

SIERRA VERDE AT
ARROWHEAD RANCH
PARCELS "D" and "G"
ARROWHEAD RANCH SECTION 24
6800 WEST ARROWHEAD LOOP ROAD
GLENDALE, ARIZONA

A PLANNED RESIDENTIAL DEVELOPMENT
and REZONING REQUEST FOR APPLICATION # Z-96-14
May 8, 1996

SUBMITTED TO:
City of Glendale Planning Department
5850 West Glendale Avenue
Glendale, Arizona 85301
(602) 930-2800

2-96-14

PREPARED BY:

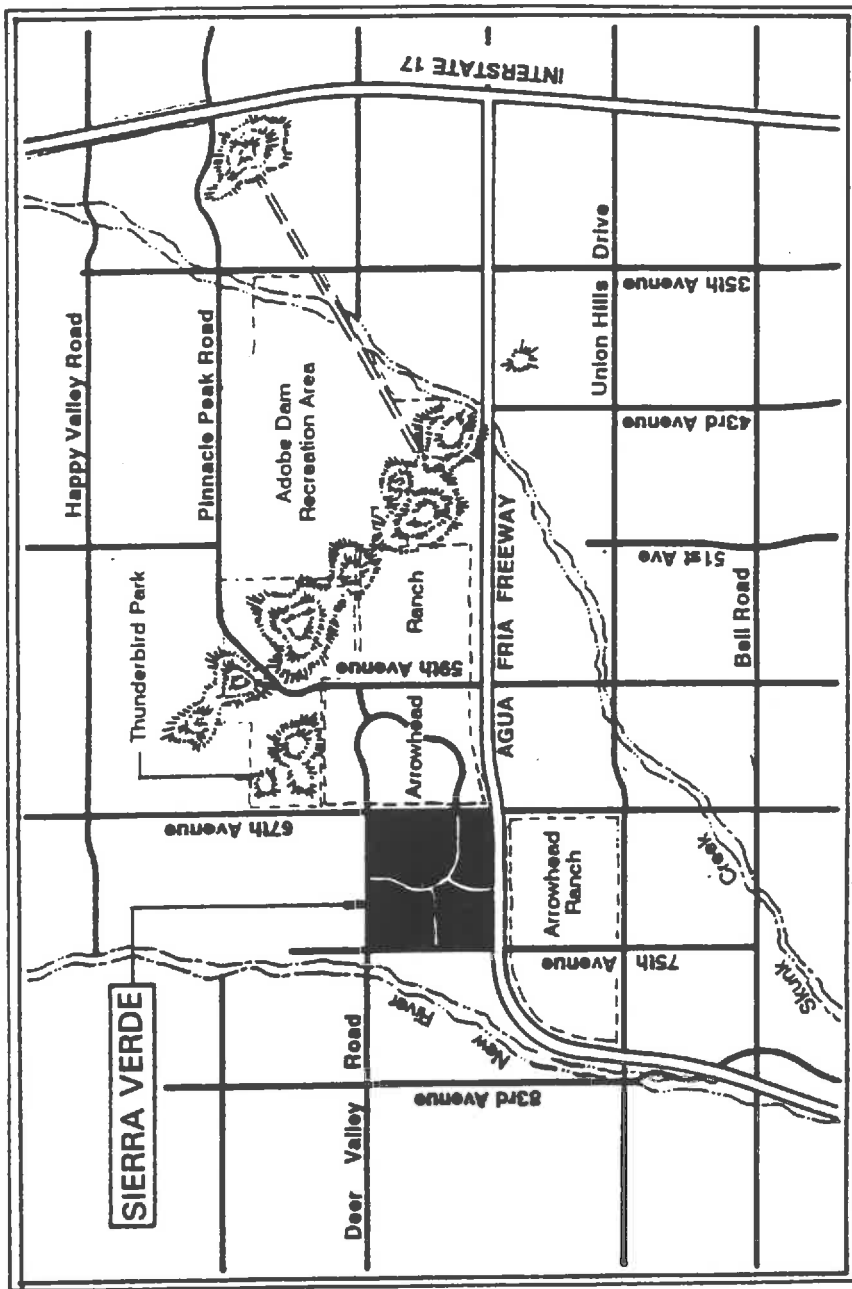
P.D. Saurey Associates
3740 East Southern Avenue, #212
Mesa, Arizona 85206
(602) 807-4240

Shea Homes
4040 E. Camelback Rd., Ste. #200
Phoenix, Arizona 85018
(602) 952-1009

Coe and Van Loo
4550 North 12th Street
Phoenix, Arizona 85014
(602) 264-6831

SIERRA VERDE PARCEL "D" and "G"
TABLE OF CONTENTS

Vicinity Map	1
Parcel Location Map	2
Narrative	3
Exhibits	
Final Plats	4-9
Development Master Plan	10
Typical Lot Detail	11
Conceptual Lake Plan and Details	12
Legal Description	13
Development Standards	14-15
Product Information	16-17



VICINITY MAP SIERRA VERDE

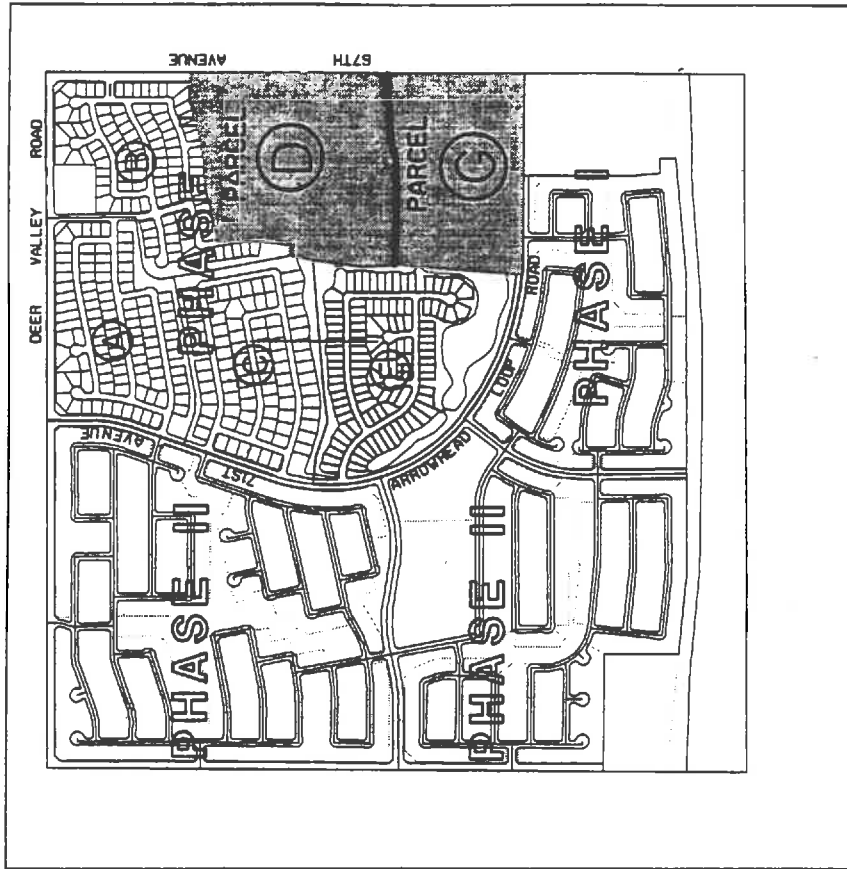
6800 WEST ARROWHEAD LOOP ROAD
GLENDALE, ARIZONA

pdf/2A
SAFETY ASSOCIATES
SAFETY ASSOCIATES

(NOT TO SCALE)

CYL

CYL #95-0109-01
DATE: 11-21-95



PARCEL LOCATION MAP
SIERRA VERDE parcel D & G

6800 WEST ARROWHEAD LOOP ROAD
 GLENDALE, ARIZONA

(NOT TO SCALE)

CYL
 CVL #95-0109-01
 DATE: 12-11-95

SIERRA VERDE PARCEL "D" and "G"

A PLANNED RESIDENTIAL DEVELOPMENT AND REZONING REQUEST FOR APPLICATION # Z-96-14

Parcel D at Sierra Verde is a 45.6-acre site and Parcel G is a 32.8-acre site that lie within Phase One of the overall Sierra Verde master planned community and both are currently zoned R1-6. This Planned Residential Development (PRD) is being submitted as a formal request to rezone Parcel D to R1-6 PRD and Parcel G to R1-7 PRD. This request is in conformance with the approved DMP and is necessary to provide some flexibility and as a result of specific product improvements that have changed the original homes submitted to add patio options and new floor plans.

The final plats have already been approved and recorded and site improvements are underway. The customized development standards as requested will provide further variation in the street scene allowing variable front setbacks and will adjust the lot coverage to allow for the covered patios. All products provide a patio cover as a standard feature and many offer additional patio covers which by definition are required to be included in the lot coverage calculation.

Sierra Verde is a thoughtfully planned development that will provide its residents with ample recreation opportunities, easy access to the centrally located elementary school and neighborhood park site and a lush open space and lake system. The entry monumentation and wall theme for Sierra Verde along with the lush landscape treatment will create a special identity for this master plan.

Several other homebuilders will be participating in Phase One, each with their own unique product. A wide range of lot sizes are provided within this phase ranging from 10,800 sq. ft. to 6,600 sq. ft. The varying lot sizes, product sizes and individual character of the many different homes offered will create interesting diversity throughout Phase One.

There are many lots which will have lake frontage. Page 13 shows how the fencing and lake edge relationship will be handled. Some lots will have direct access from their rear yards to the lake while others will be separated by an open space tract. A ten foot lake maintenance and inundation easement is proposed along the lake edge to accommodate the fluctuation of the lake surface.

Following is a comparison of the original Development Master Plan (DMP) and the proposed data for Parcels D and G:

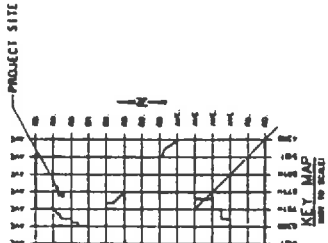
Parcel	DMP Average Lot Size (SF)	Proposed Average Lot Size (SF)	DMP Gross Acreage	DMP Gross Acreage	DMP Yield (Lots)	Final Plat Yield (Lots)	DMP Gross Density DU/AC	Proposed Gross Density DU/AC
D	6,800	7,518	49.6	45.6	176	175	3.5	3.8
G	8,000	8,483	34.3	32.8	100	100	2.9	3.0

Diversity issues are satisfied in several ways. Fourteen different floor plans with at least two elevations each will be offered. A range of roof tile colors and types as well as a range of complementary paint colors will further differentiate the homes. All colors are non-reflectivity type desert hues currently being offered at the Shea Homes neighborhood in Troon Village.

The quality intended by Shea Homes for this project is illustrated throughout the PRD Plan proposal. The landscape, hardscape, entry monumentation, pedestrian accessways and generous open space will all be complemented by the high quality housing product Shea proposes to build. The residential elevations and floor plans proposed for these parcels are illustrated in the Product section of this document.

EXHIBITS

412 MAY 29
OFFICIAL RECORD
96-0196101
MARIPOSA COUNTY, ARIZONA



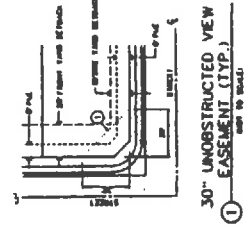
NOTES

1. ALL LOTS ARE TO BE SUBDIVIDED INTO 1/4 AC. LOTS.
2. ALL LOTS ARE TO BE SUBDIVIDED INTO 1/4 AC. LOTS.
3. ALL LOTS ARE TO BE SUBDIVIDED INTO 1/4 AC. LOTS.
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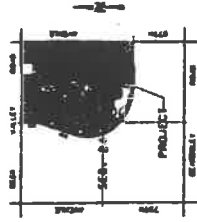
LEGEND

- 1. ALL LOTS ARE TO BE SUBDIVIDED INTO 1/4 AC. LOTS.
- 2. ALL LOTS ARE TO BE SUBDIVIDED INTO 1/4 AC. LOTS.
- 3. ALL LOTS ARE TO BE SUBDIVIDED INTO 1/4 AC. LOTS.
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- 6. ALL LOTS ARE TO BE SUBDIVIDED INTO 1/4 AC. LOTS.
- 7. ALL LOTS ARE TO BE SUBDIVIDED INTO 1/4 AC. LOTS.
- 8. ALL LOTS ARE TO BE SUBDIVIDED INTO 1/4 AC. LOTS.
- 9. ALL LOTS ARE TO BE SUBDIVIDED INTO 1/4 AC. LOTS.
- 10. ALL LOTS ARE TO BE SUBDIVIDED INTO 1/4 AC. LOTS.

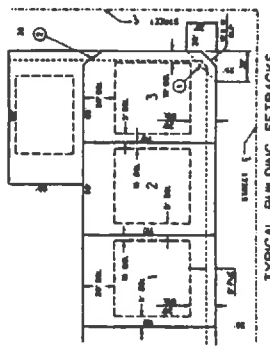
TYPICAL PUBLIC UTILITY EASEMENT DETAIL



30" UNOBSTRUCTED VIEW EASEMENT (TYP.)



