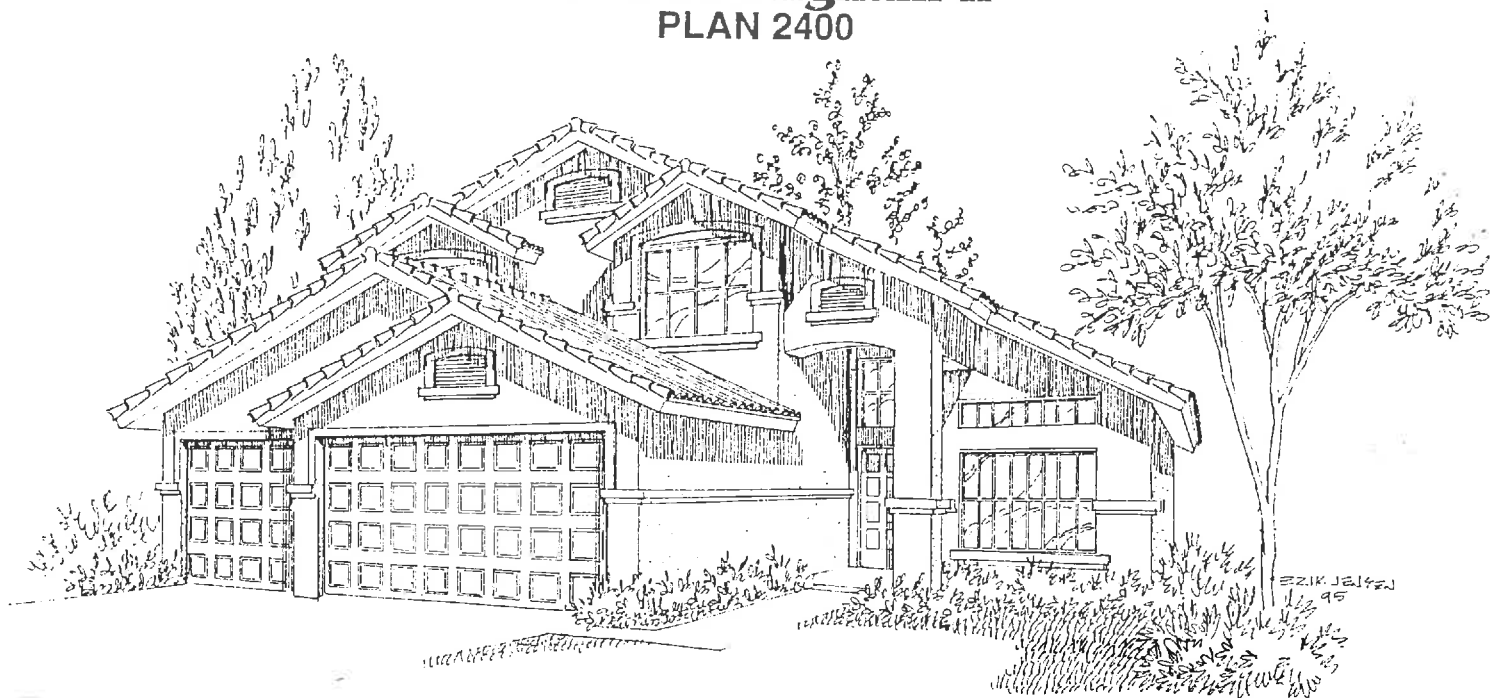
The Buckingham II
PLAN 2400

In a continuing effort to improve product, Marlor Homes reserves the right to change floor plans, specifications and prices without prior notice.
All floor plans and exterior renderings are artist's conceptions and all dimensions are approximate.

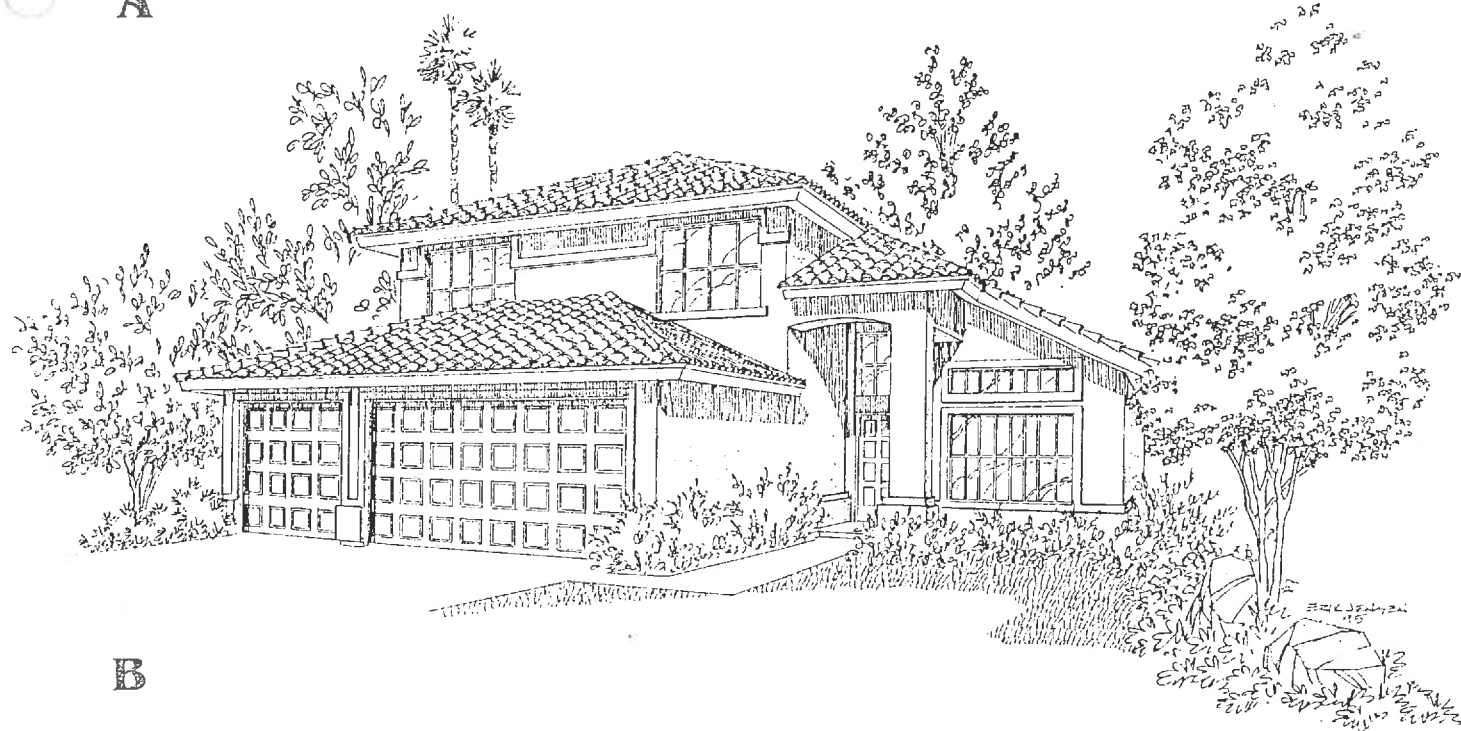
M · A · R · L · O · R
HOMES

Cactus Cove

The Buckingham II PLAN 2400



A

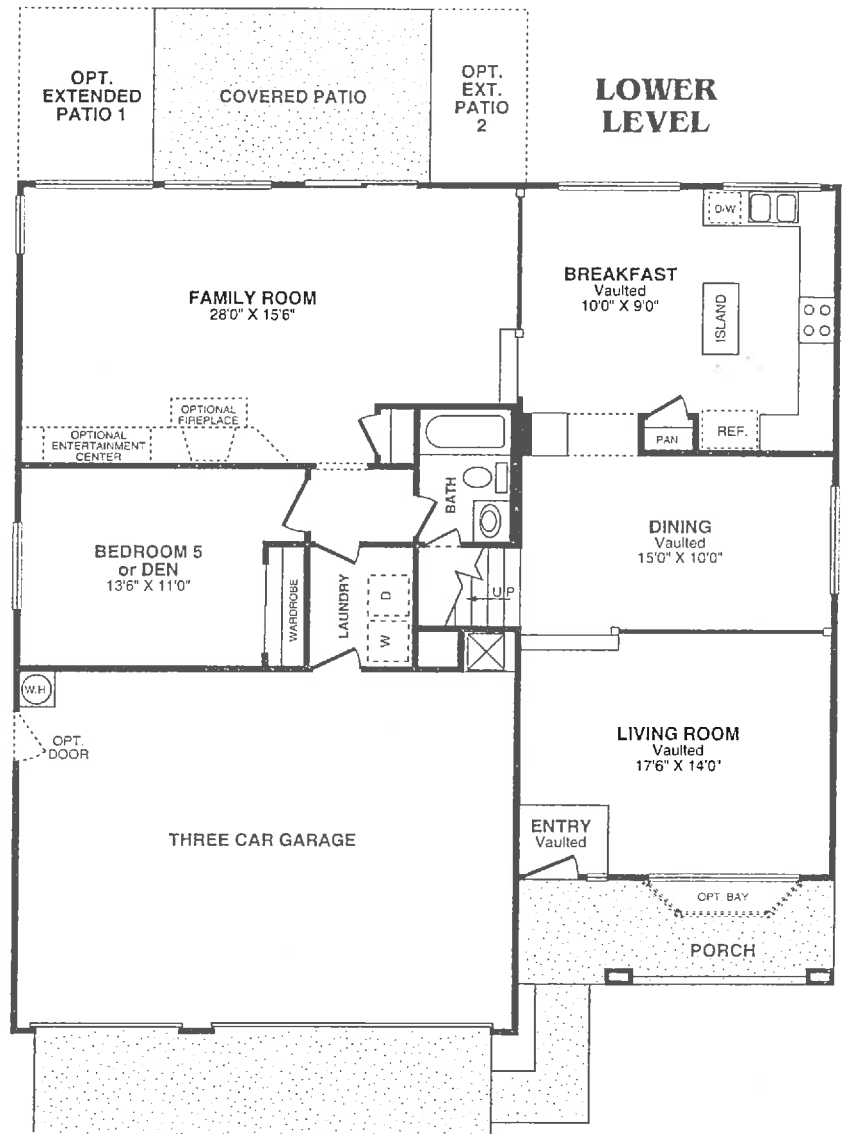
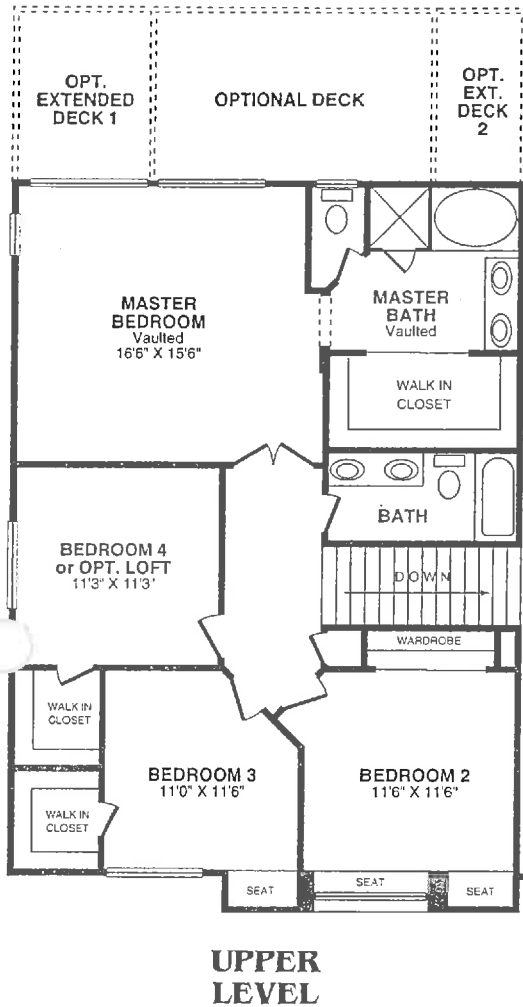


B

In a continuing effort to improve product, Marlor Homes reserves the right to change floor plans, specifications and prices without prior notice.
All floor plans and exterior renderings are artist's conceptions and all dimensions are approximate.