TYPICAL BUILDING SETBACKS



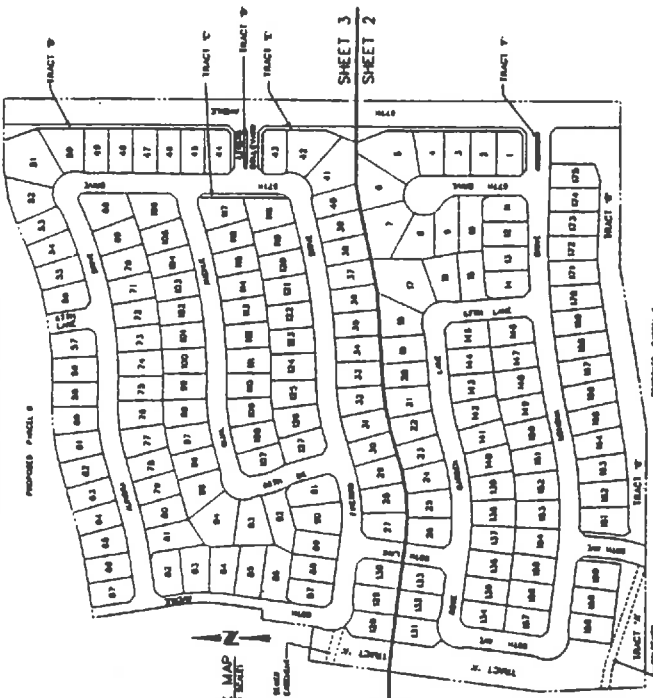
TYPICAL BUILDING SETBACKS

PRELIMINARY PLAT CONFORMANCE
THE CITY OF ARIZONA, MARICOPA COUNTY, ARIZONA, HAS REVIEWED THE PRELIMINARY PLAT AND HAS DETERMINED THAT IT CONFORMS WITH THE REQUIREMENTS OF THE CITY OF ARIZONA, MARICOPA COUNTY, ARIZONA, AND THE CITY OF ARIZONA, MARICOPA COUNTY, ARIZONA.

IMPROVEMENT ASSURANCES
THE CITY OF ARIZONA, MARICOPA COUNTY, ARIZONA, HAS REVIEWED THE IMPROVEMENT ASSURANCES AND HAS DETERMINED THAT THEY CONFORM WITH THE REQUIREMENTS OF THE CITY OF ARIZONA, MARICOPA COUNTY, ARIZONA, AND THE CITY OF ARIZONA, MARICOPA COUNTY, ARIZONA.

FINAL PLAT OF SIENNA

A SUBDIVISION OF A PORTION OF THE EAST HALF OF SECTION 24, TOWNSHIP 4 NORTH, RANGE 7 EAST, GLA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.



PRELIMINARY PLAT CONFORMANCE
THE CITY OF ARIZONA, MARICOPA COUNTY, ARIZONA, HAS REVIEWED THE PRELIMINARY PLAT AND HAS DETERMINED THAT IT CONFORMS WITH THE REQUIREMENTS OF THE CITY OF ARIZONA, MARICOPA COUNTY, ARIZONA, AND THE CITY OF ARIZONA, MARICOPA COUNTY, ARIZONA.

IMPROVEMENT ASSURANCES
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DEDICATION

THE CITY OF ARIZONA, MARICOPA COUNTY, ARIZONA, HAS REVIEWED THE DEDICATION AND HAS DETERMINED THAT IT CONFORMS WITH THE REQUIREMENTS OF THE CITY OF ARIZONA, MARICOPA COUNTY, ARIZONA, AND THE CITY OF ARIZONA, MARICOPA COUNTY, ARIZONA.

ACKNOWLEDGEMENT

THE CITY OF ARIZONA, MARICOPA COUNTY, ARIZONA, HAS REVIEWED THE ACKNOWLEDGEMENT AND HAS DETERMINED THAT IT CONFORMS WITH THE REQUIREMENTS OF THE CITY OF ARIZONA, MARICOPA COUNTY, ARIZONA, AND THE CITY OF ARIZONA, MARICOPA COUNTY, ARIZONA.

CERTIFICATION

THE CITY OF ARIZONA, MARICOPA COUNTY, ARIZONA, HAS REVIEWED THE CERTIFICATION AND HAS DETERMINED THAT IT CONFORMS WITH THE REQUIREMENTS OF THE CITY OF ARIZONA, MARICOPA COUNTY, ARIZONA, AND THE CITY OF ARIZONA, MARICOPA COUNTY, ARIZONA.

APPROVAL

THE CITY OF ARIZONA, MARICOPA COUNTY, ARIZONA, HAS REVIEWED THE APPROVAL AND HAS DETERMINED THAT IT CONFORMS WITH THE REQUIREMENTS OF THE CITY OF ARIZONA, MARICOPA COUNTY, ARIZONA, AND THE CITY OF ARIZONA, MARICOPA COUNTY, ARIZONA.

SHEET 1 OF 3

TRACTS-7 LOTS-1000 GROSS AREA - 45.624 AC

SIENNA - FINAL PLAT - P-95-23

FINAL PLAT

SIENNA VERDE parcel D

6800 WEST ARROWHEAD LOOP ROAD
GLENDALE, ARIZONA

(NOT TO SCALE)

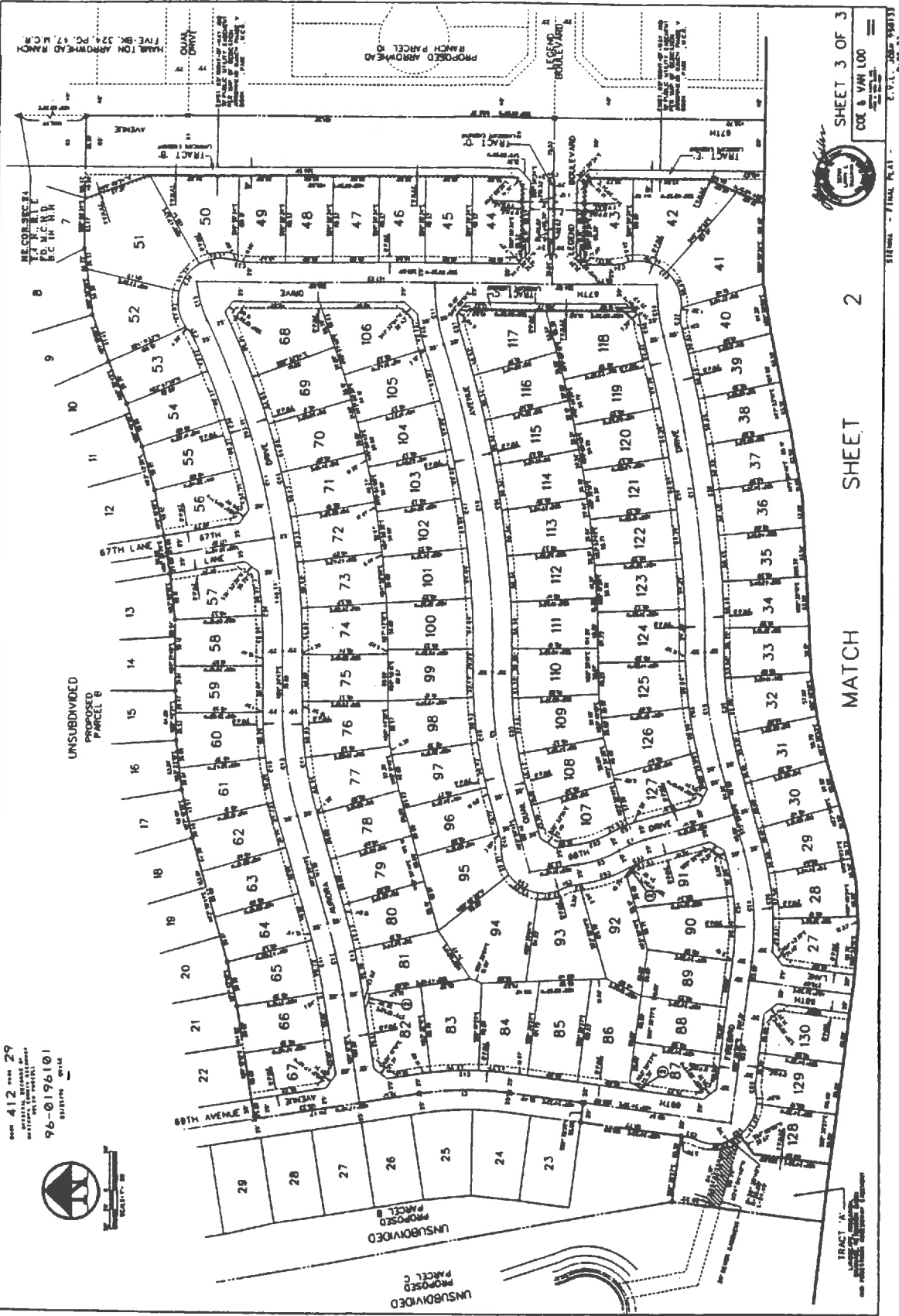
CYL

CVL #95-0109-01
DATE: 12-11-95
REV: 01-22-96

DATE 412 29
 96-0196101
 01/29/96



SCALE: 1" = 40'



FINAL PLAT SIERRA VERDE parcel D

6800 WEST ARROWHEAD LOOP ROAD
 GLENDALE, ARIZONA

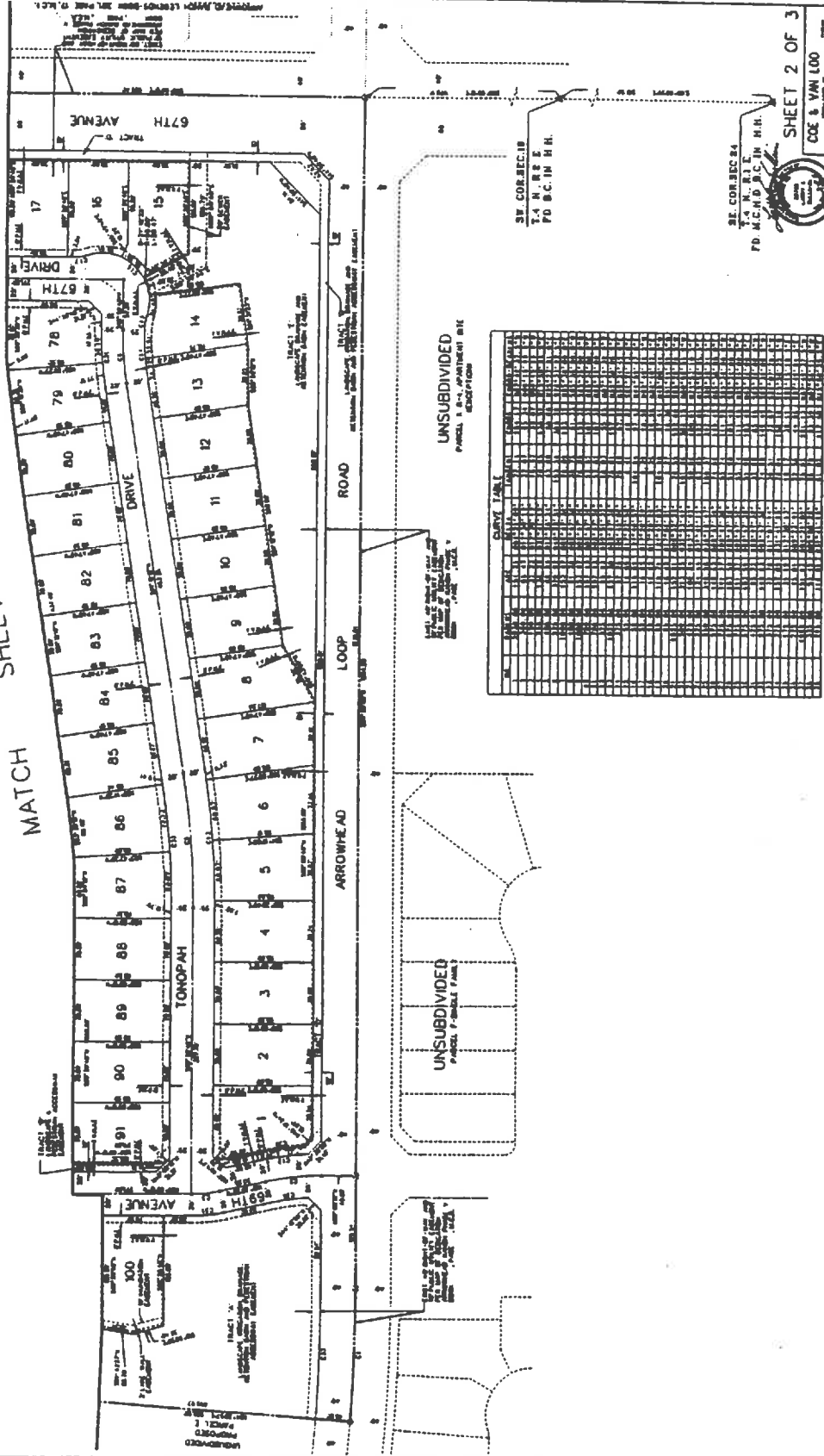
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CVL #95-0109-01
 DATE: 12-11-95
 REV: 01-22-96

See 412 page 26
 JAMES H. HARRIS
 JAMES H. HARRIS & ASSOCIATES
 96-0194145
 SHERMAN, ARIZONA



MATCH
 SHEET 3



FINAL PLAT

SIERRA VERDE parcel G

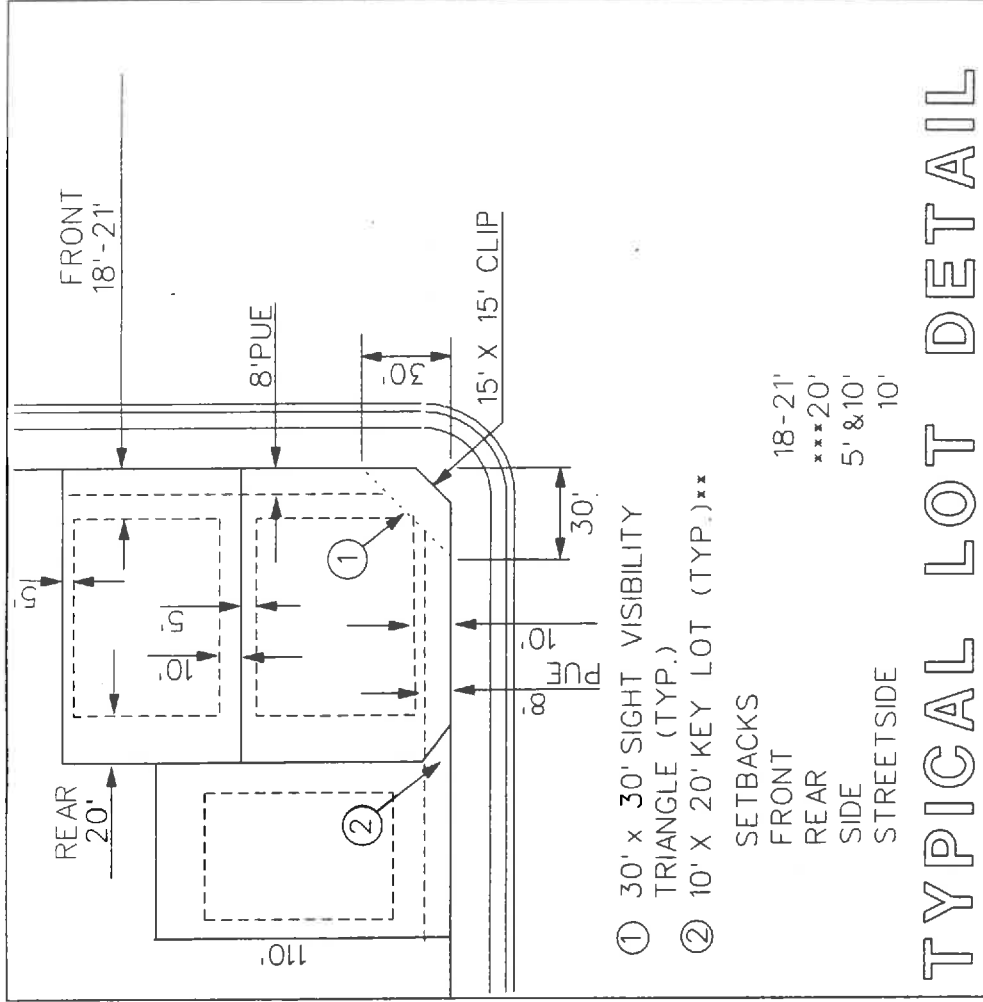
6800 WEST ARROWHEAD LOOP ROAD
 GLENDALE, ARIZONA

VERMONT - FINAL PLAT -
 C.V.L. 8-10-13

(NOT TO SCALE)

CVL
 CVL 95-0109-01
 DATE: 12-11-95
 REV: 01-22-96

**DRIVEWAY ON KEY LOT TO
 BE LOCATED ON FAR SIDE OF
 LOT AWAY FROM CORNER LOT
 ***A PATIO CAN EXTEND 5'
 INTO REAR YARD



- ① 30' x 30' SIGHT VISIBILITY TRIANGLE (TYP.)
- ② 10' X 20' KEY LOT (TYP.)**

SETBACKS

FRONT 18-21'
 REAR ***20'
 SIDE 5' & 10'
 STREETSIDE 10'

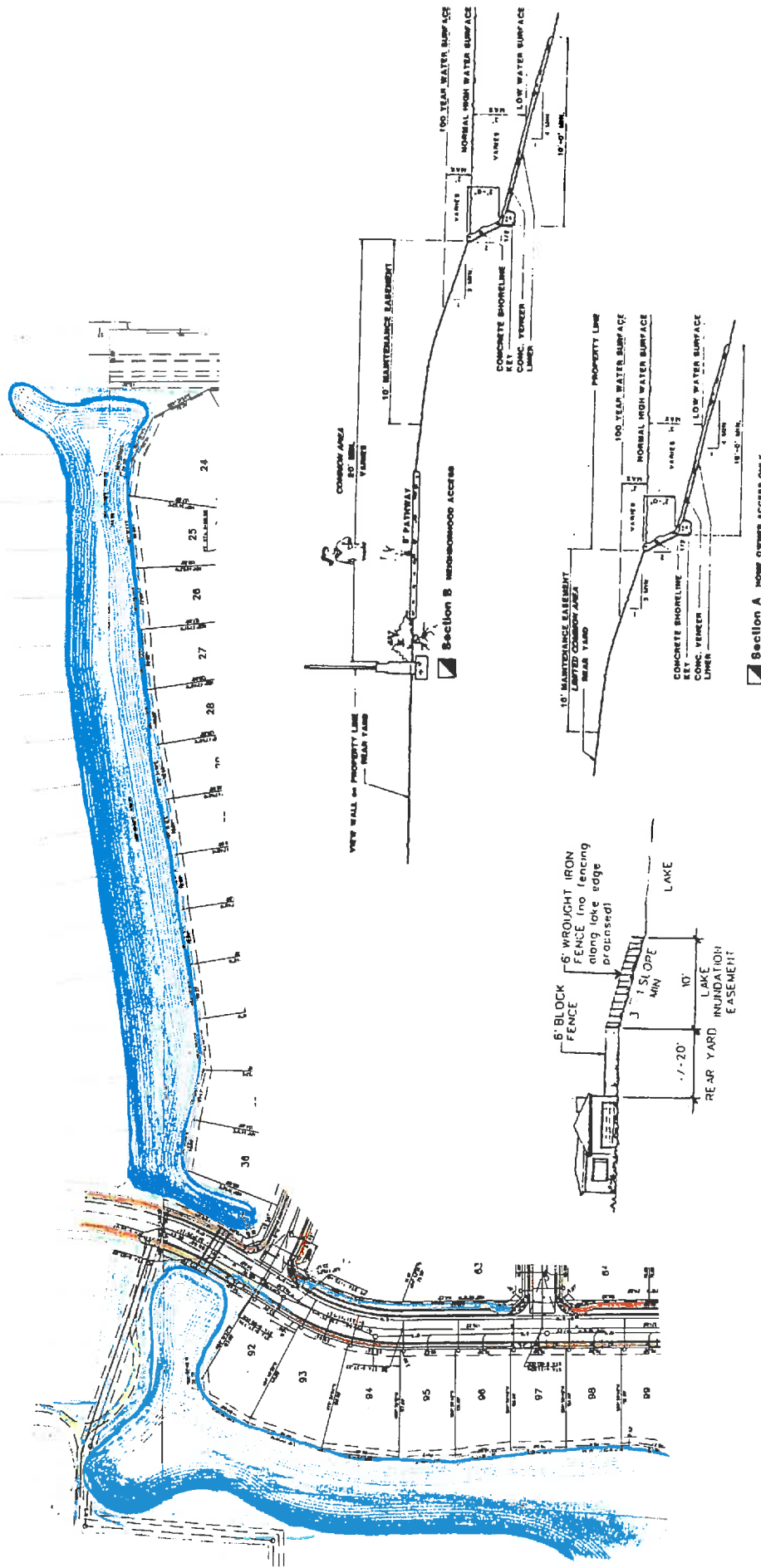
TYPICAL LOT DETAIL

(NOT TO SCALE)

TYPICAL LOT DETAIL

SIERRA VERDE parcel D & G

6800 WEST ARROWHEAD LOOP ROAD
 GLENDALE, ARIZONA



CONCEPTUAL LAKE PLAN & DETAILS **SIERRA VERDE** parcel D & G

6800 WEST ARROWHEAD LOOP ROAD
 GLENDALE, ARIZONA

LEGAL DESCRIPTION

**LEGAL DESCRIPTION FOR
SIERRA VERDE PARCELS D and G
ZONING**

Parcel D

Sienna as recorded in Book 412, page 29, Maricopa County Records.

Parcel G

Ventana as recorded in Book 412, page 26, Maricopa County Records.

DEVELOPMENT STANDARDS

SIERRA VERDE PARCEL "D"
Z-96-14
DEVELOPMENT STANDARDS
SINGLE FAMILY
(60' & 65' x 110')

- (a) Lot area. There shall be not less than six thousand six hundred square feet of lot area per each residence unit. The minimum lot shall be sixty (60) feet in width and one hundred ten (110) feet in depth as measured at the setback line.
- (b) Lot coverage. The main building and all accessory buildings or structures on a lot shall not occupy more than forty-five (45%) percent of the total lot area.
- (c) Front yard. There shall be a front yard having a depth that will vary from eighteen (18) feet to twenty-one (21) feet from the face of the garage door to the property line. Wherever possible, and in most cases, adjacent lots shall not have the same setback.
- (d) Side yards.
1. On interior lots, there shall be two side yards, one of which shall be not less than ten (10) feet in width, and the other not less than five (5) feet in width. A fireplace, bay window, media niche, etc. can encroach two and one half (2 1/2) feet into the 10' sideyard only. Ground mounted mechanical equipment may be located within the sideyard setbacks. There shall be a minimum separation of ten (10) feet between buildings on adjacent lots.
2. On a corner lot, a ten (10) foot side yard shall be maintained on the street side of the lot, for the entire depth of the lot.
- (e) Rear yard. There shall be a rear yard having a depth of not less than twenty (20) feet. A patio cover can extend as much as five (5) feet into the rear yard.
- (f) Height. No building shall exceed a height of two (2) stories or thirty (30) feet.
- (g) Accessory buildings shall not exceed fifteen (15) feet in height.
- (h) Maximum height of an amateur radio tower is seventy-five (75) feet.
- (i) Any accessory building or structure, unless otherwise permitted, must maintain a minimum of ten (10) feet from the principal building or any other accessory structure.
- (j) All other development standards, unless specifically identified above, shall be consistent with the provisions of the R1-6 Zoning District as identified in the Glendale Zoning Ordinance.

SIERRA VERDE PARCEL "G"
Z-96-14
DEVELOPMENT STANDARDS
SINGLE FAMILY
(70' and 75' x 110')

- (a) Lot area. There shall be not less than seven thousand seven hundred (7,700) square feet of lot area per each residence unit. The minimum lot shall be seventy (70) feet in width and one hundred ten (110) feet in depth as measured at the setback line.
- (b) Lot coverage. The main building and all accessory buildings or structures on a lot shall not occupy more than forty-five (45%) percent of the total lot area.
- (c) Front yard. There shall be a front yard having a depth that will vary from eighteen (18) feet to twenty-one (21) feet from the face of the garage door to the property line. Wherever possible, and in most cases, adjacent lots shall not have the same setback.
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PRODUCT INFORMATION

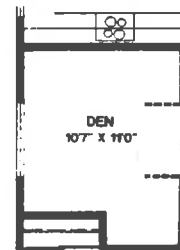
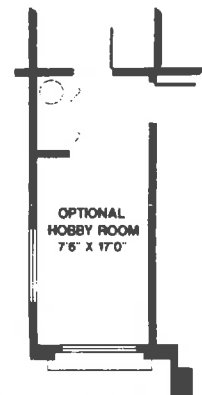
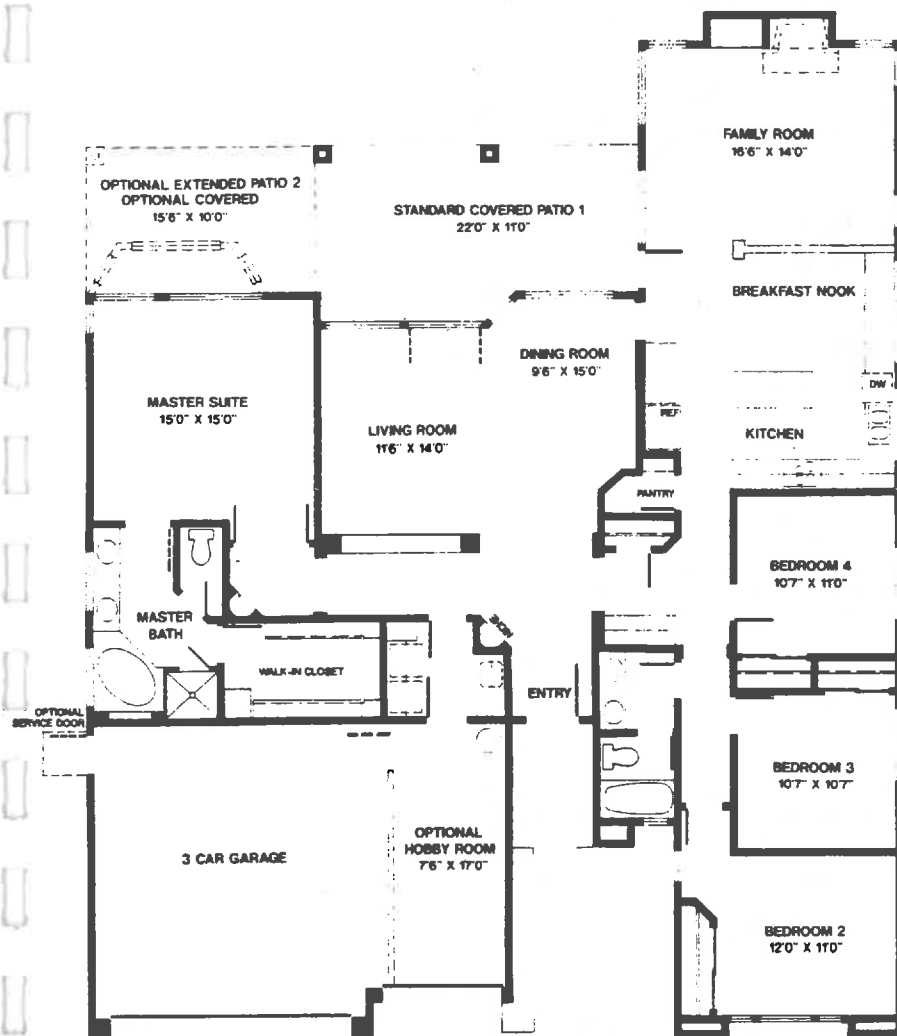
SHEA PRODUCT SUMMARY
300 SERIES