M · A · R · L · O · R
HOMES

Cactus Cove



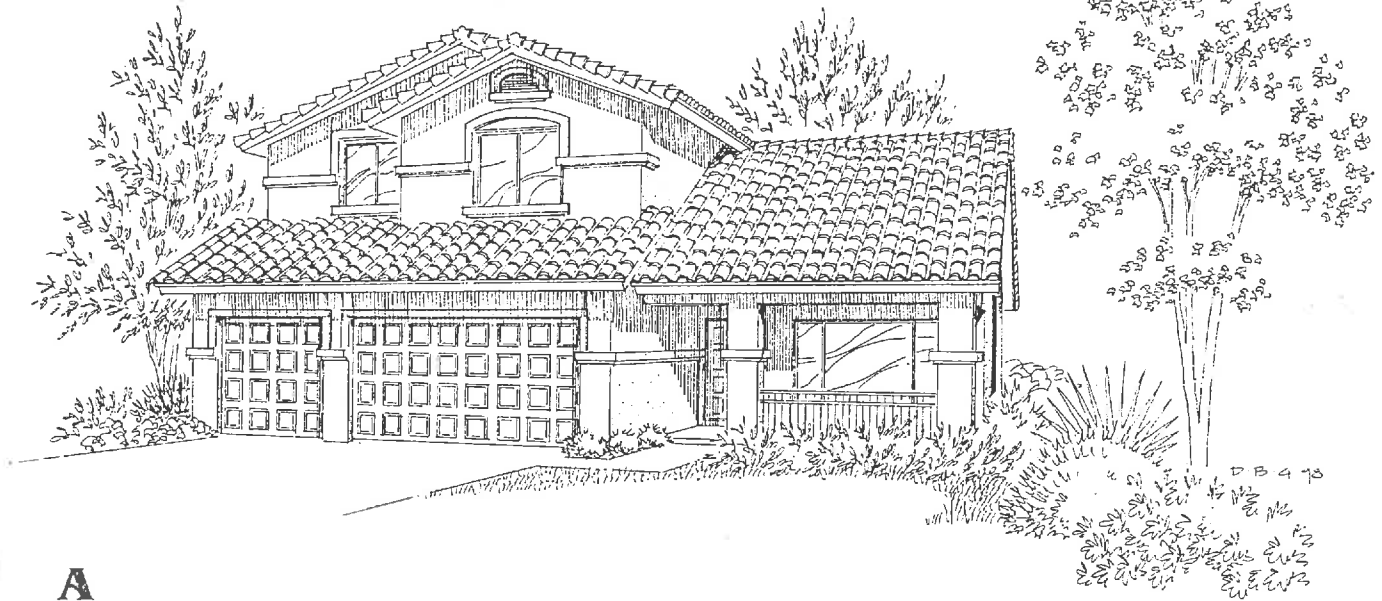
**The Westminster
PLAN 2639**

In a continuing effort to improve product, Marlor Homes reserves the right to change floor plans, specifications and prices without prior notice.
All floor plans and exterior renderings are artist's conceptions and all dimensions are approximate.

**M · A · R · L · O · R
HOMES**

Cactus Cove

The Westminster PLAN 2639



In a continuing effort to improve product, Marlor Homes reserves the right to change floor plans, specifications and prices without prior notice.
All floor plans and exterior renderings are artist's conceptions and all dimensions are approximate.

M · A · R · L · O · R
HOMES

ACACIA COVE

R1-7 Planned Residential Development (Z-00-07)

SWC 59th Avenue & Union Hills Drive
Glendale, Arizona
Submitted March 8, 2000

Developer

Marlor Land Company, Inc.
d.b.a. Marlor Homes
8160 E. Butherus Drive, #5
Scottsdale, Arizona 85260
Tel: (480) 948-9550
Fax: (480) 948-5663

Engineer

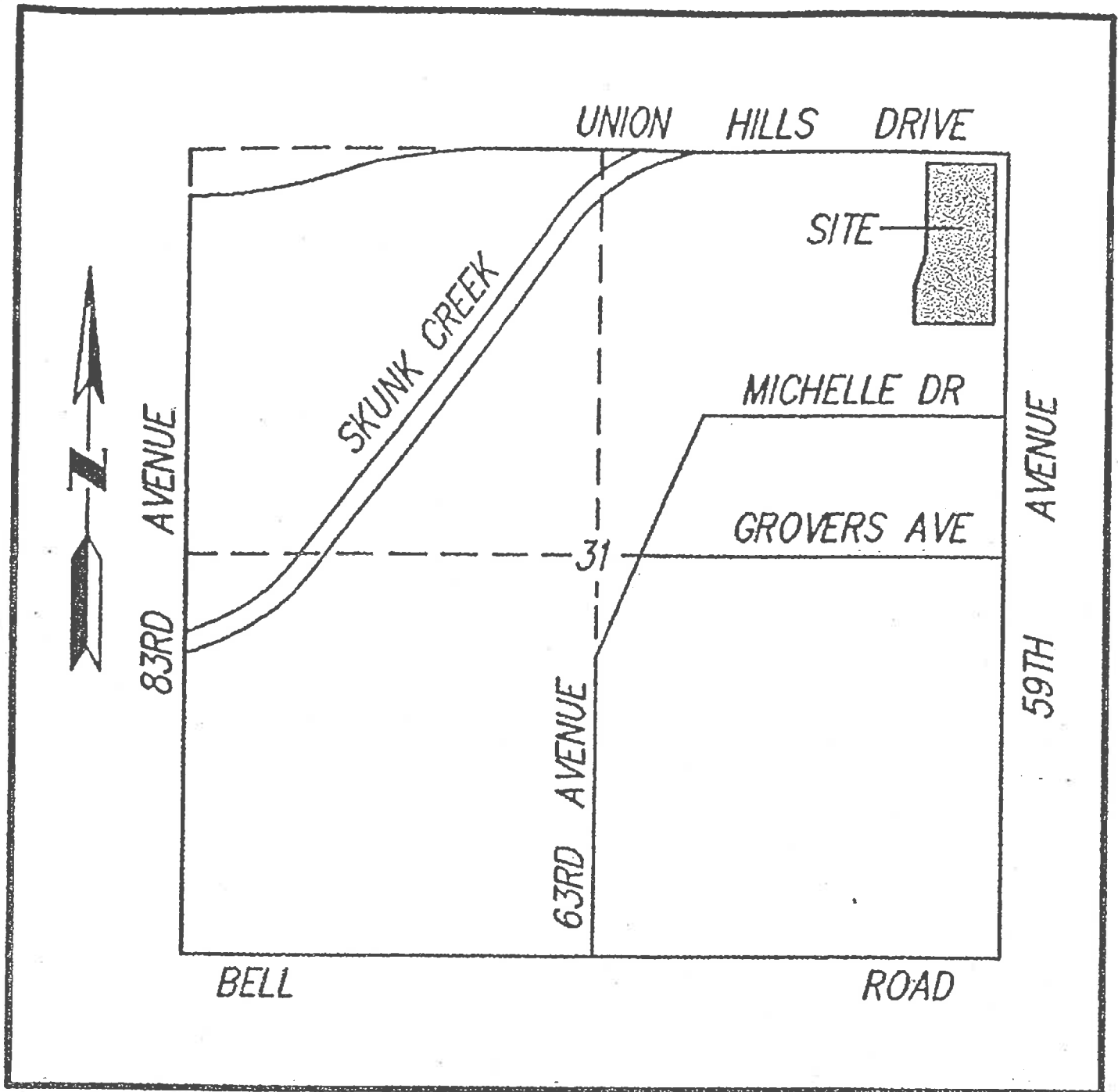
Landmark Engineering, Inc.
7310 N. 16th Street, #285
Phoenix, Arizona 85020
Tel: (602) 861-2005
Fax: (602) 861-2175

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VICINITY MAP



VICINITY MAP

SECTION 31
T.4N., R.2E., G.&S.R.B. & M.
MARICOPA COUNTY, ARIZONA

DEVELOPMENT PLAN

SUMMARY

Introduction

The applicant, Marlor Land Company, Inc., d.b.a. Marlor Homes, has been building new homes within the City of Glendale for approximately five years, and this will be its 5th residential development within the City.

The property comprises approximately 18.2 gross acres of land, located between 59th and 60th Avenues, south of Union Hills Drive. The property is currently vacant land with existing zoning of R1-6 on the southern portion, and A-1 on the northern portion. Adjoining communities to the west and south are Sunset Vistas and Arrowhead Meadows and comprise single family homes that are zoned R1-6 and R1-7 respectively.

The applicant is proposing rezoning the property to R1-7 PRD to provide for a total of 48 single-family lots. Approximately 2.75 acres of the site has been set aside for landscaped open space which has been designed to provide an attractive appearance from adjoining arterial and neighborhood streets with extensive landscaping and impressive entry monument on 59th Avenue. Interior streetscapes will include sidewalks and landscaping along with a park area on the southside of the development that will provide both recreational and drainage facilities. Included in this open space area will be a Ramada with picnic and barbecue facilities. The Acacia Cove Homeowner's Association will maintain all common area open spaces.

General Plan

The existing general plan designation is for residential development at 2.5 to 3.5 dwelling units per acre. Acacia Cove provides 3.15 dwelling units per gross acre and is in total compliance with the general plan. Adjacent land use designations are for single family residential and have been built out as Sunset Vistas and Arrowhead Meadows. Acacia Cove is entirely compatible with both the general plan and the existing neighborhoods and will provide an attractive development, completing the southwest quadrant of 59th Avenue and Union Hills Drive.

PRD Development Plan

In designing the development, attention was focused upon the City of Glendale Single Family Residential Design Guidelines. Minimum lot size will be 7,040 square feet, with a minimum lot width of 63 feet and a minimum lot depth of 110 feet. The maximum lot size is 11,434 square feet with an average lot size of 8,338 feet.

Front set backs shall be a minimum of 18 feet from back of property line to garage and will randomly fluctuate up to 24 feet from back of property line, in order to provide a more attractive and less regimented street scene. There will be a minimum of 15 feet between buildings with a minimum of 5 feet on one side and a minimum of 10 feet on

the other side of each lot. Depending upon the style of house to be built on the lot and the lots widths, side yard set backs will exceed the minimum five (5) and ten (10) feet set backs to create a more random appearance. On designated lots, as shown on the PRD plan, a minimum 20' separation between buildings will be maintained. Rear set backs shall be a minimum of 20 feet from rear of property line to back of house or covered patio. Lot 22 has been designed siding onto 59th Avenue. This is contrary to the new City Development Guidelines and it is requested that this be approved as shown on the PRD plan. Included within this document is an elevation drawing, which shows that the nearest point of the house to 59th Avenue is more than 47 feet away. This illustration also addresses both the sound and visual attenuation. It is our opinion that changing this entryway would be both unattractive and impractical. Per the PRD Guidelines, we have met the following optional criteria; (2) Stagger front yard setbacks by 3' or more on adjoining lots and provide a range of 6' or more on the same block, (3) Provide variation in the width of side yards and the separation between houses, (5) Provide a minimum 30' rear yard setback for two story houses, (8) Stagger rear setbacks, where a row of lots backs to an arterial or collector street, (9) Vary the depth of perimeter lots to provide for variation in perimeter wall alignments.

2.75 acres of land has been set aside for landscaped open space as illustrated on the attached landscape plan. Extensive landscaping will be included on both 59th and 60th Avenues, as well as on Union Hills Drive. Within the development on the southside there will be a large open space area that will provide both recreational and drainage facilities.

Project Design

Acacia Cove has been designed to both compliment and improve the existing neighborhood. In developing the community, the developer will complete the eastern half of 60th Avenue north to Union Hills Drive, which will provide both wider and safer access for east bound traffic on Union Hills Drive. The developer will also provide a deceleration right turn lane onto 59th Avenue at Union Hills Drive. A bus bay will be incorporated on 59th Avenue just south of Union Hills Drive, the cost for which shall be reimbursed to the developer by the City of Glendale. Additional right of way will be granted to accommodate the right turn lane and bus lane. In addition, if necessary, the City of Glendale will be responsible for relocating the existing traffic signal at the southwest corner of 59th Avenue and Union Hills Drive, to accommodate the deceleration right turn lane. The developer will set aside funds for its pro-rata share of a traffic median on 59th Avenue south of Union Hills Drive to just north of the main entry on Villa Theresa Drive. The developer shall also be responsible to set aside funds for landscaping on the existing median on Union Hills Drive. Two points of ingress and egress to the subdivision are provided, with the main entry off 59th Avenue at Villa Theresa Drive and the second access off 60th Avenue at Bluefield Avenue. Both entrances will be divided by a central landscape median. Community identification signs will be incorporated at both entries. The design of the development provides logical and easy access from both the main arterial and neighborhood streets. Both entrances will be divided by a central landscape median. The design of the

development provides logical and easy access from both the main arterial and neighborhood streets. The developer has coordinated the access off 59th Avenue and Villa Theresa Drive to align with access to the proposed new shopping center on the east side of 59th Avenue.

The internal street design provides for three cul-de-sacs within the development which, combined with the offset of the two entries creates an extremely balanced internal traffic pattern. Each cul-de-sac will incorporate a landscaped island.

All of the pedestrian sidewalks within the community will allow for access to Tract A, which is provided for recreational open space. Within Tract A the developer shall provide a Ramada, with barbecue and picnic facilities. Tract A will be readily accessible to all residents of the community. Contrary to staffs' request, we do not wish to incorporate an eight (8) foot concrete pathway through this tract. This area has been designed to allow for picnicking and recreational ball games for the private use and enjoyment of Acacia Cove residents. To incorporate a concrete pathway within this area would dilute this recreational area and promote bicycling, skateboards and a means of short cut for people in adjoining communities to connect through to 59th Avenue.

On lots which back up to major arterial streets, the builder will insure that the same rear elevation will not be built side by side or will be staggered so as to break up the visual line.