Livable Sq. Ft.				Non-livable Sq. Ft.			Building Envelope		
Plan	BR/BA	First Floor	Second Floor	Total	Garage	Cov'd Patio	Cov'd Entry	W x D	W/Cov'd Patio
330	4/2	2089	N/A	2089	610	473	66	55' x 62'	55' x 70'
340	4/2	2252	N/A	2252	568	397	47	55' x 70'	55' x 70'
362	4/2½			2558					
371	4/3	1650	1400	3050	624	210	65	55' x 63'	55' x 66'6"
390	4/3	1733	1407	3140	640	444	88	50' x 56'3"	50' x 66'3"
						w/exp. hobby rm		58' x 56'3"	58' x 66'3"

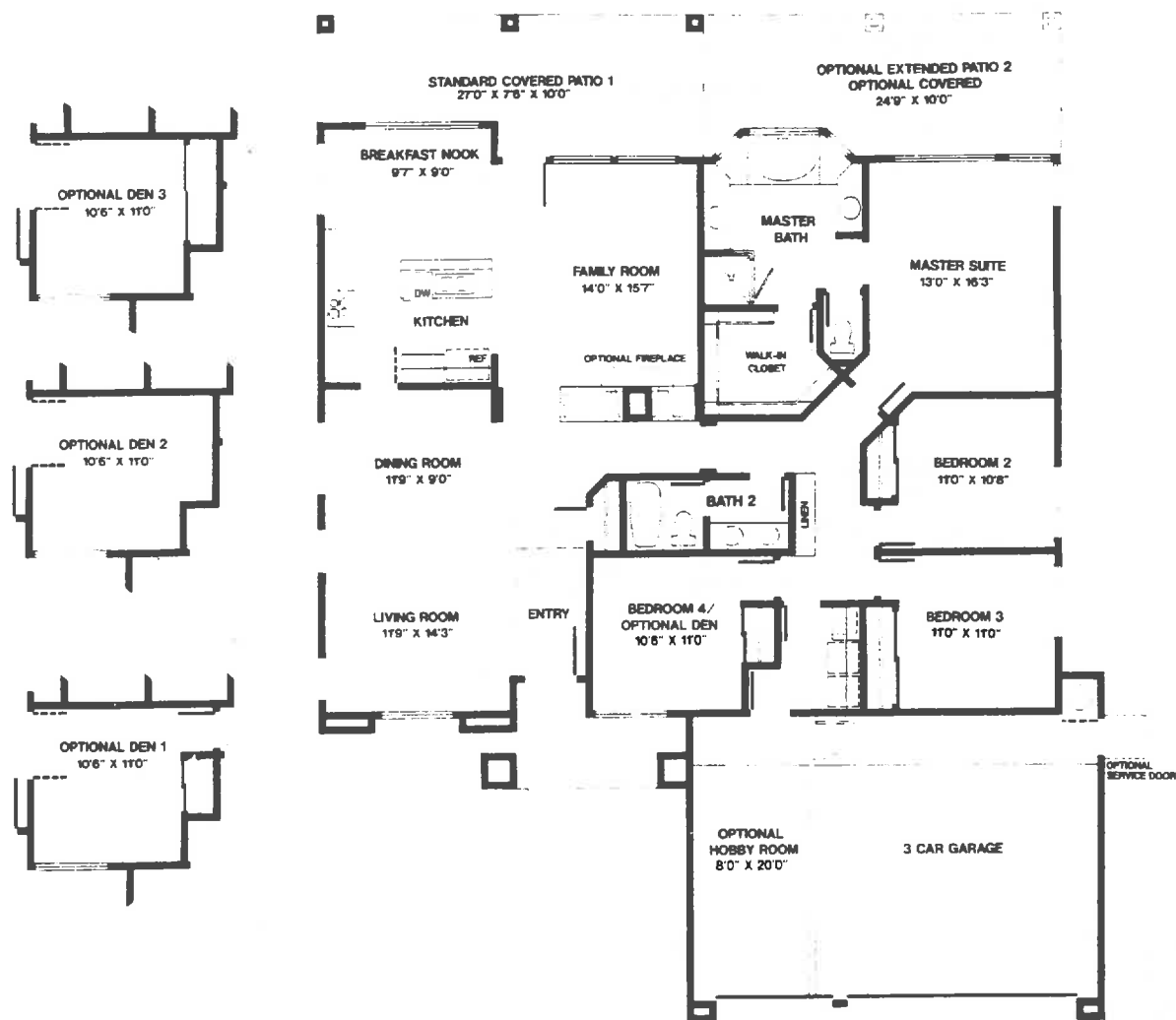
Crystal Ridge
SHEA HOMES

The
Confidence
Builder

Laguna 340



NEWPORT 330

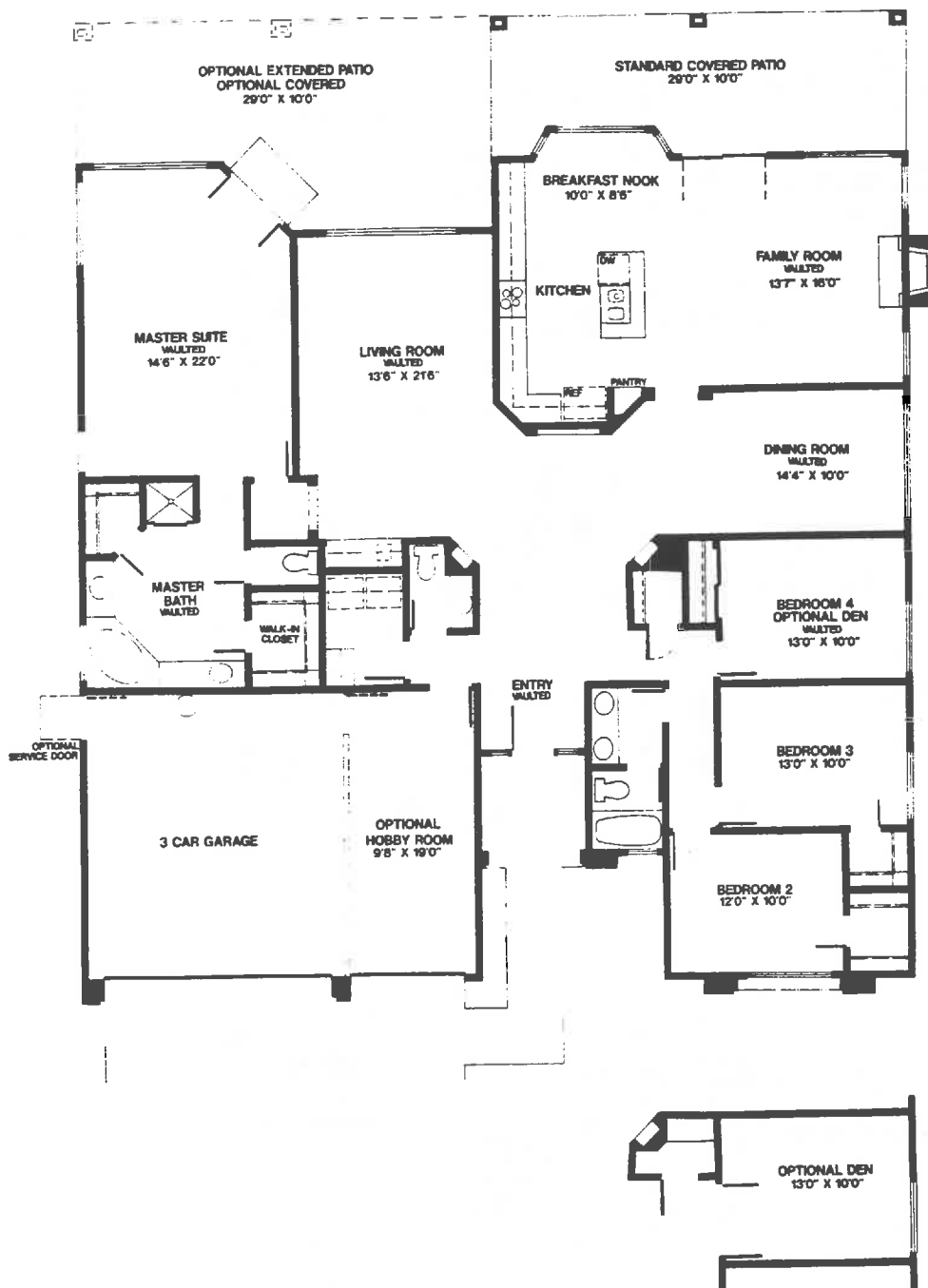


2090 SQ. FT.

CRYSTAL RIDGE SHEA HOMES

The
Confidence
builder

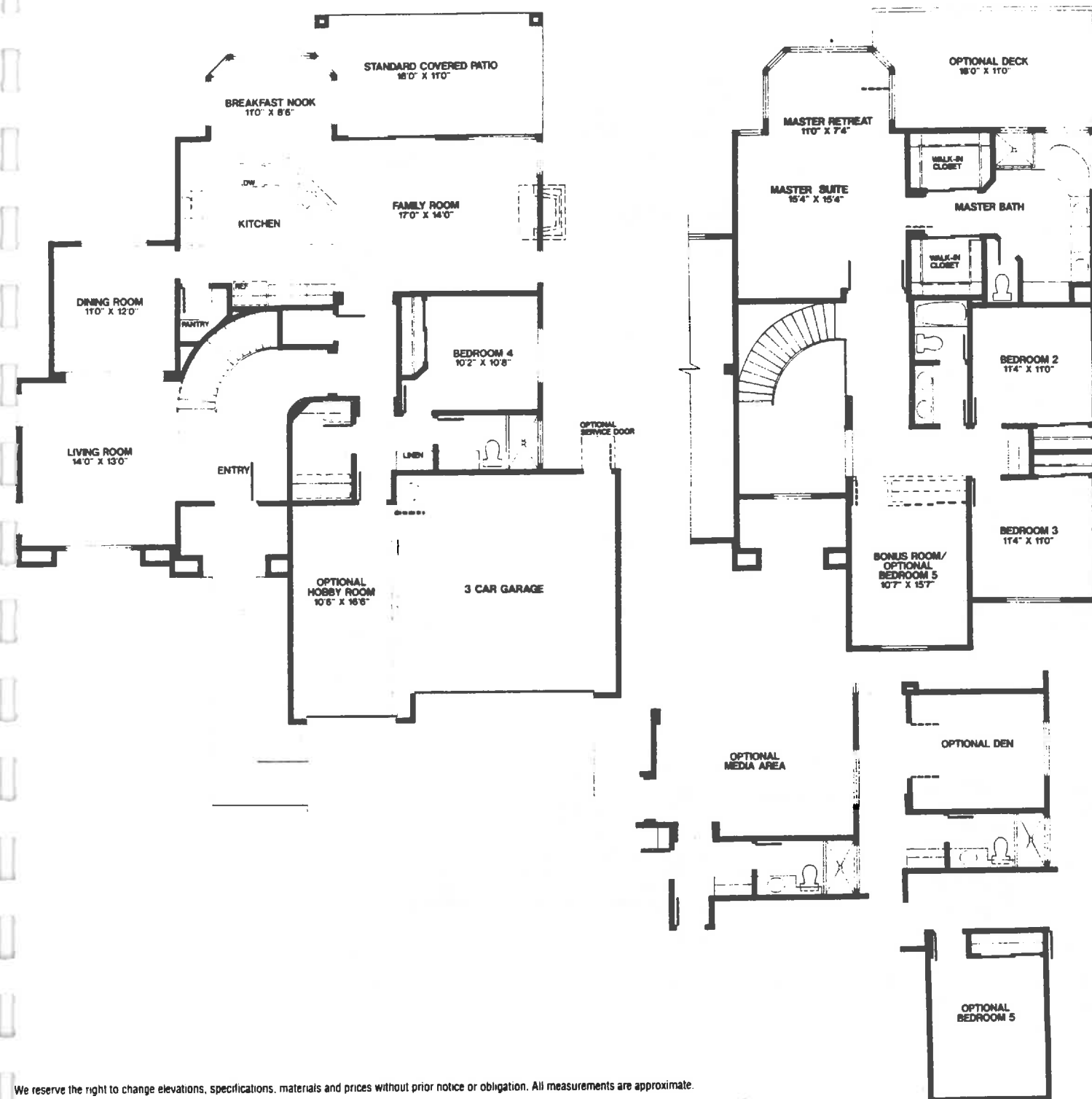
VENTURA 362



Crystal Ridge
SHEA HOMES

The
Confidence
Builder

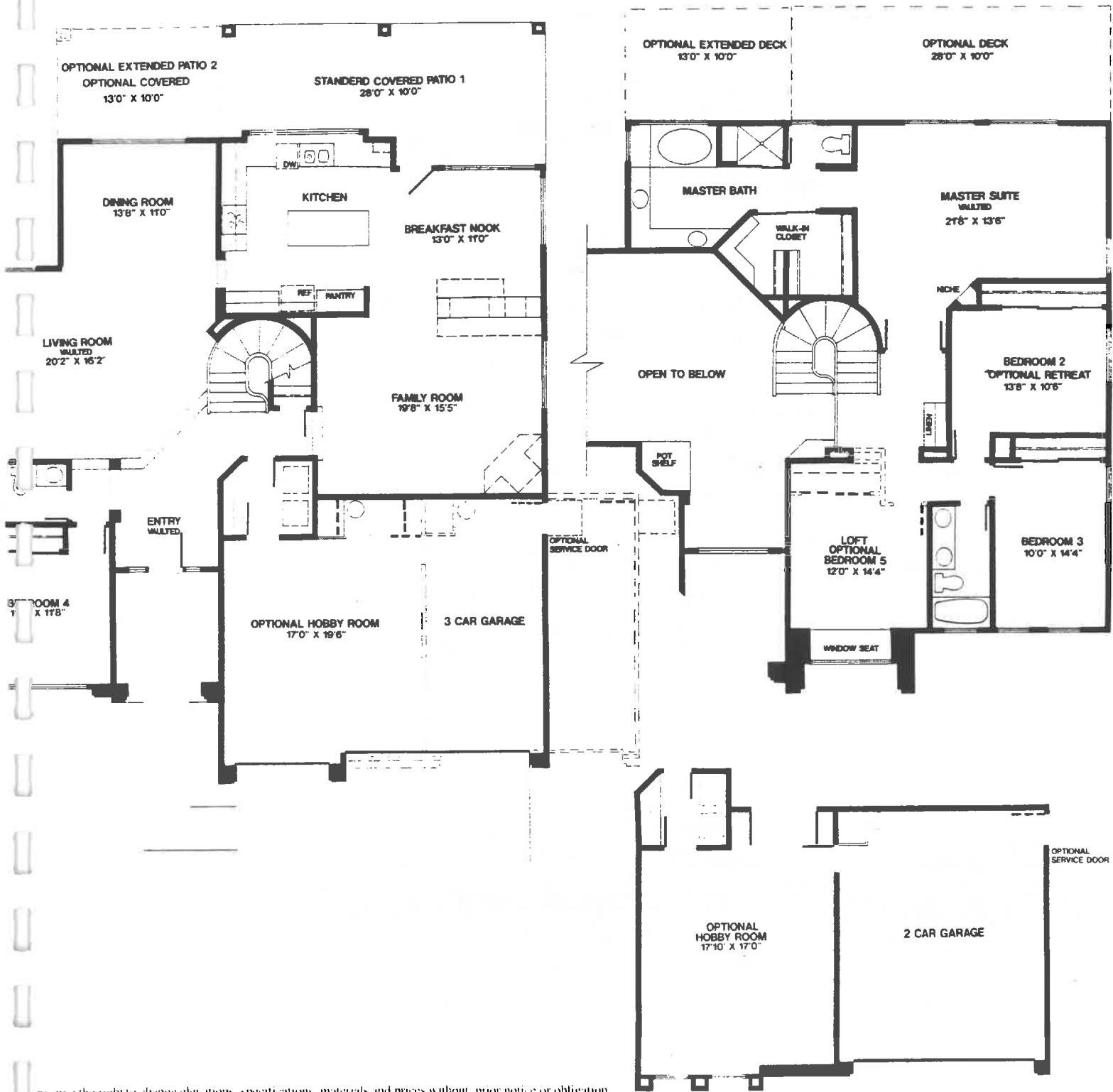
Brentwood 371



CRYSTAL RIDGE
SHEA HOMES

The
Confidence
builder

Miramonte 390



**SHEA PRODUCT SUMMARY
200 SERIES**

Livable Sq. Ft.					Non-livable Sq. Ft.			Building Envelope	
Plan	BR/BA	First Floor	Second Floor	Total	Garage	Cov'd Patio	Cov'd Entry	W x D	W/Cov'd Patio
201	3/2	1470	N/A	147	460	120-136	42	45'x54'2"	45'x64'2"
202	3/2	1611	N/A	1611	466	120-450	72	45'x56'2"	45'x66'2"
203	3/2	1684	N/A	1684	466	98-429	189	N/A	N/A
204	4/2	1781	N/A	1781	466	84-389	111	45'x63'6"	45'x73'6"
205	3/2*	1891	N/A	1891	466	128-259	89	45'x56'2"	-----
206	4/3*	1087	1038	2125	463	144-320	59	32'12"x49'6"	40'x49'6"
207	3/3**	1334	987	2321	470	181-311	60	33'x55'1"	43'10"X55'1"

201 Opt. Retreat (Add)

111 s.f.

201 Opt. Bay (Add)

15 s.f.

202 Opt. Bay (Add)

15 s.f.

204 Opt. Expanded Living Room (Add)

91 s.f.

205 Opt. 4th Bedroom ILO Den

206 Opt. 5th Bedroom ILO Den

207 Opt. 4th Bedroom ILO Den

207 Opt. 5th Bedroom (Add)

Opt. Extended Garage (Add)

All Plans

159 s.f.

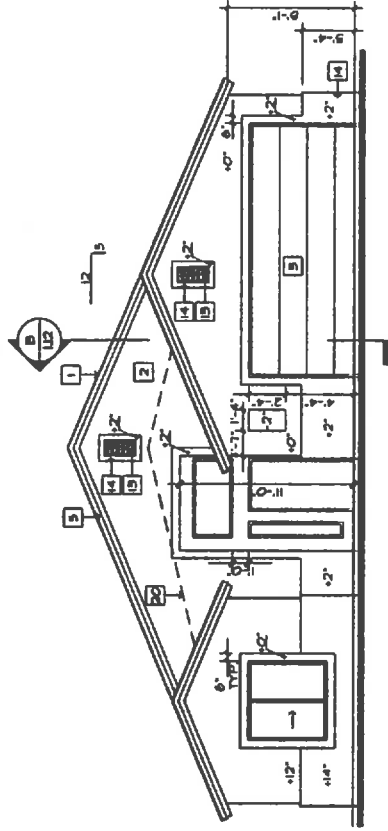
46 s.f.

45'4"x56'8"

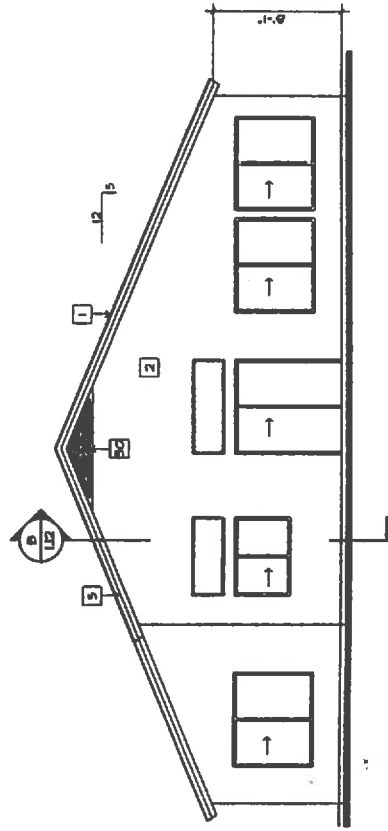
45'4"x58'8"

ELEVATION NOTES

1. CONCRETE ROOF TILE FLAT OR 3" TYPICAL 2015
2. FIBERGLASS REINFORCED STUCCO FRESH COAT 4055
3. SECTIONAL ROLL-UP GARAGE DOOR
4. EXPOSED 2X8 R.S. FASCIA
5. 12" X 24" VENT SCREENED AND LOWERED
6. 3" STUCCO POP OUT
7. LINE OF SCISSOR TRUSS BEYOND
8. LINE OF CEILING AT ENTRY
9. GABLE END VENT



FRONT ELEVATION A



REAR ELEVATION

REVISIONS
1. CITY OF ALBUQUERQUE
2. REVISIONS/NOTES
3.
4.
5.

PLAN 201	DOVE POINT
----------	------------

SHEA HOMES
 4040 EAST CAMELBACK ROAD, S1E. 200
 PHOENIX, ARIZONA 85018
 (602) 952-1009

SCALE 1/2" = 1'-0"
DATE FEBRUARY 22, 1996
PROJECT PLAN 201
1.9

REVISIONS
CITY OF BILBERT
ESTIMATED 07/2009

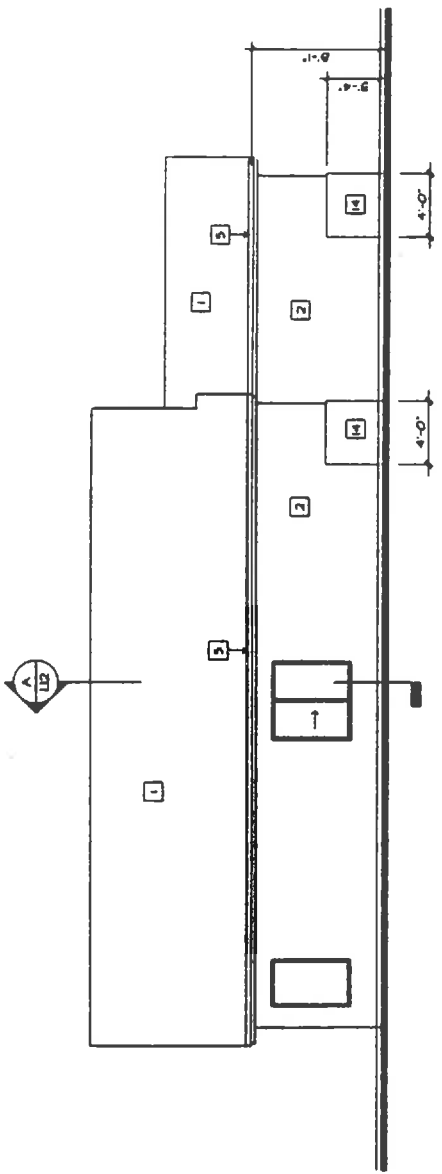
PLAN 201
DOVE POINT

SHEA HOMES
4040 EAST CAMELBACK ROAD STE. 200
PHOENIX, ARIZONA 85018
(602) 952-1009

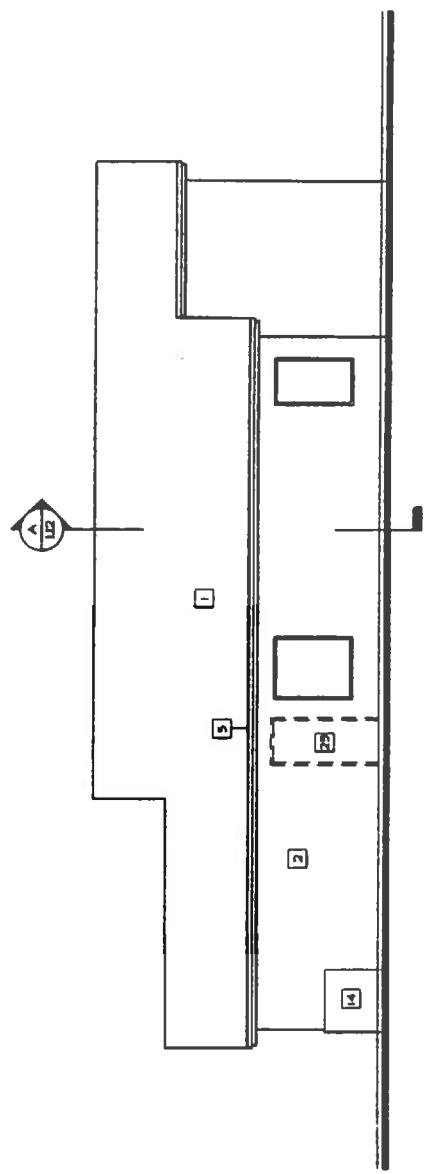
DATE
1/17/09
DRAWN
01/11/09
CHECKED
01/22/09
PROJECT
PLAN 201
1.10
SHEET 3 OF 3

ELEVATION NOTES

- 1 CONCRETE ROOF TILE FLAT OR 5" TYPE KURCH 2040
- 2 FIBERGLASS REINFORCED STUCCO FINISH K200 4000
- 3 SECTIONAL ROLL-UP GARAGE DOOR
- 4 EXPOSED 2X6 4.5 PALSJA
- 5 7" STUCCO ROOF OUT
- 6 LINE OF SCISSOR TRUSS BEYOND
- 7 OPTIONAL SERVICE DOOR



LEFT SIDE ELEVATION



RIGHT SIDE ELEVATION

ELEVATION NOTES

1. CONCRETE ROOF TILE FLAT OR 3" TYPE I ROOF 2008
2. PERFORATED REINFORCED STUCCO FINISH 1/2" ROOF 4008
3. SECTIONAL ROLL-UP GARAGE DOOR
4. EXPOSED 2x8 R.S. PASCIA