Landscape, Entry Features and Perimeter Walls

Extensive landscaping, both on the interior and exterior of the subdivision will be incorporated in Tracts A through G. Contrary to the City Development Guidelines which require a thirty (30) foot landscaped tract from property line to right of way, this plan provides for a minimum of at least thirty (30) feet of landscaping from back of curb to the property line on all arterial streets. We are requesting approval of this plan as drawn. This property is the last remaining in fill parcel in this quadrant. Adjoining communities to both the south and west have been developed to the property line and only provide for landscaping within the right of way thoroughfare. A thirty (30) foot landscape tract from property line plus the right away landscaped area would be both unattractive and incompatible with the surrounding neighborhoods. We believe that the plan, as designed, provides a balanced and attractive compromise to both the existing conditions and the intent of the new Development Guidelines. Landscaped medians will be incorporated within the two entrances on Villa Theresa Drive and Bluefield Avenue and entry monumentation is incorporated at the entrances of 59th Avenue and Villa Theresa Drive and 60th Avenue and Bluefield. A decorative stuccoed and painted block wall with stone-faced pilasters and a decorative stuccoed cap design has been incorporated for the exterior wall as illustrated on the attached plan. The walls have been designed to offset and angle, to avoid a monotonous shear face. The color of this wall, as shown on the landscape plan attached, will be compatible with both the existing neighborhoods and future homes to be built in the community.

Contrary to the Development Guidelines, we are requested that the wall height fronting onto Union Hills Drive and 59th Avenue be a minimum of seven (7) feet above curb. The finish grade point where the wall will be erected is anywhere from two to three feet higher than the grade elevation of the adjoining building pad. The height of this wall shall be a minimum of eight (8) feet from finished interior pad elevation, as illustrated on the attached landscape plan. An eight (8) foot wall would be both unsightly and monotonous in appearance, especially from the interior.

Landscape Maintenance Responsibilities

Tracts A through G and the perimeter wall will be owned and maintained by the Acacia Cove Homeowner's Association. The Association will have the responsibility not only for maintenance within the subdivision, but also within the public right of way on 59th Avenue, Union Hills Drive and 60th Avenue.

Grading and Drainage

The community has been designed where the drainage shall run from north to south. The plan provides that there will be no on lot retention and that drainage will be on surface streets within the community to Tract A, which will also serve as a detention basin. The maximum grade difference between existing lots in Sunset Vista Unit 8 to the south and new development within Acacia Cove is 6 inches. The attached preliminary grading and drainage plan illustrates the compatibility of Acacia Cove with the existing grades of Sunset Vista Unit 8 to the south.

Public Improvements

All streets and sidewalks within the community shall be built to City Design Standards and will be accepted by the City for public maintenance. The east half of 60th Avenue will be improved north to Union Hills Drive and a deceleration right turn lane shall be incorporated on Union Hills Drive at 59th Avenue. The development shall also be responsible for incorporating a bus bay on 59th Avenue, just south of Union Hills Drive, the cost for which the City of Glendale shall reimburse the developer.

The development shall be responsible for half of the cost of a landscaped median to be built within 59th Avenue south of Union Hills Drive to approximately Villa Theresa Drive. The developer will also set aside funds for landscaping the existing median on Union Hills Drive.

All new and existing utilities adjacent to the development will be under ground, except for the existing power line on 59th Avenue. No irrigation facilities affect this property and the development will be completed in one single phase.

Open Space Amenities

Acacia Cove, a proposed R1-7 PRD Development

#	Guidelines	<i>If any lots are less than 7,000 sq. ft.</i>	<i>If all lots are 7,000 - 10,000 sq. ft.</i>	<i>If all lots are 10,000 sq. ft. or larger</i>
		<i>All Required</i>	<i>Select 2 Options</i>	<i>None Required</i>
1	<i>Provide retention areas that meander through the subdivision as a green belt instead of a single rectangular basin</i>	<i>Required</i>	<i>Optional</i>	<i>Optional</i>
2	<i>Provide landscaped open spaces visible from arterial street view as well as from residential street view</i>	<i>Required</i>	<i>Selected</i>	<i>Optional</i>
3	<i>Provide usable common open space that is centrally located, and improved with recreational facilities</i>	<i>Required</i>	<i>Selected</i>	<i>Optional</i>
4	<i>Provide an internal pathway system</i>	<i>Required</i>	<i>Selected</i>	<i>Optional</i>
5	<i>Provide amenities such as golf courses and lakes</i>	<i>Required</i>	<i>Optional</i>	<i>Optional</i>

Note:

1. If any lots are less than 7,000 square feet in size, either in a single parcel, or within any unit of a multi-phased project, then all of the design guidelines are required for the entire project.
2. If all of the lots in a single-parcel, or within any unit of a multi-phased project are 10,000 square feet or greater none of the design guidelines are required for that parcel or unit.

Perimeter Improvements

Acacia Cove, a proposed R1-7 PRD Development

#	Guidelines	<i>If any lots are less than 7,000 sq. ft.</i>	<i>If all lots are 7,000 - 10,000 sq. ft.</i>	<i>If all lots are 10,000 sq. ft. or larger</i>
		<i>All Required</i>	<i>Select 1 Options</i>	<i>None Required</i>
1	<i>Provide enhanced entrances from arterial and collector streets</i>	<i>Required</i>	<i>Required</i>	<i>Optional</i>
2	<i>Provide enhanced perimeter theme walls along arterial and collector street</i>	<i>Required</i>	<i>Required</i>	<i>Optional</i>
3	<i>Provide distinctive horizontal and vertical relief in perimeter walls adjacent to streets</i>	<i>Required</i>	<i>Required</i>	<i>Optional</i>
4	<i>Provide a landscape tract between the street right-of-way and the perimeter wall.</i>	<i>Required</i>	<i>Selected</i>	<i>Optional</i>

Note:

1. If any lots are less than 7,000 square feet in size, either in a single parcel, or within any unit of a multi-phased project, then all of the design guidelines are required for the entire project.
2. If all of the lots in a single-parcel, or within any unit of a multi-phased project are 10,000 square feet or greater none of the design guidelines are required for that parcel or unit.

Streets

Acacia Cove, a proposed R1-7 PRD Development

#	Guidelines	If any lots are less than 7,000 sq. ft.	If all lots are 7,000 - 10,000 sq.ft.	If all lots are 10,000 sq.ft. or larger
		<i>All Required</i>	<i>Select 3 Options</i>	<i>None Required</i>
1	<i>Provide an entrance curvilinear street system</i>	<i>Required</i>	<i>Optional</i>	<i>Optional</i>
2	<i>Provide minimum 6' wide landscape tracts at the end of blocks.</i>	<i>Required</i>	Selected	<i>Optional</i>
3	<i>Open streets and cul-de-sacs to common open space</i>	<i>Required</i>	Selected	<i>Optional</i>
4	<i>Provide local streets with detached sidewalks and street trees</i>	<i>Required</i>	<i>Optional</i>	<i>Optional</i>
5	<i>Provide landscape islands with prominent landscaping and cul-de-sacs</i>	<i>Required</i>	Selected	<i>Optional</i>
6	<i>Provide enhanced traffic calming devices when needed</i>	<i>Required</i>	Selected	<i>Optional</i>
7	<i>Provide collector streets with landscaped medians detached sidewalks and enhanced landscaping to create a boulevard effect</i>	<i>Optional in PRD's Required in PAD's</i>	<i>Optional in PRD's Required in PAD's</i>	<i>Optional</i>

Note:

1. If any lots are less than 7,000 square feet in size, either in a single parcel, or within any unit of a multi-phased project, then all of the design guidelines are required for the entire project.
2. If all of the lots in a single-parcel, or within any unit of a multi-phased project are 10,000 square feet or greater none of the design guidelines are required for that parcel or unit.

Lot Layout & Setbacks

Acacia Cove, a proposed R1-7 PRD Development

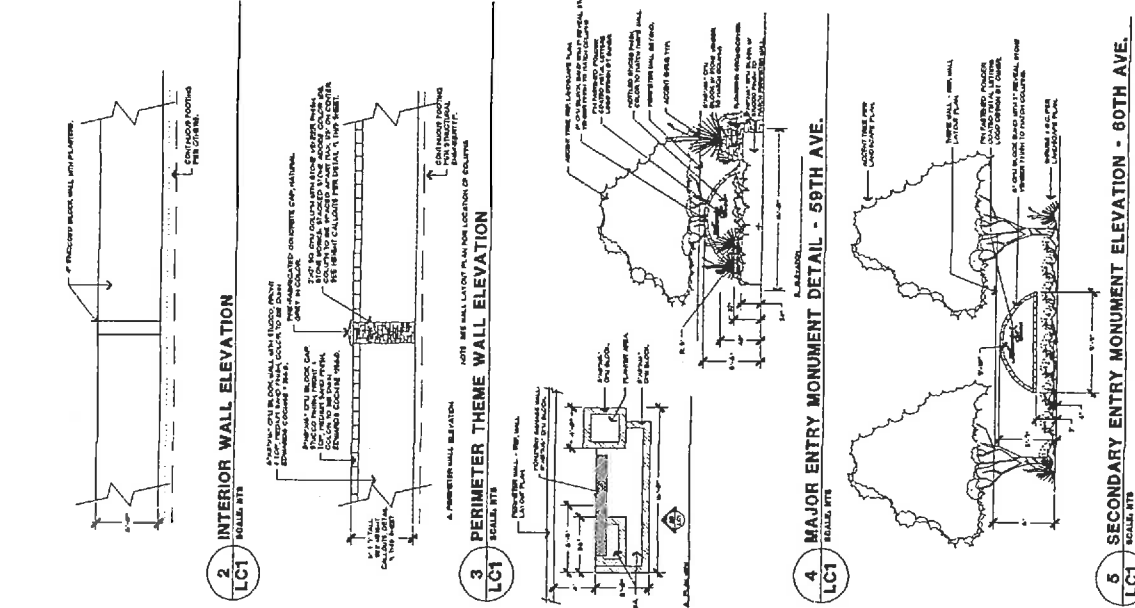
#	Guidelines	If any lots are less than 7,000 sq. ft.	If all lots are 7,000 - 10,000 sq.ft.	If all lots are 10,000 sq.ft. or larger
		<i>All Required</i>	<i>Select 5 Options</i>	<i>None Required</i>
1.	Vary the widths of the lots that are side by side by 5' or more	Required	Optional	Optional
2.	Stagger front yard setbacks by 3' or more on adjoining lots and provide a range of 6' or more on the same block	Required	Selected	Optional
3.	Provide variation in the width of side yards and the separation between houses	Required	Optional	Optional
4.	Provide minimum 15' side yards for two story houses	Required	Optional	Optional
5.	Provide a minimum 30' rear yard setback for two story houses	Required	Selected	Optional
6.	Widen the corner lots by 10' or more than the interior lots on the same block	Required	Selected	Optional
7.	Orient the house at an angle within the building envelope on corner lots	Required	Optional	Optional
8.	Stagger rear setbacks where a row of lots backs to an arterial or collector	Required	Selected	Optional
9.	Vary the depth of perimeter lots to provide for variation in perimeter wall alignments	Required	Selected	Optional
10.	Provide a difference of at least 2,000 square feet between the minimum lot size of two or more parcels in a multi-parcel development	Optional in PRD's Required in PAD's	Optional in PRD's Required in PAD's	Optional

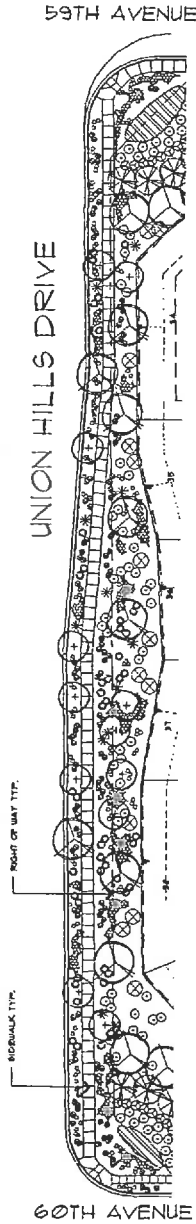
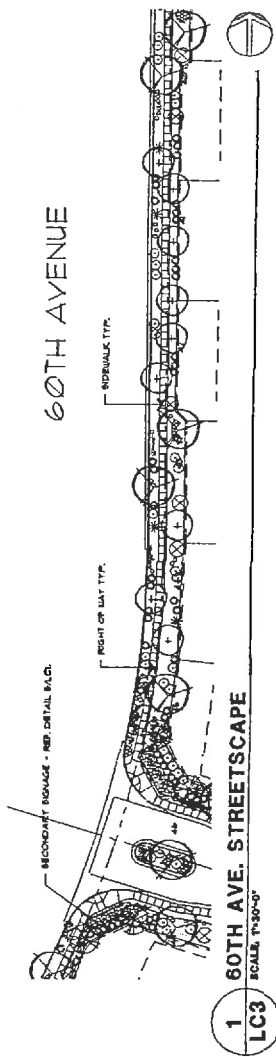
Note:

1. If any lots are less than 7,000 square feet in size, either in a single parcel, or within any unit of a multi-phased project, then all of the design guidelines are required for the entire project.
2. If all of the lots in a single-parcel, or within any unit of a multi-phased project are 10,000 square feet or greater none of the design guidelines are required for that parcel or unit.