5. EXPOSED 2x8 R.S. PASCIA

6. EXPOSED 2x8 R.S. PASCIA

7. EXPOSED 2x8 R.S. PASCIA

8. EXPOSED 2x8 R.S. PASCIA

9. EXPOSED 2x8 R.S. PASCIA

10. EXPOSED 2x8 R.S. PASCIA

11. EXPOSED 2x8 R.S. PASCIA

12. EXPOSED 2x8 R.S. PASCIA

13. EXPOSED 2x8 R.S. PASCIA

14. EXPOSED 2x8 R.S. PASCIA

15. EXPOSED 2x8 R.S. PASCIA

16. EXPOSED 2x8 R.S. PASCIA

17. EXPOSED 2x8 R.S. PASCIA

18. EXPOSED 2x8 R.S. PASCIA

19. EXPOSED 2x8 R.S. PASCIA

20. EXPOSED 2x8 R.S. PASCIA

21. EXPOSED 2x8 R.S. PASCIA

22. EXPOSED 2x8 R.S. PASCIA

23. EXPOSED 2x8 R.S. PASCIA

24. EXPOSED 2x8 R.S. PASCIA

25. EXPOSED 2x8 R.S. PASCIA

26. EXPOSED 2x8 R.S. PASCIA

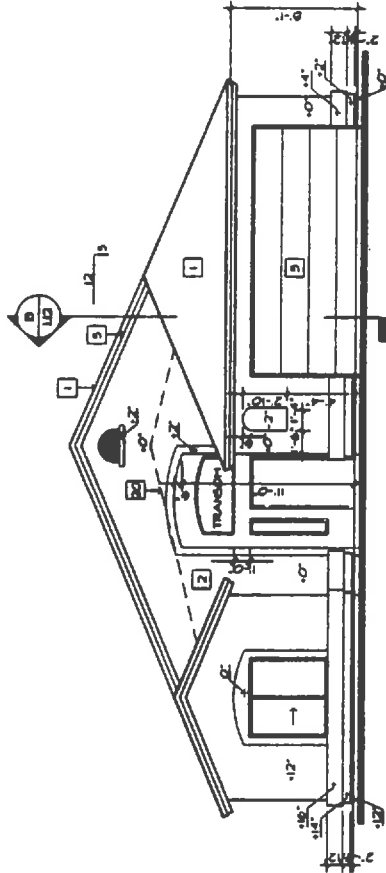
27. EXPOSED 2x8 R.S. PASCIA

28. EXPOSED 2x8 R.S. PASCIA

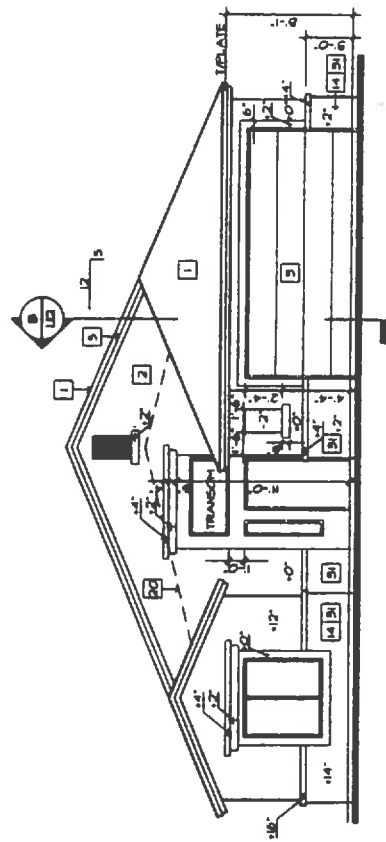
29. EXPOSED 2x8 R.S. PASCIA

30. EXPOSED 2x8 R.S. PASCIA

31. EXPOSED 2x8 R.S. PASCIA



FRONT ELEVATION B



FRONT ELEVATION C

REVISIONS
1. CITY OF PHOENIX
2. SECTIONAL ROLL-UP GARAGE DOOR
3. EXPOSED 2x8 R.S. PASCIA
4. EXPOSED 2x8 R.S. PASCIA
5. EXPOSED 2x8 R.S. PASCIA

PLAN 201
DOVE POINT

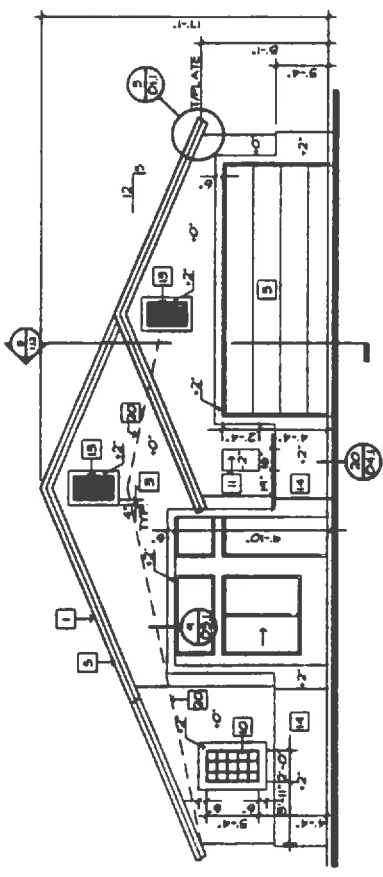
SHEA HOMES
4040 EAST CAMELBACK ROAD STE. 200
PHOENIX, ARIZONA 85018
(602) 952-1009

SCALE
1/8" = 1'-0"
DATE
FEBRUARY 22, 1996
SHEET
PLAN 201
1.11

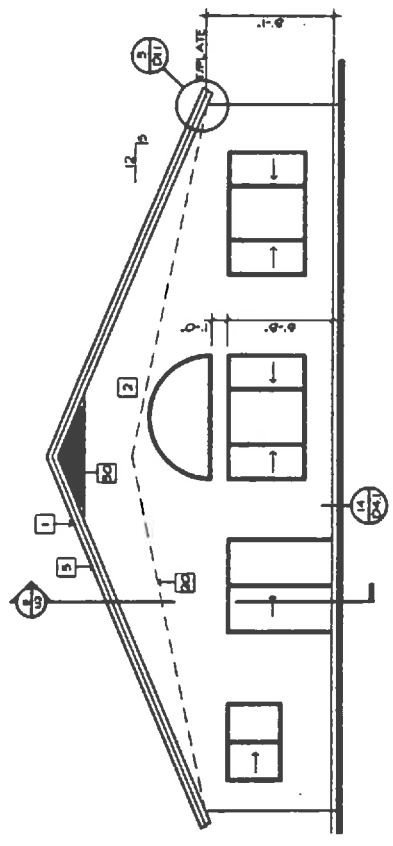
REVISIONS	
1	CITY OF GILBERT
2	REVISIONS SECTION
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ELEVATION NOTES

1. CONCRETE ROOF TILE FLAT OR 5" TYPE KERO 2013
2. PERMANENT REINFORCED STUCCO FINISH KERO 4028
3. SECTIONAL ROLL-UP GARAGE DOOR
- 4.
5. EXPOSED 2X6 R/S PASCIA
- 6.
- 7.
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- 11.
- 12.
13. 12" X 24" @ 1' SPACED 1' LOUVERED VENT
14. 2" STUCCO POP OUT
- 15.
- 16.
- 17.
- 18.
- 19.
20. LINE OF EXTERIOR TRUSS BEYOND
- 21.
- 22.
- 23.
- 24.
- 25.
- 26.
- 27.
- 28.
- 29.
30. GARBLE END VENT



FRONT ELEVATION



REAR ELEVATION

PLAN 202
LAUREL POINT

SHEA HOMES
4040 EAST CAMELBACK ROAD STE. 200
PHOENIX, ARIZONA - 85018
(602) 952-1009

SCALE
1/4" = 1'-0"
DATE
FEBRUARY 13, 1994
DRAWN BY
PLAN 202
1.9

REVISIONS
1. CITY OF LAUREL
2. SERVICE RECORD
3.
4.
5.

LAUREL POINT

PLAN 202

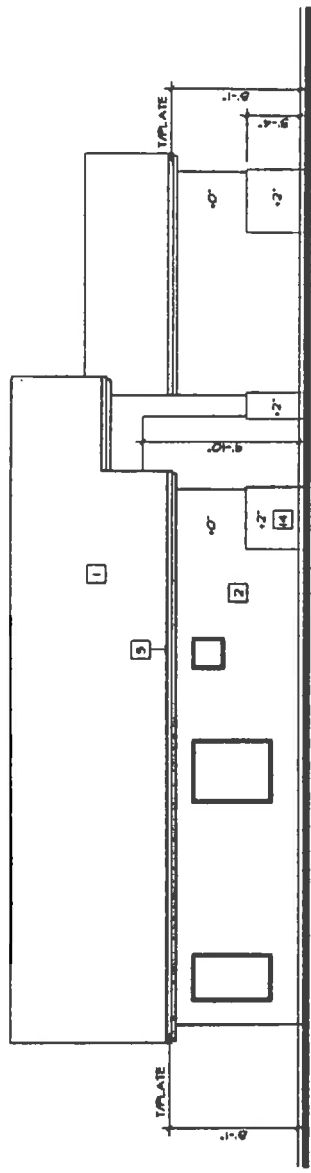
SHEA HOMES
 4040 EAST CAMELBACK ROAD STE. 200
 PHOENIX, ARIZONA 85018
 (602) 952-1009

SCALE
 1/8" = 1'-0"
 DATE
 FEBRUARY 13, 1994
 DRAWN BY
 PLAN 202
1.10
 00261.10

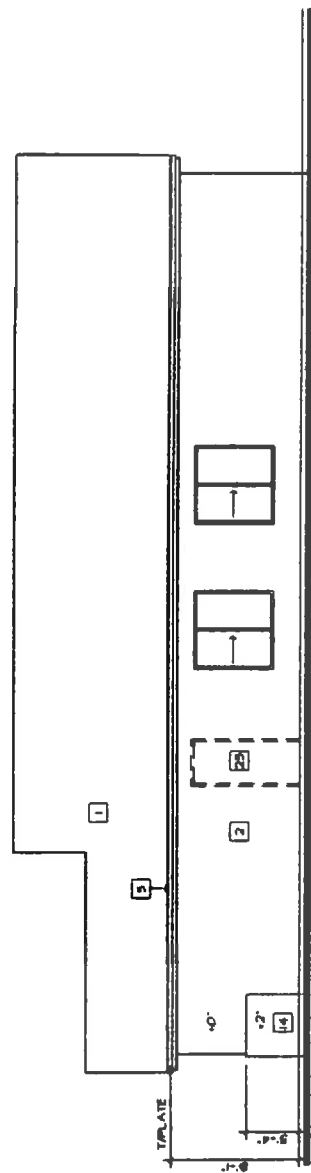
ELEVATION NOTES

1. CONCRETE ROOF TILE FLAT OR 1/2" TYPE 1 ROOF 3049
2. PERFORATED REINFORCED STUCCO FINISH 4050 4050
- 3.
- 4.
5. EXPOSED 2100 R.S. PASCIA

2" STUCCO POP OUT



LEFT SIDE ELEVATION



RIGHT SIDE ELEVATION

REVISIONS
1 CITY OF BALDWIN
2 COUNTY OF COCHISE
3
4
5

LAUREL POINT

PLAN 202

SHEA HOMES
 4040 EAST CAMELBACK ROAD STE. 200
 PHOENIX, ARIZONA 85018
 (602) 952-1009

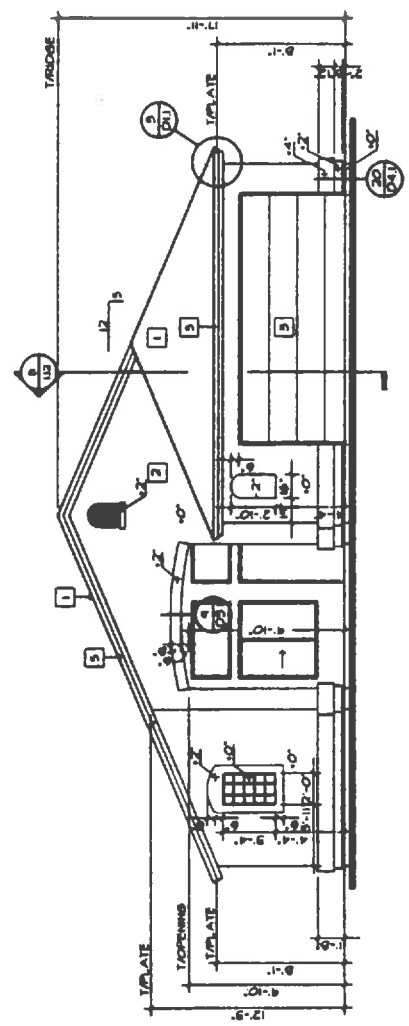
SCALE
 1/2" = 1'-0"
 DATE
 FEBRUARY 13, 1998
 DRAWN BY
 JMS
PLAN 202
1.11
 2020 3' x 4'

ELEVATION NOTES

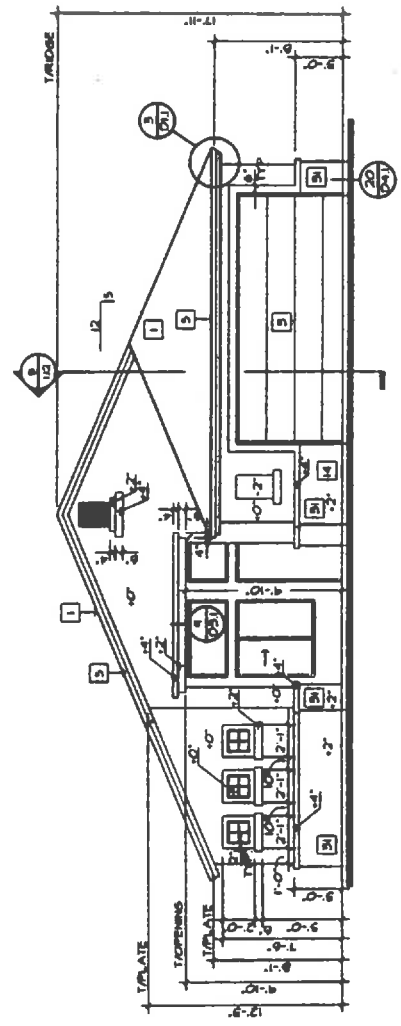
1. CONCRETE ROOF TILE FLAT OR 75° TYPED ROOF 20/10
2. PERIMETERS REINFORCED STUCCO FINISH KIDPRO 4000
3. SECTIONAL ROLL-UP GARAGE DOOR
- 4.
5. EXPOSED 2x10 R.S. FASCIA

2" STUCCO POP OUT

30. GABLE END VENT
31. OPTIONAL STONE VENEER



FRONT ELEVATION B



FRONT ELEVATION C

ELEVATION NOTES

- 1 CONCRETE ROOF TILE FLAT OR 5" TYPE LBOP 2045
- 2 FIBERGLASS REINFORCED STUCCO FRESH LBOP 4040
- 3 SECTIONAL ROLL-UP GARAGE DOOR
- 4
- 5 EXPOSED 2x4 R/S FASCIA

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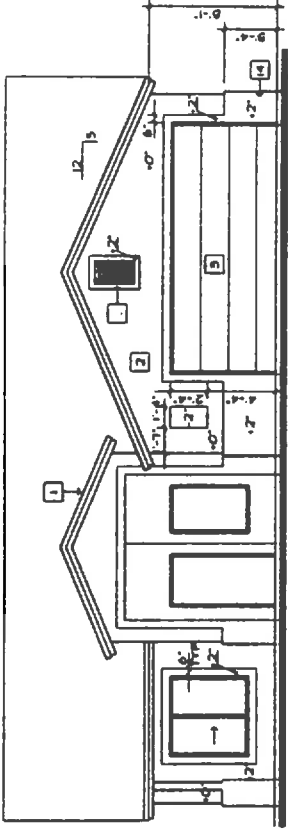
2" STUCCO POP OUT

LINE OF SHIMMER TRUSS BEYOND

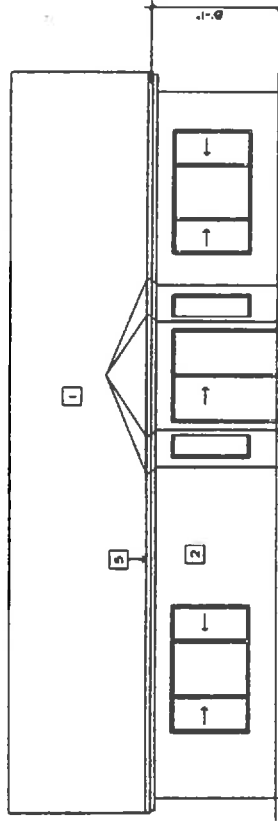
23 OPTIONAL COVERED PATIO - SEE PLAN

LINE OF CEILING AT ENTRY

SHIMMER END VENT



FRONT ELEVATION



REAR ELEVATION

REVISIONS

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PLAN 203

SHEA HOMES
4040 EAST CAMELBACK ROAD STE. 200
PHOENIX, ARIZONA 85018
(602) 952-1009

KAL

1/2" = 1'-0"

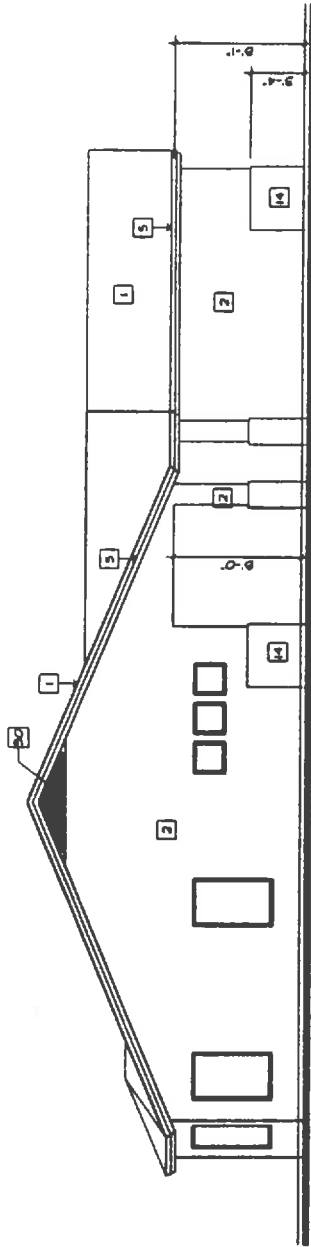
DIT

JANUARY 15 1999

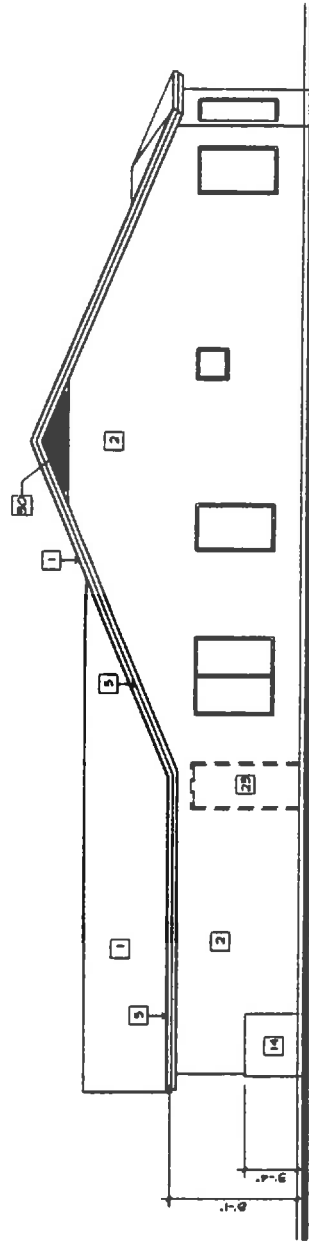
PLAN 203
1.1

ELEVATION NOTES

- 1 CONCRETE ROOF TILE FLAT OR 15° TYPED 1200P 2005
- 2 FIBERGLASS REINFORCED STUCCO FRESH 1200P 4005
- 3 SECTIONAL ROLL-UP GARAGE DOOR
- 4
- 5 EXPOSED 2x6 R.S. PARCEL
- 6
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- 10
- 11
- 12
- 13
- 14 2" STUCCO POP OUT
- 15
- 16
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- 19
- 20 LINE OF SILLING TRUSS BEYOND
- 21
- 22 OPTIONAL COVERED PATIO - SEE PLAN
- 23
- 24 LINE OF CEILING AT ENTRY
- 25
- 26
- 27
- 28
- 29
- 30 BAUBLE END VENT



LEFT SIDE ELEVATION



RIGHT SIDE ELEVATION

REVISIONS

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△	
△	
△	

PLAN 203

SHEA HOMES
4040 EAST CAMELBACK ROAD STE. 200
PHOENIX, ARIZONA 85018
(602) 952-1009

SCALE
1/8" = 1'-0"
DATE
JANUARY 15, 1994

PLAN 203
11

REVISIONS
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PLAN 204

SIENNA

SHEA HOMES

4040 EAST CAMELBACK ROAD STE. 200
PHOENIX, ARIZONA 85018
(602) 952-1009

SCALE
1/4" = 1'-0"

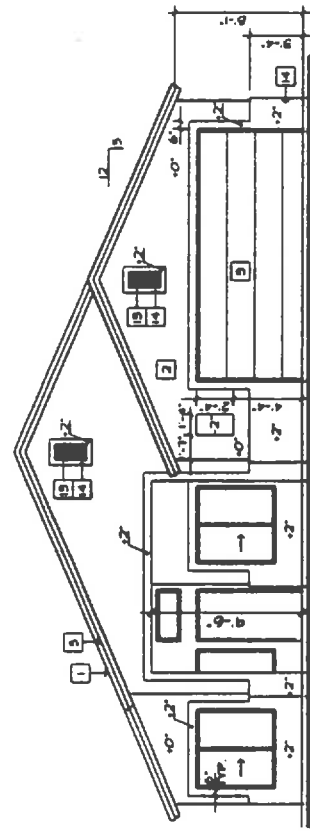
DATE
FEBRUARY 13, 1998

PROJECT
PLAN 204

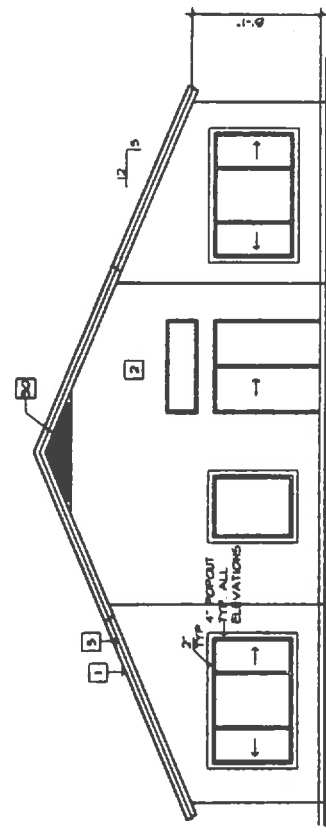
PLAN 204
19

ELEVATION NOTES

- 1 CONCRETE ROOF TILE FLAT OR 3" TYPED KEROF 204S
- 2 PERMANENT REINFORCED STEEL FISH KERO 404S
- 3 SECTIONAL ROLL-UP GARAGE DOOR
- 4
- 5 EXPOSED 2X8 R/S FASCIA
- 6
- 7
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- 10
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- 14 12" X 24" VENT SCREENED & LOUVERED
- 15 2" STEEL POP OUT
- 16
- 17
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- 29
- 30 GABLE END VENT



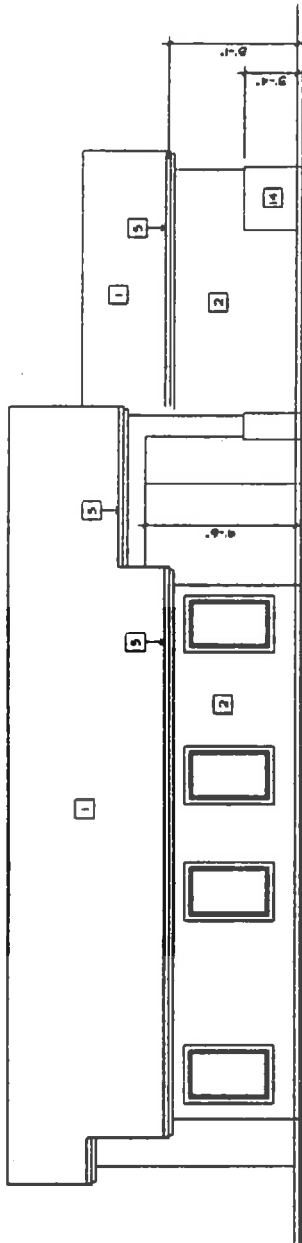
FRONT ELEVATION A



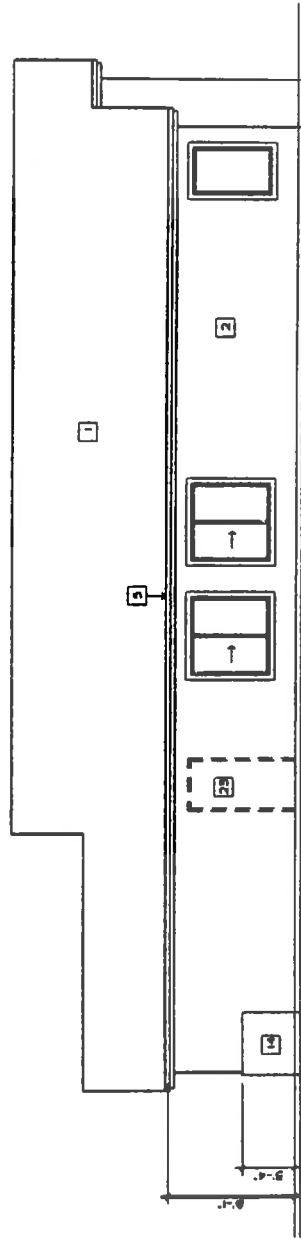
REAR ELEVATION

ELEVATION NOTES

1. CONCRETE ROOF TILE FLAT OR 1/2" TYPED ROOF 2048
2. PARANALASS REINFORCED STUCCO FINISH 4800 4888
3. SECTIONAL ROLL-UP GARAGE DOOR
- 4.
5. EMPLOYED 310 R/S PANELIA



LEFT SIDE ELEVATION



RIGHT SIDE ELEVATION

REVISIONS

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PLAN 204

SENNA

SHEA HOMES
4040 EAST CAMELBACK ROAD STE. 200
PHOENIX, ARIZONA 85018
(602) 952-1009

SCALE
1/8" = 1'-0"

DATE
FEBRUARY 13, 1995

PLAN 204

1:10

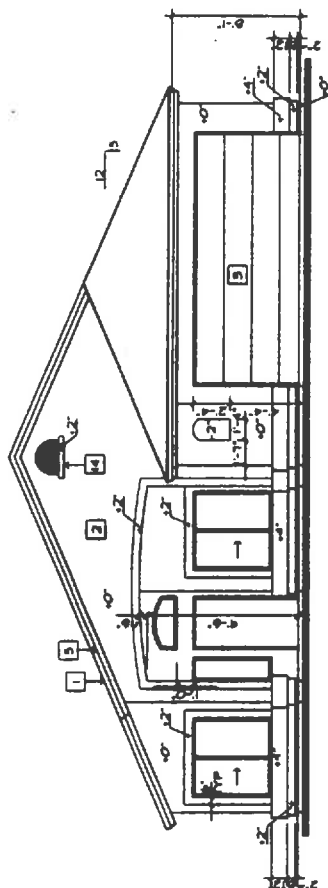
ELEVATION NOTES

- 1 CONCRETE ROOF TILE FLAT OR "S" TYPE KERO 2048
- 2 INTERLAMB REINFORCED STICCO FINISH KERO 4028
- 3 SECTIONAL ROLL-UP GARAGE DOOR
- 4 EMPLOYED 218 R.S. PASCIA

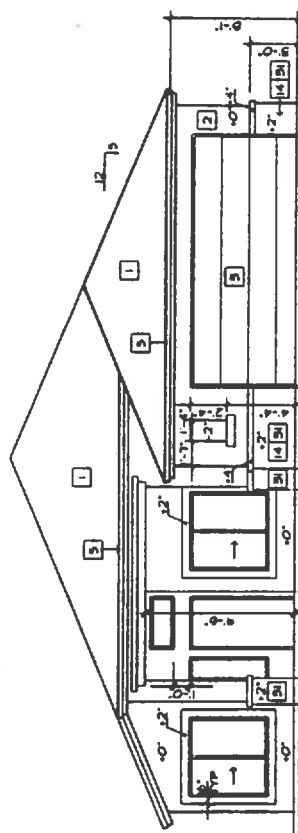
2" STICCO POP OUT

2" STICCO POP OUT

- 30 GABLE END VENT
- 31 OPTIONAL STONE VENEER



FRONT ELEVATION B



FRONT ELEVATION C

REVISIONS
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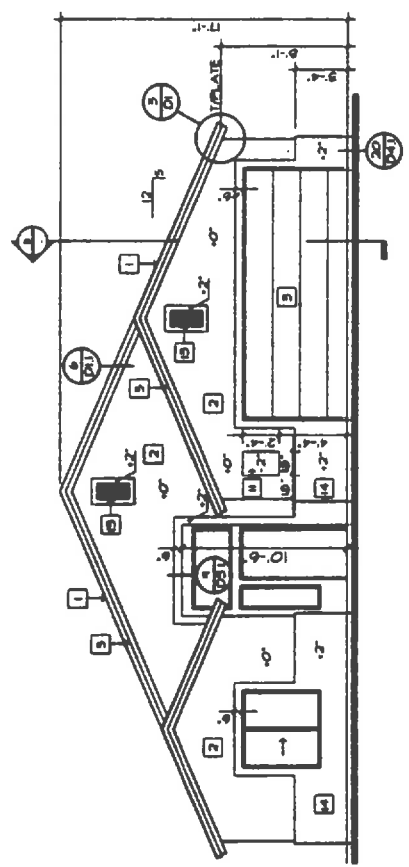
PLAN 204
SENNA