CONCEPTUAL LANDSCAPE PLAN

PERIMETER WALLS & ENTRANCE FEATURES





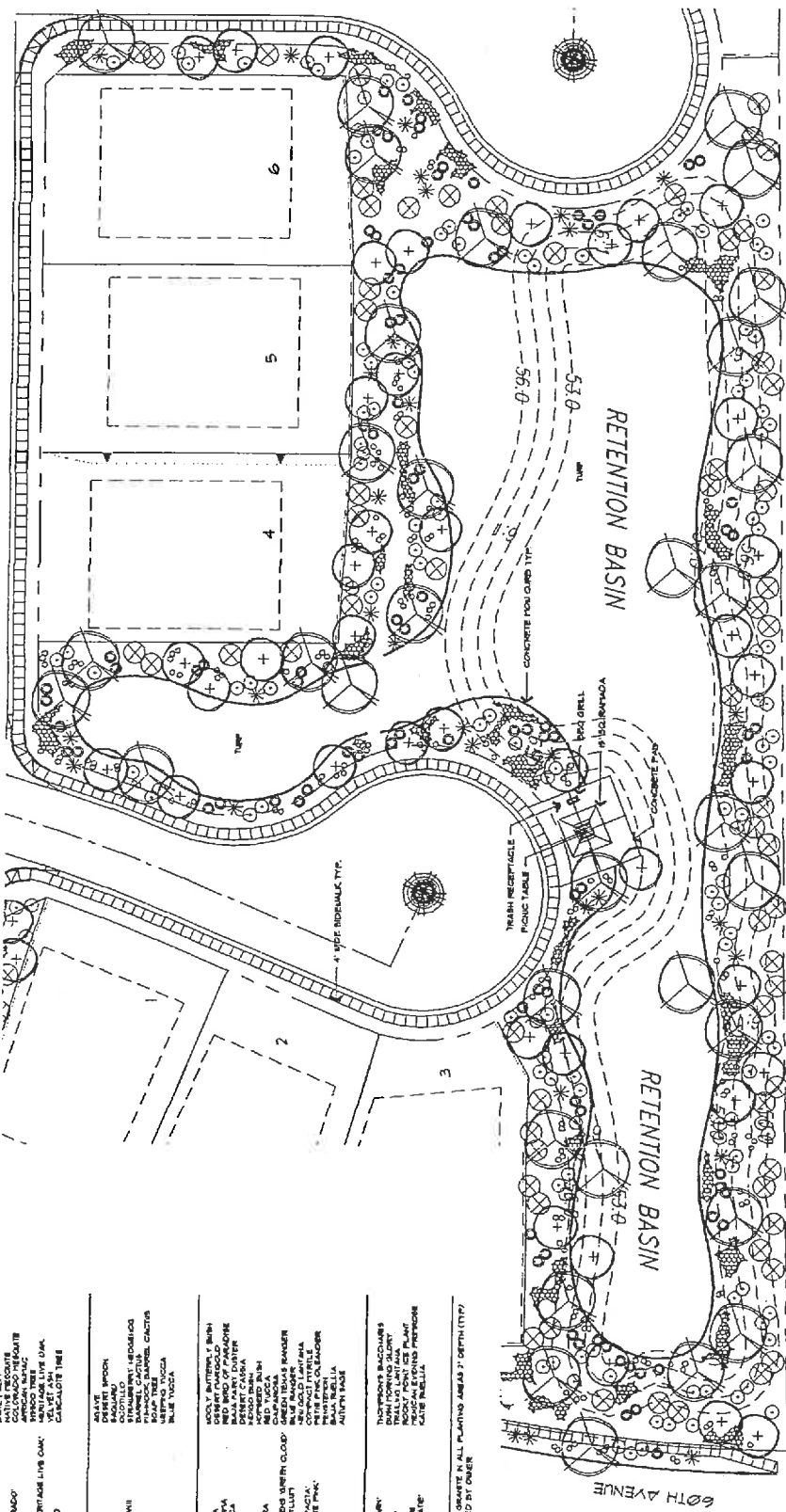
CONCEPTUAL PLANT SCHEDULE	
SYMBOL	BOTANICAL NAME
TREES	
	AGAVE PARVIFLORA
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	AGAVE PARVIFLORA
	AGAVE PARVIFLORA
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Conceptual Streetscape Enlargements
Acacia Cove
 Prepared For: MARLOR HOMES

മര-കുറിപ്പ്
JULY 21, 2000

CONCEPTUAL PLANT SCHEDULE

SYMBOL	BOTANICAL NAME	COTTON NAME
1	WEST AGAVE	
2	WEST AGAVE	
3	WEST AGAVE	
4	WEST AGAVE	
5	WEST AGAVE	
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94	WEST AGAVE	
95	WEST AGAVE	
96	WEST AGAVE	
97	WEST AGAVE	
98	WEST AGAVE	
99	WEST AGAVE	
100	WEST AGAVE	



1 ENLARGEMENT OF PARK (TRACT 'A')
 LC5 SCALE 1/8" = 1'-0"

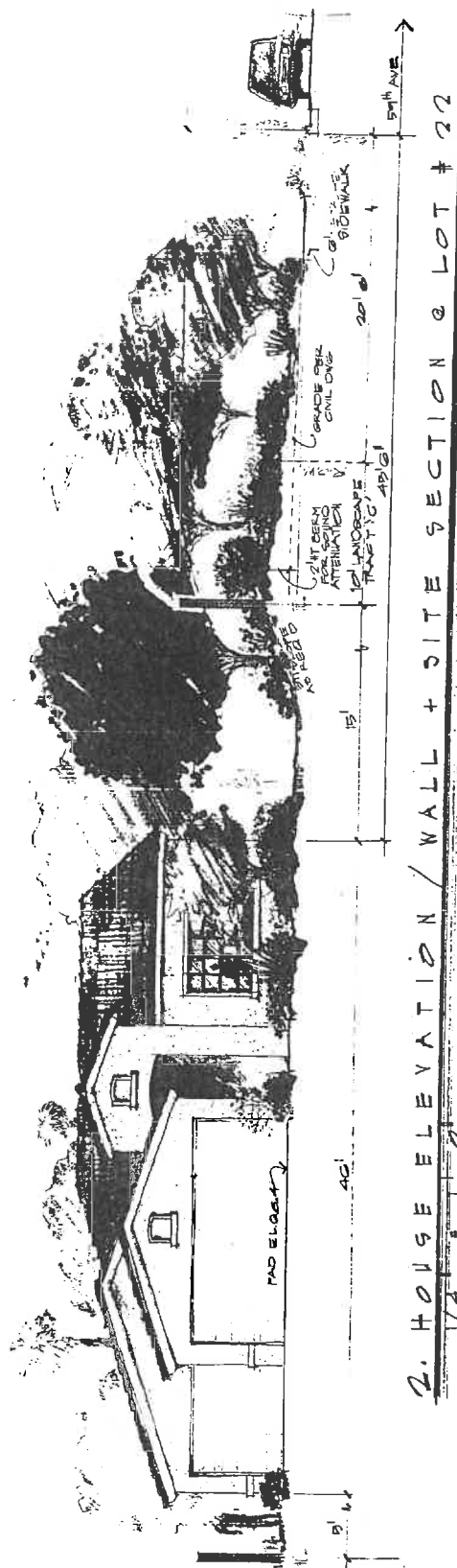
Conceptual Park Layout
Acacia Cove
 Prepared For: MARLOR HOMES



NEIL NEECOLE & ASSOCIATES, INC.
 6000 60TH AVENUE
 JULY 21, 2000

Prepared For: MARLOR HOMES

LC5



2. HOUSE ELEVATION / WALL + SITE SECTION & LOT # 22

Conceptual Wall/ Site Sections

Scacia Cove

Prepared For: MARLOR HOMES



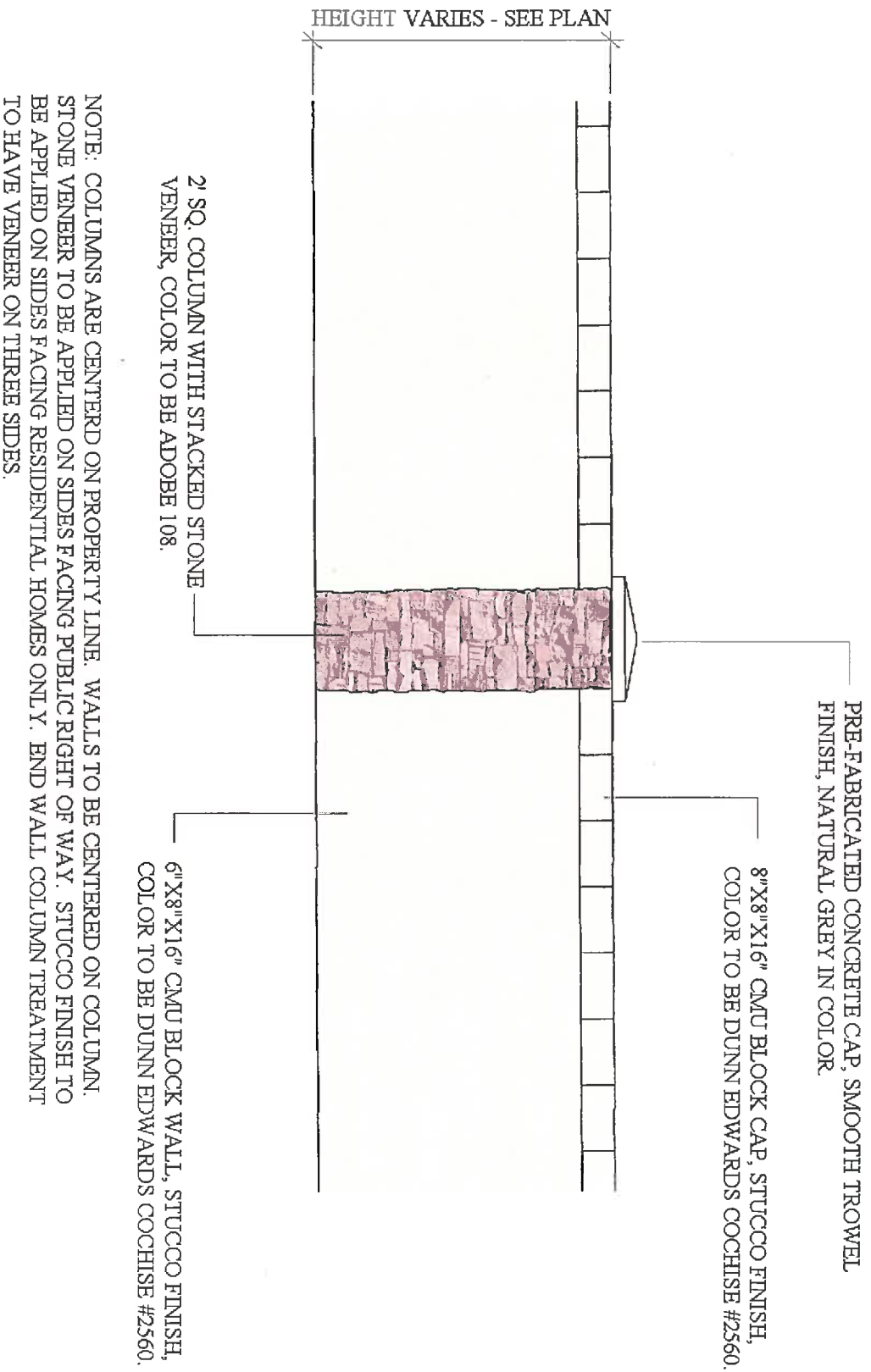
**Neill Vecchia
& Associates, Inc.**

Landscape Architecture
 Urban Design
 Historic Preservation
 Land Planning Urban Design

100 N. Lincoln Avenue, Suite 100 • Scottsdale, AZ 85261
 Phone: 602/340-1000 • Fax: 602/340-1001

60700-0000
2.7000

9076



THEME WALL COLOR BOARD

SCALE: NTS









DEVELOPMENT STANDARDS

	District Standards	Proposed Standards
Minimum Net Lot Area	7,000 square feet	7,000 square feet
Minimum Lot Width	70 feet	63 feet *
Minimum Lot Depth	100 feet	110 feet
Minimum Front Setback	15' to living area 20' to garage or carport	18' from property line 20' from back of sidewalk Setbacks will vary from 18' to 24' from back of property line **
Minimum Rear Setback	20' feet	20' feet **
Minimum Side Setback	5' and 10'	5' and 10' ***, **
Minimum distance between buildings on adjacent lots	15' feet	15' feet
Minimum Street Sideyard Setback	10' feet	10' feet ****
Maximum Structure Height	30' feet	30' feet
Maximum % Lot Coverage	40%	45% **

* Lot width is measured at the 20' front setback

** Setbacks and lot coverage are based on the approved development plan as shown by the building envelope.

*** Fireplaces may project 2' into any required setback. Bay windows and entertainment centers may project 2' for a horizontal distance not to exceed 10' in the 10' sideyard only.

**** Unless adjacent to a landscape tract.

HOUSE PRODUCT DESIGN CRITERIA

The homes to be built at Acacia Cove will be compatible with those in Sunset View and Arrowhead Meadows and other surrounding communities. There shall be a minimum of four standard plans with three elevations, with variations of trim and body colors per plan. The minimum standard specifications to be offered in every home shall include the following:

1. Exterior stucco on all sides.
2. Standard Rear yard covered patios (min. 120 sq. ft.) with stucco columns.
3. Ground mounted air conditioning units.
4. Two styles (flat or "S") of Concrete tile roof will be available.
5. Three car garages.
6. Masonry fenced rear yards with stucco where visible from the adjacent streets and open spaces.
7. All chimneys to be boxed and shall incorporate a decorative cornice to conceal the chimney flue.
8. Dual pane windows.
9. Front yard landscaping.
10. Stucco pop-outs, reveals or recesses on all windows, doors, gable ends and wall expanses on all elevations.
11. Anodized or baked enamel window frames and mullions.
12. Roof vents, flashing, electrical panels and exposed metal will be painted the color of the house.
13. Sectional metal garage door with decorative window panels.
14. Visual interest to be provided by articulation in wall planes and roof forms, variation in roof heights and ridgelines, or other architectural treatments.
15. Front door and one window from the living area will be visible from the street.
16. Standard patio covers with stucco finished columns.
17. Front entries and doorways shall be visible from the street and include lighted doorway areas and on both sides of garage.
18. A minimum of one window from the living area or kitchen area of the house shall be visible from the street.
19. Distinctive architectural details on front elevations.
20. Significant architectural differences in the choice of elevations offered for each floor plan.
21. One and two-story homes will be constructed.
22. All other requirements as outlined in the Single Family Residential Design Guidelines.

Preliminary renderings of four different floorplans with three distinct elevations with variations of trim and body colors per plan are shown on the next page. Additional plans and elevations are being designed and will be submitted at a later date under separate cover.

House Product

Acacia Cove, a proposed R1-7 PRD Development

#	Guidelines	If any lots are less than 7,000 sq. ft.	If all lots are 7,000 -10,000 sq.ft	If all lots are 10,000 sq.ft. or larger
		All Required	7 Required Select 2 Options	4 Required rest optional
1	Provide distinctive architectural details on front elevations.	Required	Required	Required
2	Provide significant architectural differences in the choice of elevations offered for each floor plan.	Required	Required	Required
3	Locate houses with different front elevations on adjoining lots.	Required	Required	Optional
4	Provide distinctive architectural detailing on the rear elevation of houses backing onto arterial and collector streets and common areas.	Required	Optional	Optional
5	Locate houses with different rear elevations on adjoining lots backing onto arterial and collector streets and common areas.	Required	Optional	Optional
6	Provide a variety of roof forms and ridge lines on houses backing onto arterial and collector streets and common areas.	Required	Required	Optional
7	De-emphasize garage fronts as the most prominent feature on front elevations.	Required	Required	Optional
8	Provide covered rear patios which match the architecture of the house.	Required	Required	Required
9	Incorporate a variety of durable exterior materials and finishes.	Required	Required	Required
10	Provide a variety of roof colors and textures.	Required	Optional	Optional
11	Provide a variety of front yard landscaping packages.	Required	Selected	Optional
12	Provide enhanced decorative return walls on individual lots.	Required	Selected	Optional

Note:

1. If any lots are less than 7,000 square feet in size, either in a single parcel, or within any unit of a multi-phased project, then all of the design guidelines are required for the entire project.
2. If all of the lots in a single-parcel, or within any unit of a multi-phased project are 10,000 square feet or greater none of the design guidelines are required for that parcel or unit.

ACACIA COVE

HOUSE PRODUCT COLOR PALETTE

Stucco Base (Dunn Edwards)



Bone White SP427



Oyster SP511



Cashmere SP152

Tile Roof



Coyote Blend (S-tile)



Coyote Blend (Flat-tile)

ACACIA COVE

HOUSE PRODUCT COLOR PALETTE

Trim Colors (Dunn Edwards)



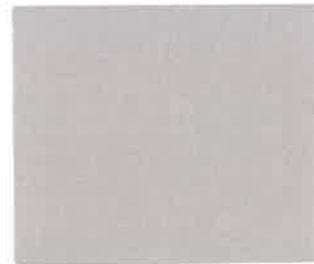
Norfolk Brown 79



Woodlawn Green SP18



Cocoa EX74



Cable Ash SP154



Mesa Tan SP7

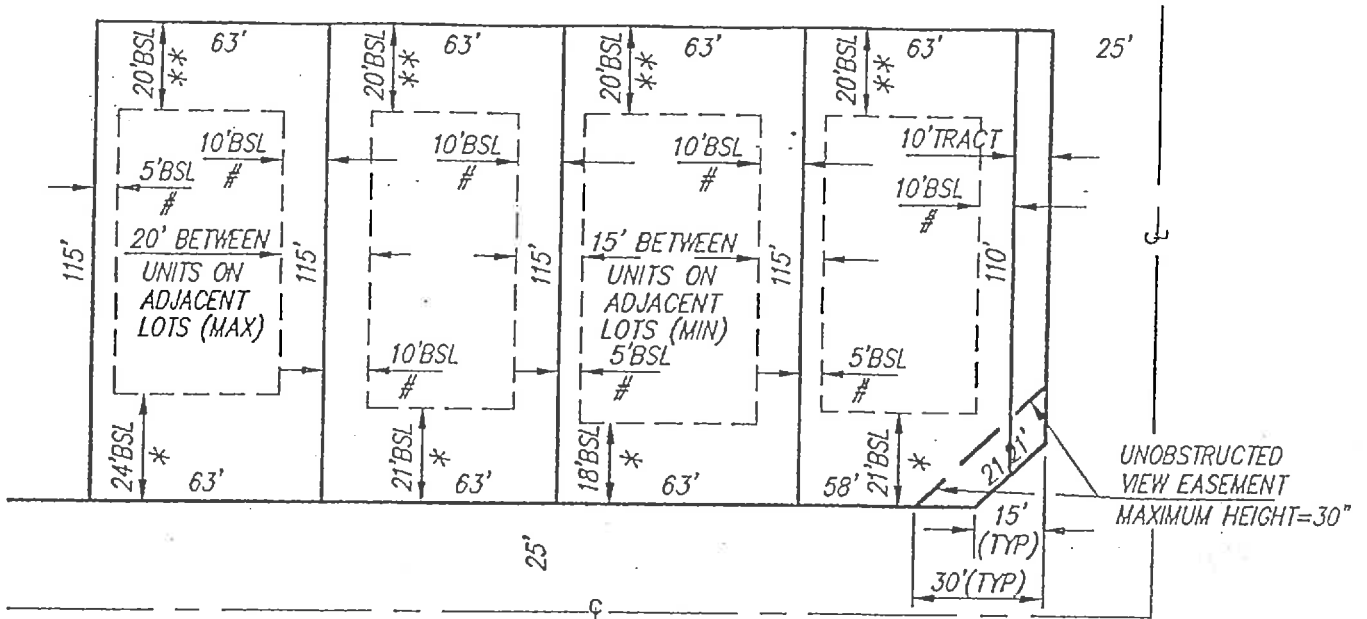


Talliesin Blue SP270



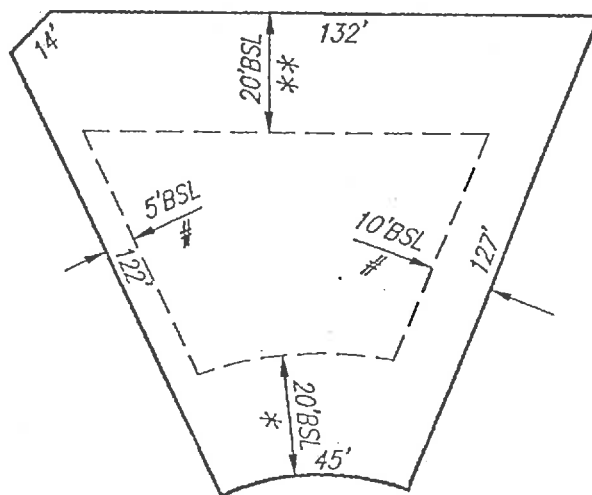
Whisper Grey SP856

TYPICAL PLOT PLAN



TYPICAL INTERIOR & CORNER LOT

NOT TO SCALE



TYPICAL CUL-DE-SAC LOT

NOT TO SCALE

- # SIDE SETBACKS ARE 5' AND 10' UNLESS IDENTIFIED OTHERWISE ON SHEET 2 (15' MINIMUM, 20' MAXIMUM)
- * FRONT SETBACK VARIES - SEE SHEET 2
- ** REAR SETBACK VARIES - SEE SHEET 2
- MAXIMUM LOT COVERAGE IS 45%
- SEE Z-00-07 FOR SPECIFIC DEVELOPMENT STANDARDS

LEGAL DESCRIPTION

The Northeast quarter of the Northeast quarter of Section 31, Township 4 North, Range 2 East of the Gila and Salt River Base and Meridian, Maricopa County, Arizona;

EXCEPT the Northwest quarter of the Northeast quarter of the Northeast quarter of Section 31, Township 4 North, Range 2 East;

EXCEPT the North 55 feet of said Northeast quarter of the Northeast quarter of Section 31;

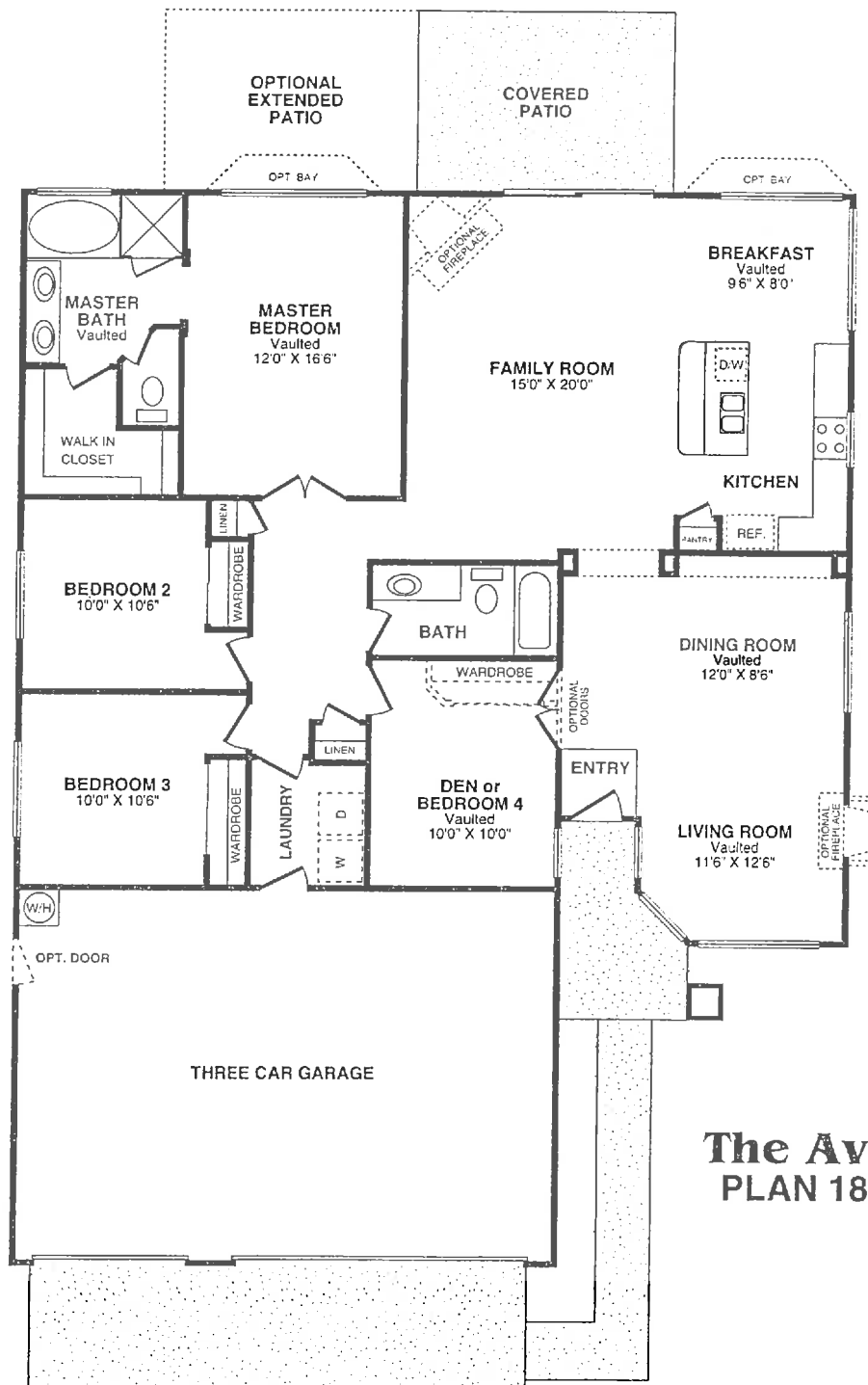
EXCEPT East 55 feet of said Northeast quarter of the Northeast quarter of Section 31;

EXCEPT any portion thereof lying within that certain parcel of land as described in Instrument No. 84-457516;

EXCEPT any portion thereof lying within SUNSET VISTA UNIT 7, according to Book 354, pager 34, records of Maricopa County, Arizona ; and

EXCEPT any portion thereof lying within SUNSET VISTA UNIT 8, according to Book 309, page 40, records of Maricopa County, Arizona

HOUSE PRODUCT



The Avon

PLAN 1809

In a continuing effort to improve product, Marlor Homes reserves the right to change floor plans, specifications and prices without prior notice. All floor plans and exterior renderings are artist's conceptions and all dimensions are approximate.

M · A · R · L · O · R

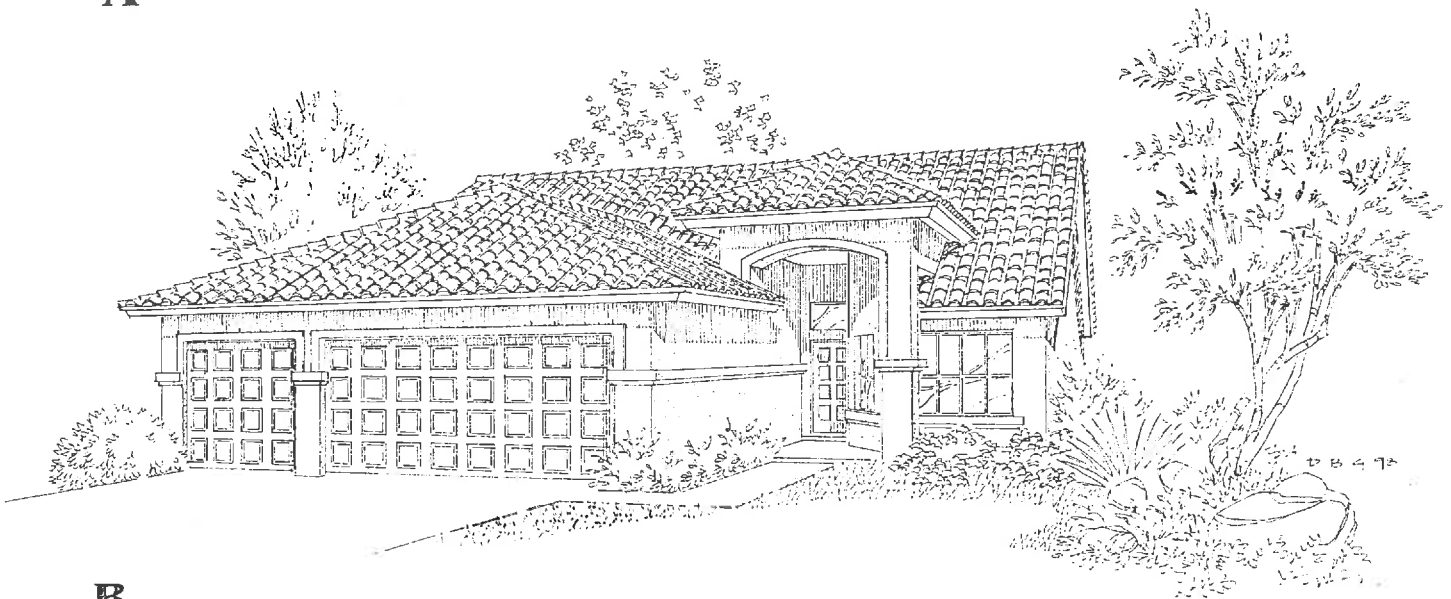
HOMES

Cactus Cove

The Avon PLAN 1809



A

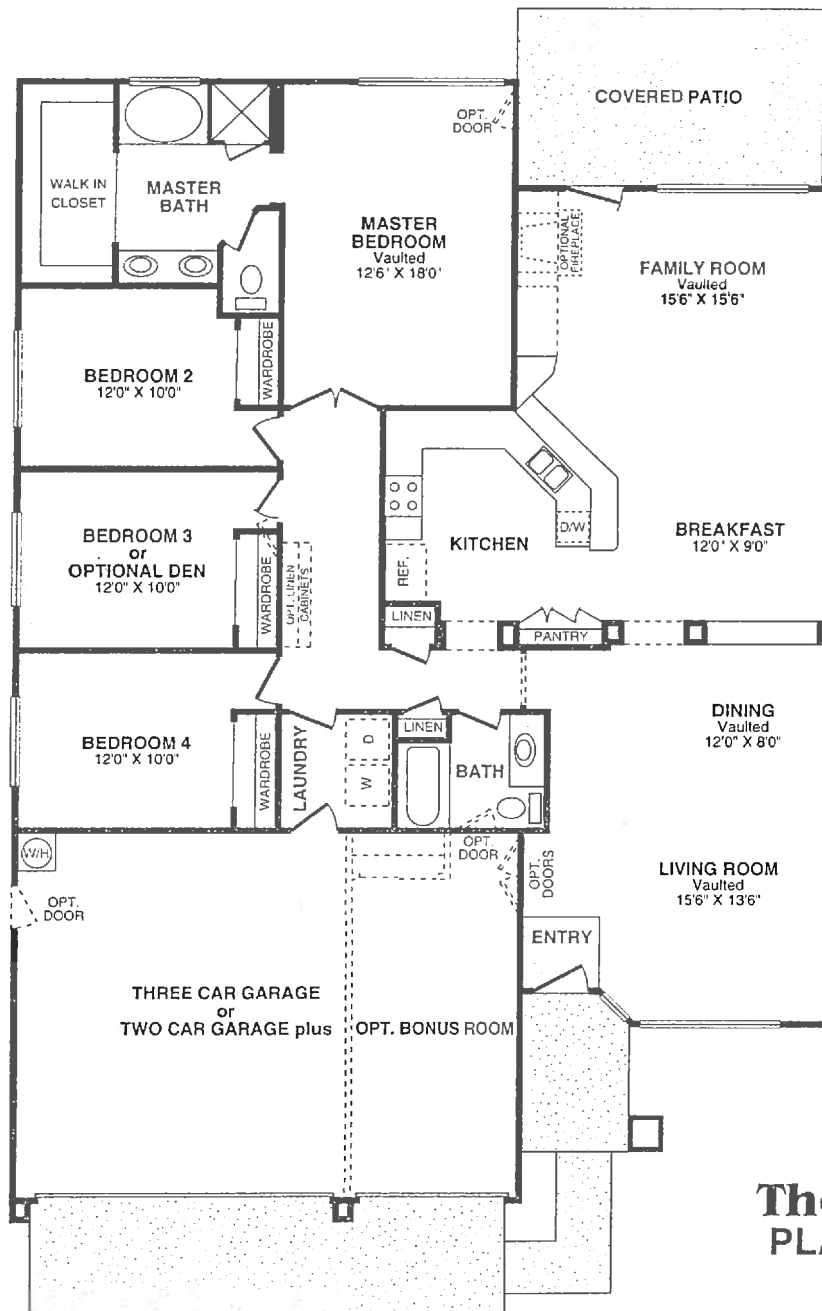


B

In a continuing effort to improve product, Marlor Homes reserves the right to change floor plans, specifications and prices without prior notice.
All floor plans and exterior renderings are artist's conceptions and all dimensions are approximate.

M · A · R · L · O · R
HOMES

Cactus Cove



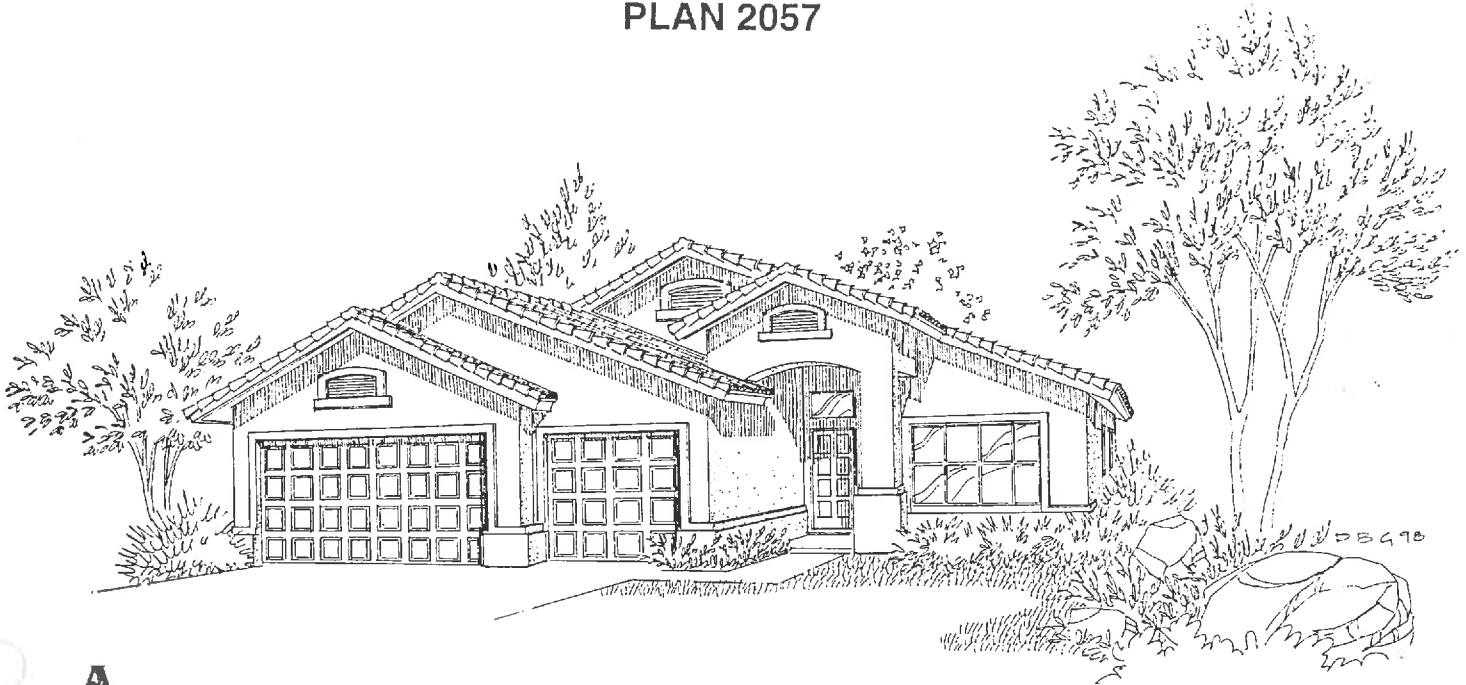
**The York
PLAN 2057**

In a continuing effort to improve product, Marlor Homes reserves the right to change floor plans, specifications and prices without prior notice. All floor plans and exterior renderings are artist's conceptions and all dimensions are approximate.

**M · A · R · L · O · R
HOMES**

Cactus Cove

The York PLAN 2057



A

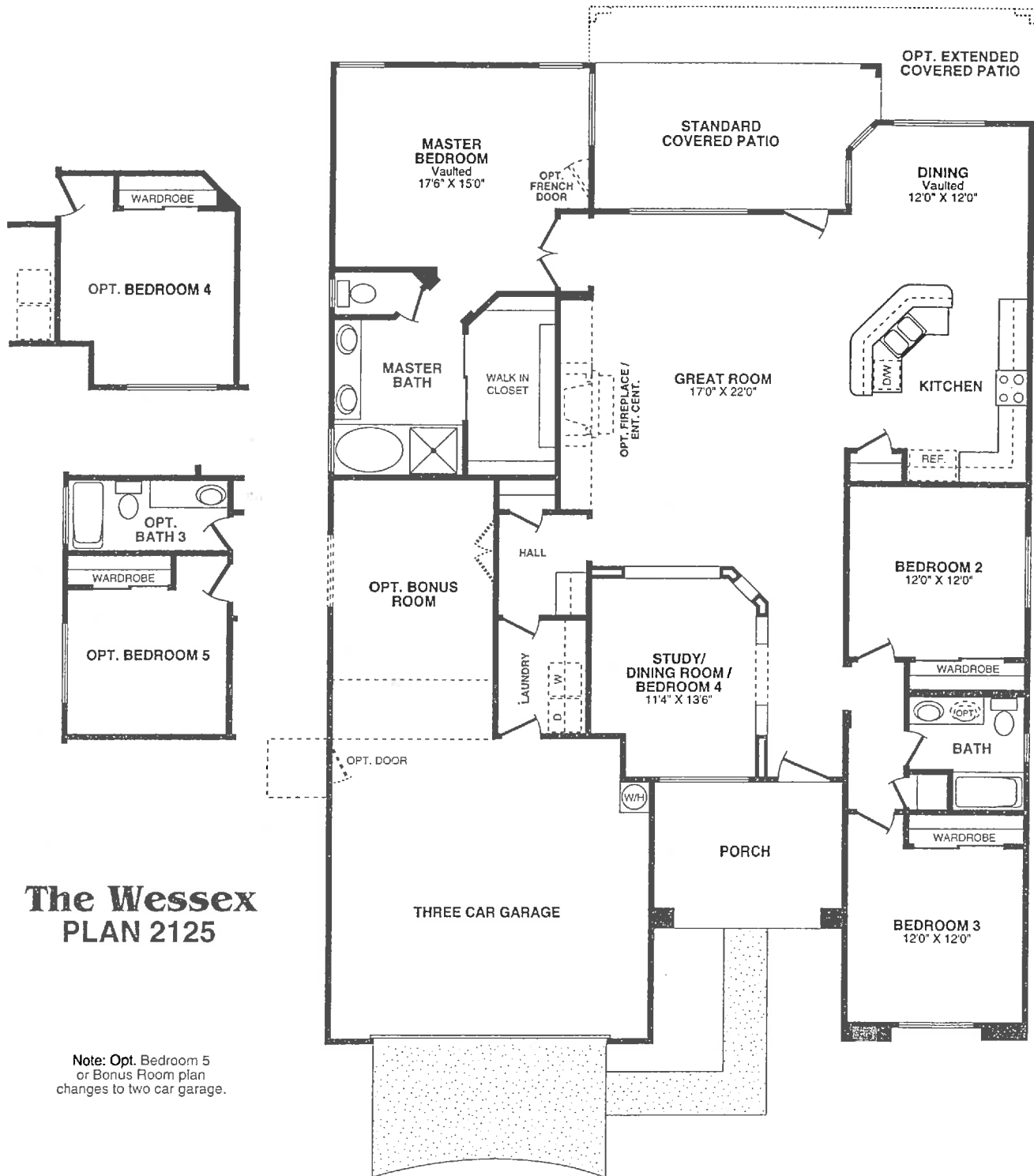


B

In a continuing effort to improve product, Marlor Homes reserves the right to change floor plans, specifications and prices without prior notice.
All floor plans and exterior renderings are artist's conceptions and all dimensions are approximate.

M · A · R · L · O · R
HOMES

Cactus Cove



The Wessex PLAN 2125

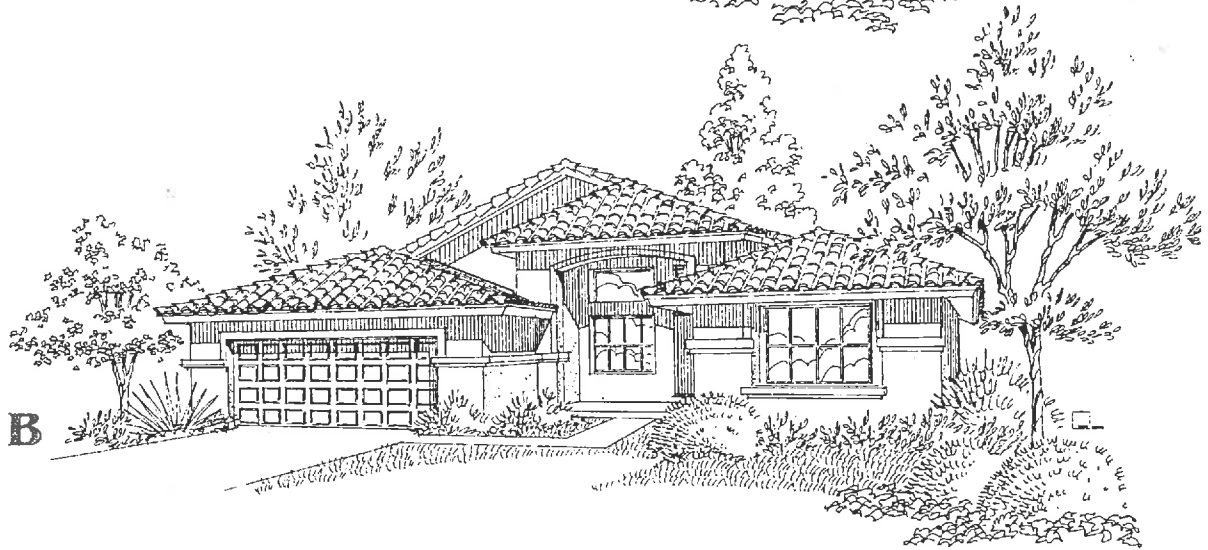
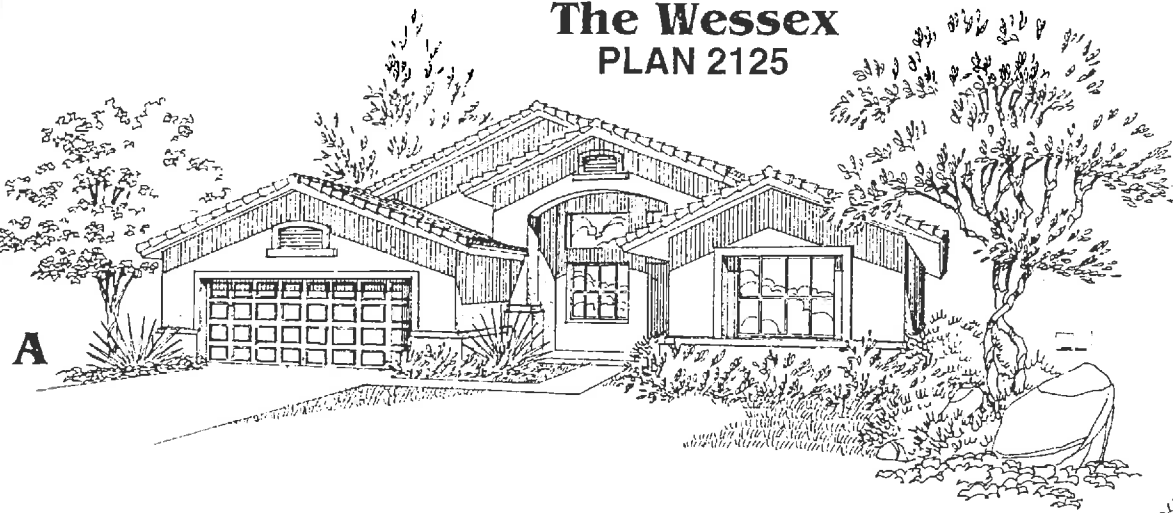
Note: Opt. Bedroom 5
or Bonus Room plan
changes to two car garage.

In a continuing effort to improve product, Marlor Homes reserves the right to change floor plans, specifications and prices without prior notice.
All floor plans and exterior renderings are artist's conceptions and all dimensions are approximate.

M · A · R · L · O · R
HOMES

Cactus Cove

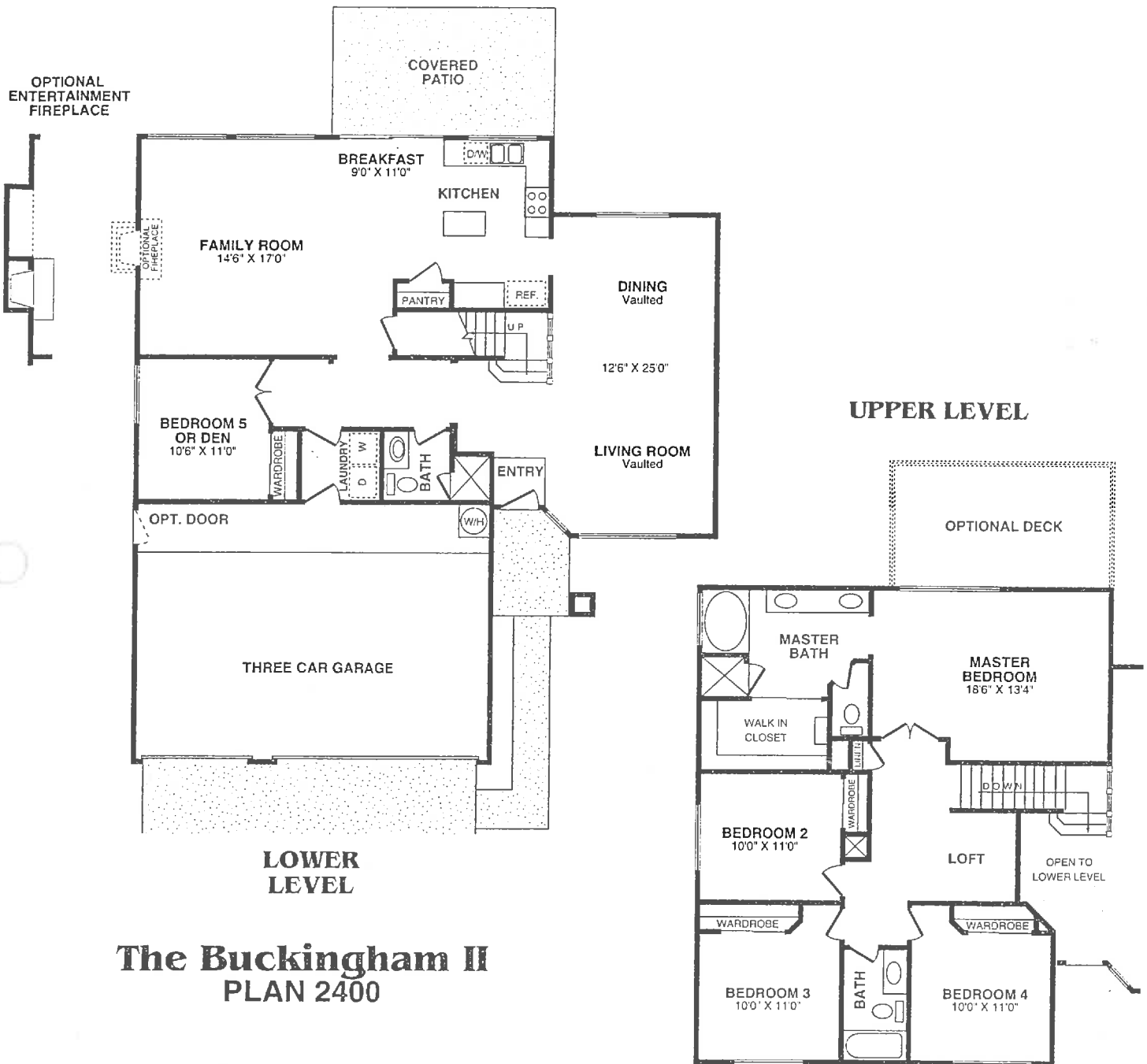
The Wessex PLAN 2125



In a continuing effort to improve product, Marlbor Homes reserves the right to change floor plans, specifications and prices without prior notice.
All floor plans and exterior renderings are artist's conceptions and all dimensions are approximate.

M · A · R · L · O · R
HOMES

Cactus Cove



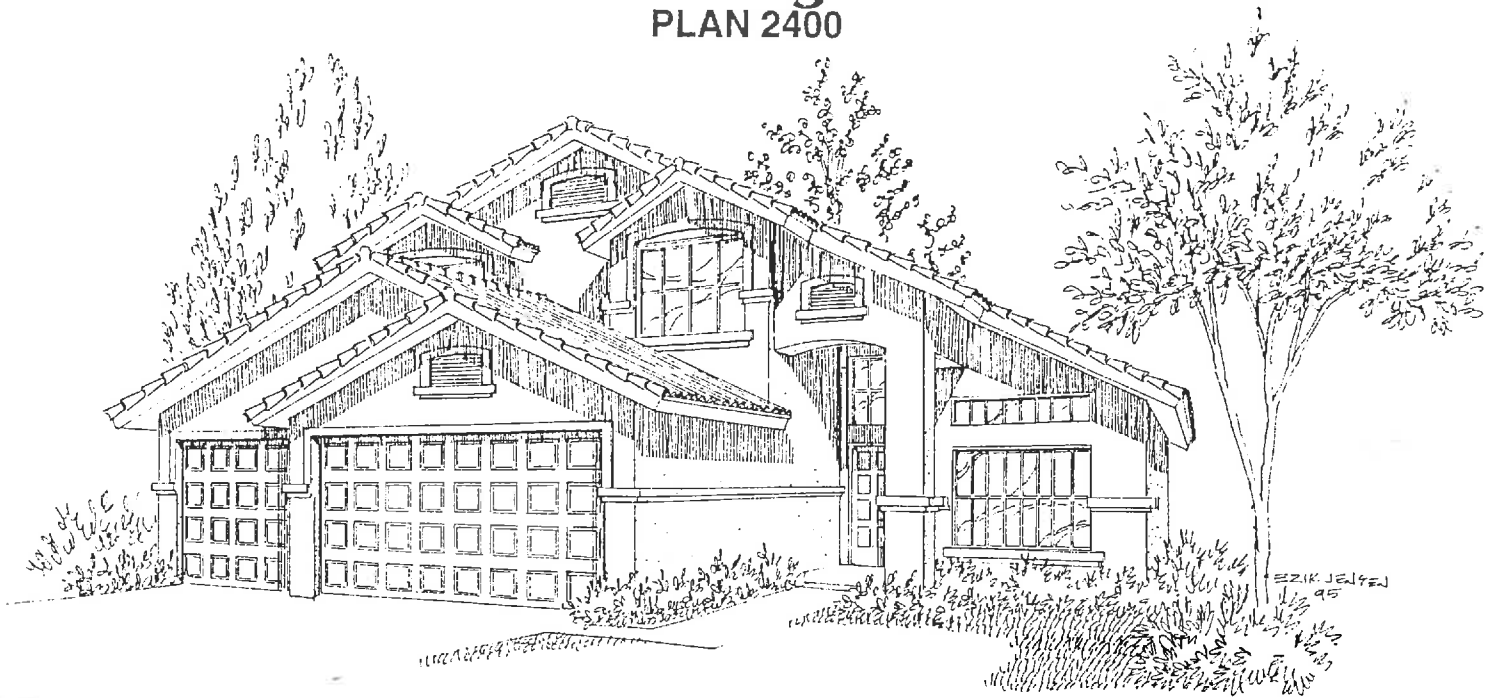
The Buckingham II
PLAN 2400

In a continuing effort to improve product, Marlor Homes reserves the right to change floor plans, specifications and prices without prior notice. All floor plans and exterior renderings are artist's conceptions and all dimensions are approximate.

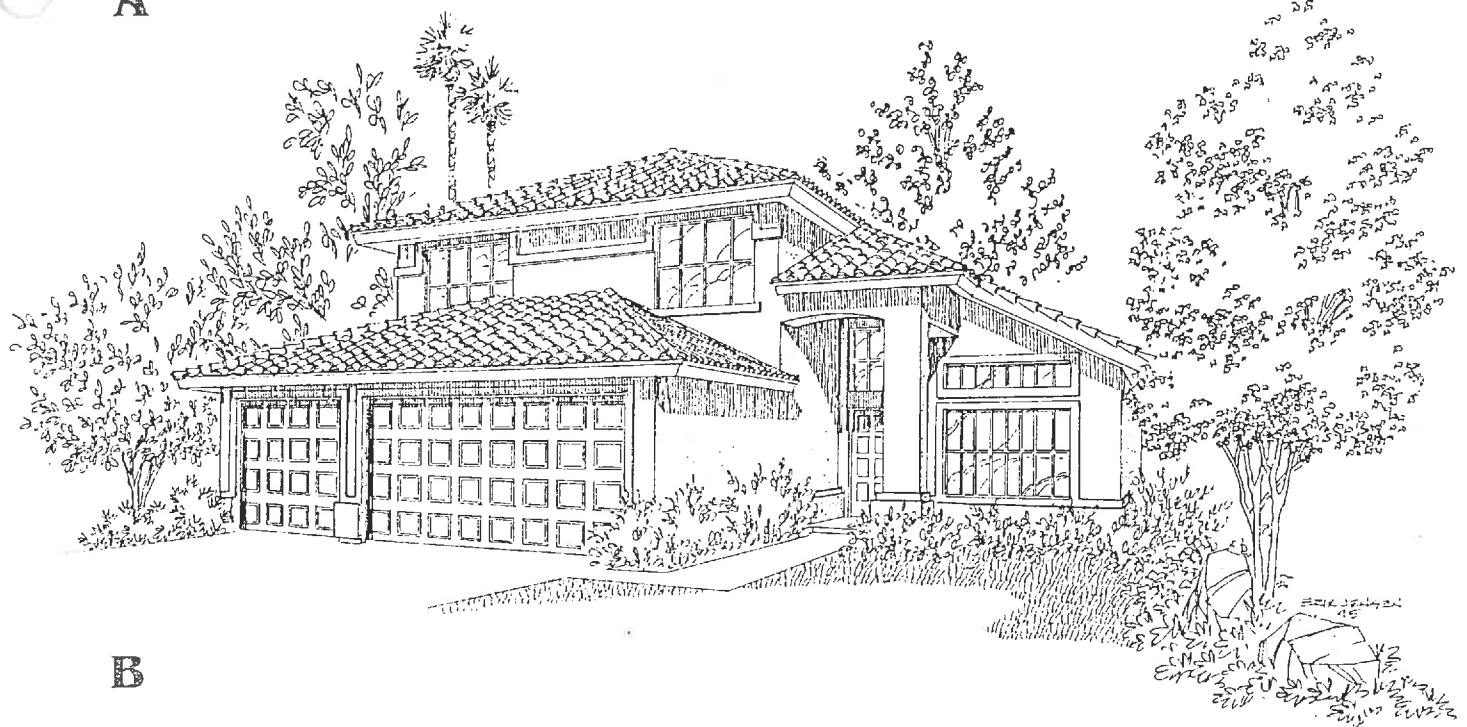
M · A · R · L · O · R
HOMES

Cactus Cove

The Buckingham II PLAN 2400



A

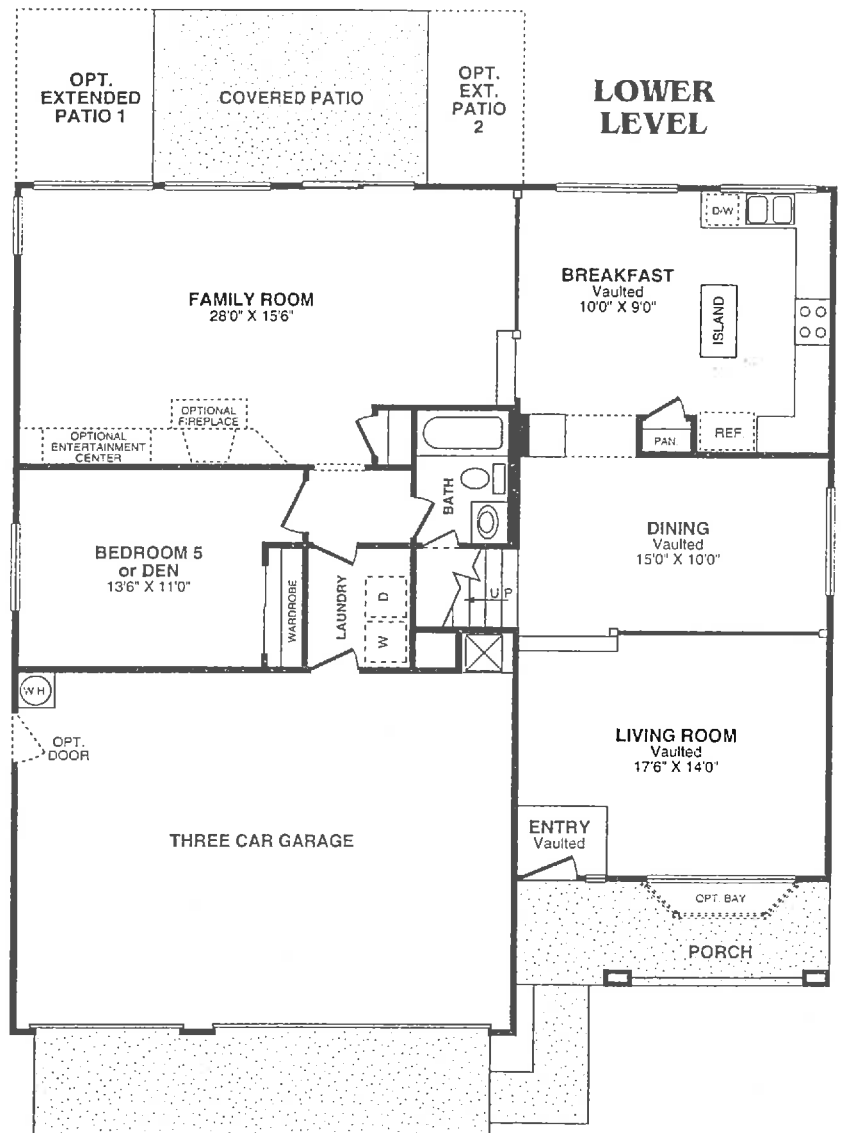
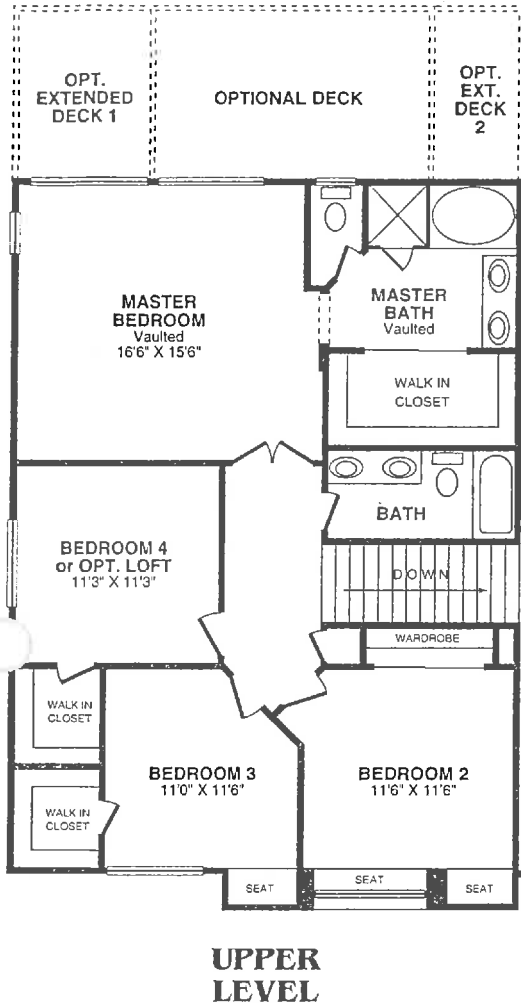


B

In a continuing effort to improve product, Marlor Homes reserves the right to change floor plans, specifications and prices without prior notice.
All floor plans and exterior renderings are artist's conceptions and all dimensions are approximate.

M · A · R · L · O · R
HOMES

Cactus Cove



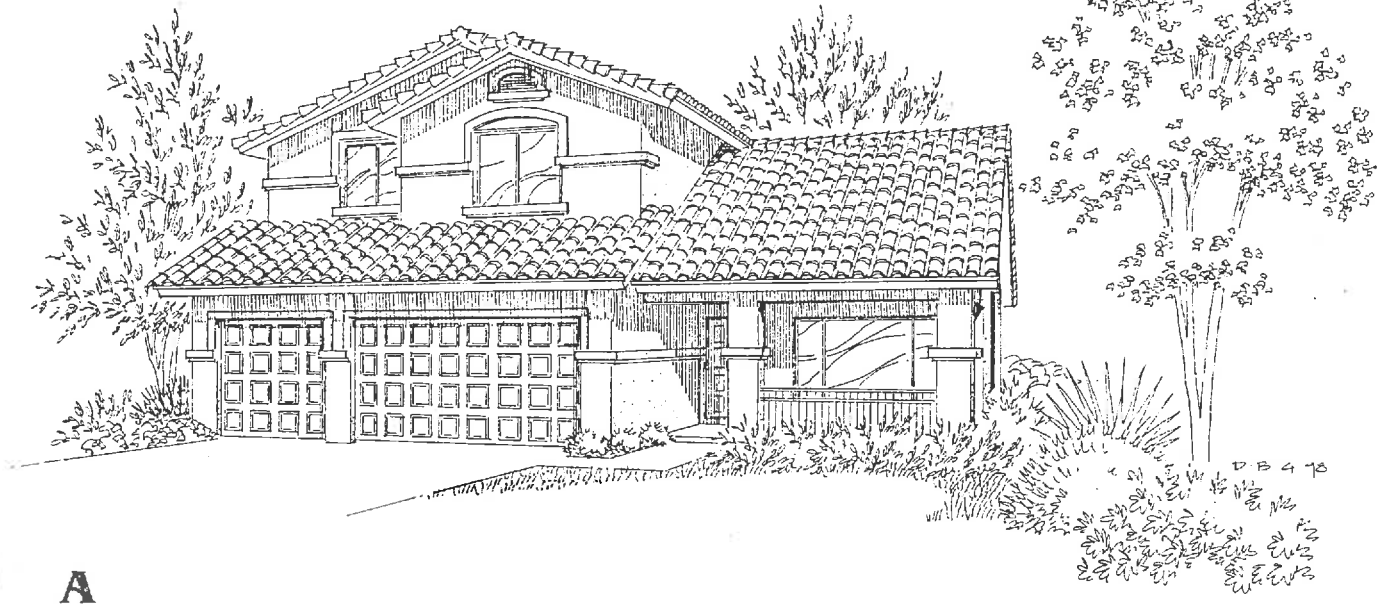
**The Westminster
PLAN 2639**

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M · A · R · L · O · R
HOMES

Cactus Cove

The Westminster PLAN 2639



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