SHEA HOMES
4040 EAST CAMELBACK ROAD STE. 200
PHOENIX, ARIZONA 85018
(602) 952-1009

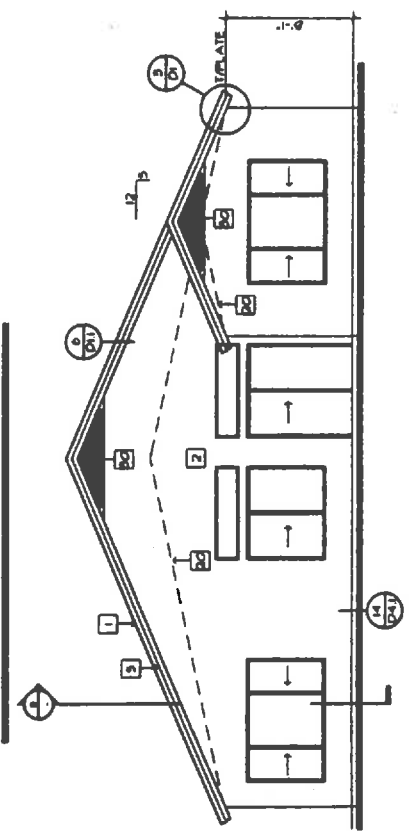
SCALE
1/8" = 1'-0"
DATE
FEBRUARY 12, 1994
DRAWN BY
PLAN 204
1.11

ELEVATION NOTES

1. CONCRETE ROOF TILE FLAT OR 7" TYPED GROUND
2. FIBERGLASS REINFORCED SHINGLE FISH KIDNEY
3. SECTIONAL ROLL-UP GARAGE DOOR
4. EXPOSED 2x6 ALD FASCIA
5. SHINGLE RIDGERS
6. 12" x 24" 6-1 SCANNED & LAMINATED VENT
7. SHINGLE POP OUT
8. LINE OF SHINGLE TRUSS BEYOND
9. OPTIONAL COVERED PATIO - SEE PLAN
10. GABLE END VENT



FRONT ELEVATION A



REAR ELEVATION

REVISIONS
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LAUREL POINT

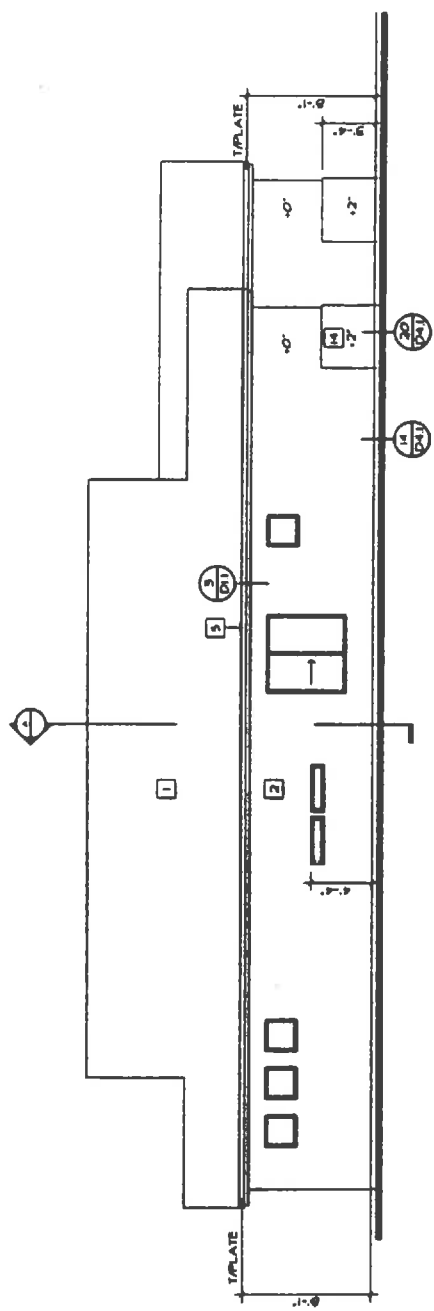
PLAN 205

SHEA HOMES
 4040 EAST CAMELBACK ROAD STE. 200
 PHOENIX, ARIZONA 85018
 (602) 952-1009

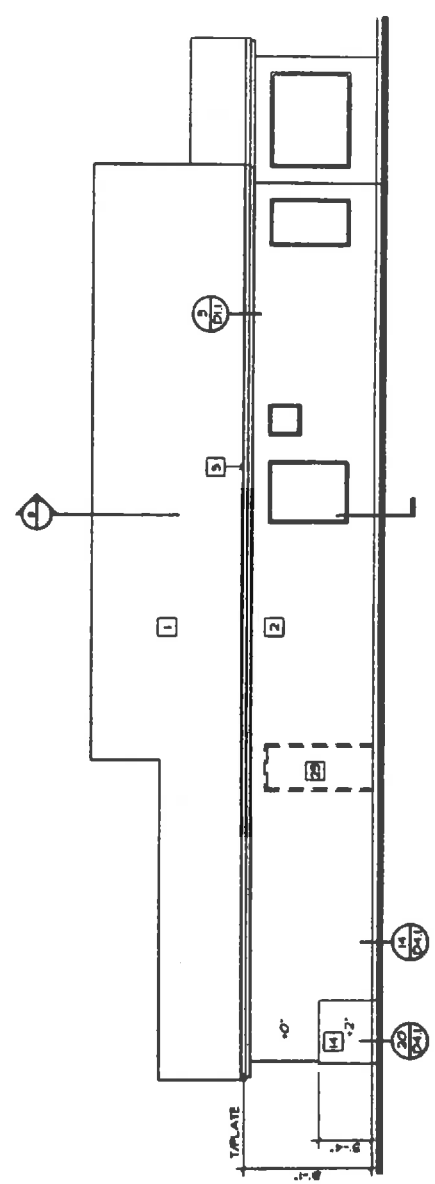
SCALE
1/8" = 1'-0"
DATE
FEBRUARY 12, 1996
BY
J.P.
PLAN 205
1.10

ELEVATION NOTES

1. CONCRETE ROOF TILE FLAT ON 3" TYPE UCBOF 2048
2. FIBERGLASS REINFORCED STUCCO FINISH UCBOF 4028
- 3.
- 4.
5. EXPOSED 2x8 R.S. PASCIA
- 6.
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14. 2" STUCCO POP OUT
- 15.
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23. LOCATION OF OPTIONAL DOOR
- 24.
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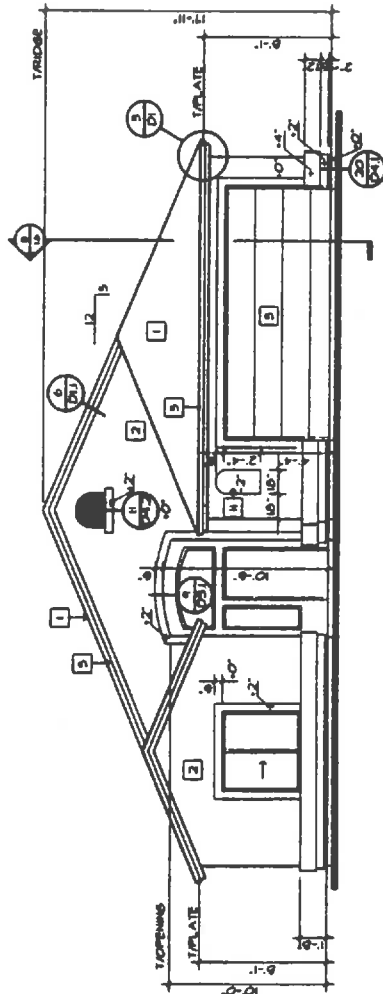
LEFT SIDE ELEVATION



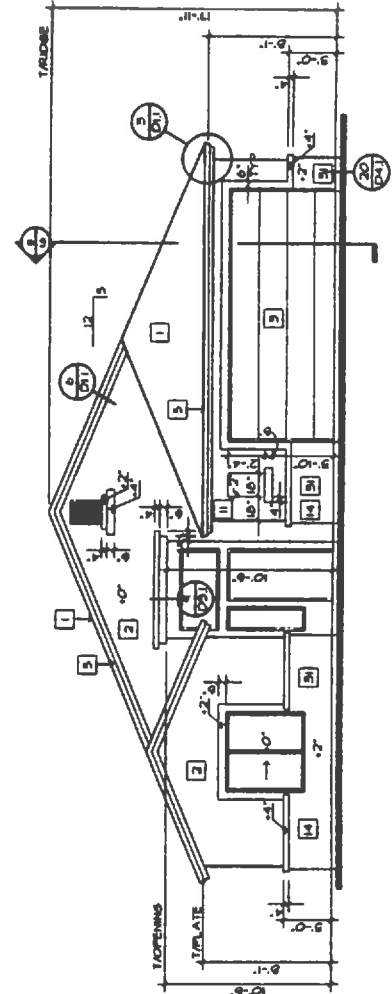
RIGHT SIDE ELEVATION

ELEVATION NOTES

1. CONCRETE ROOF TILE FLAT OR 5" TYPE K BOB 2045
2. FIBERGLASS REINFORCED STUCCO FINISH K&B&H 4655
3. SECTIONAL ROLL-UP GARAGE DOOR
4. EXPOSED 2x6 R.S. FASCIA



FRONT ELEVATION B



FRONT ELEVATION C

REVISIONS
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PLAN 205

LAUREL POINT

SHEA HOMES

4040 EAST CAMELBACK ROAD STE. 200
PHOENIX, ARIZONA 85018
(602) 952-1009

SCALE
1/8" = 1'-0"

DATE
FEBRUARY 13 1994

PLAN 205
1.11

REVISIONS
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PLAN 206
DOVE POINT

SHEA HOMES
4040 EAST CAMELBACK ROAD STE. 200
PHOENIX, ARIZONA 85018
(602) 952-1009

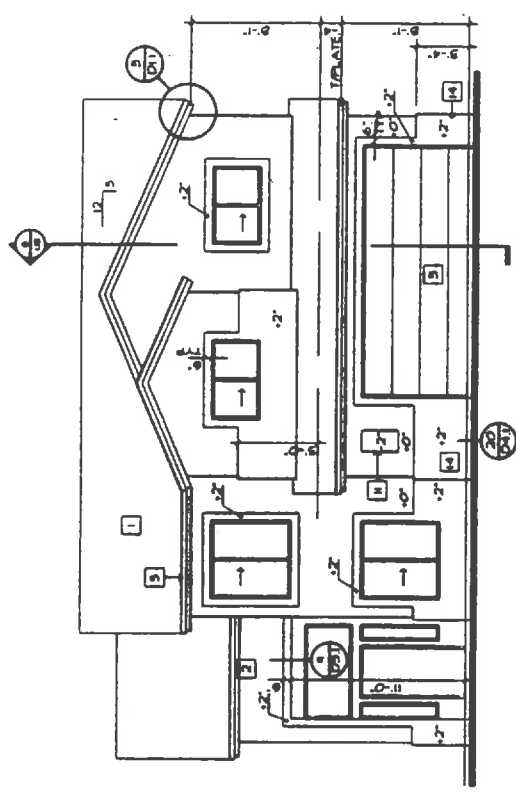
SCALE
1/8" = 1'-0"
DATE
FEBRUARY 12, 1994
DRAWN BY
PLAN 206
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ELEVATION NOTES

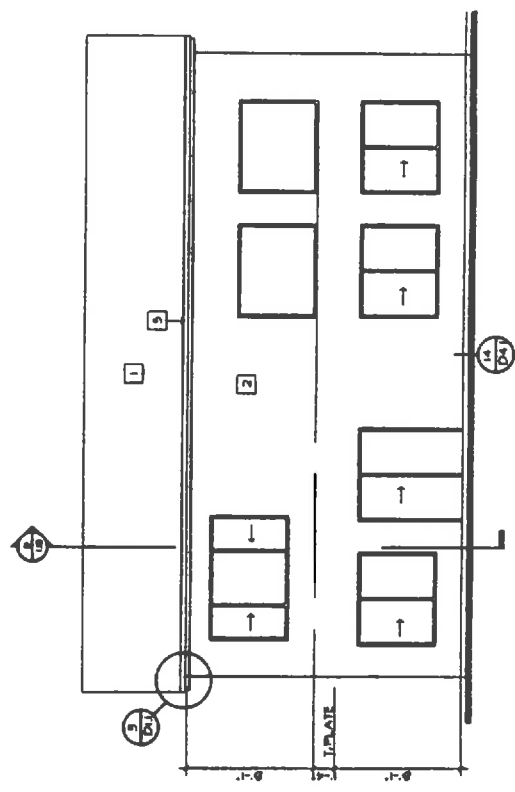
1. CONCRETE ROOF TILE FLAT OR 5' TYPE ALBO 2018
2. FIBERGLASS REINFORCED STUCCO FINISH K&B® 4050
3. SECTIONAL ROLL-UP GARAGE DOOR
- 4.
5. IMPROVED 2x6 R.L.S. FASCIA

STUCCO REQUIRED

STUCCO POP OUT



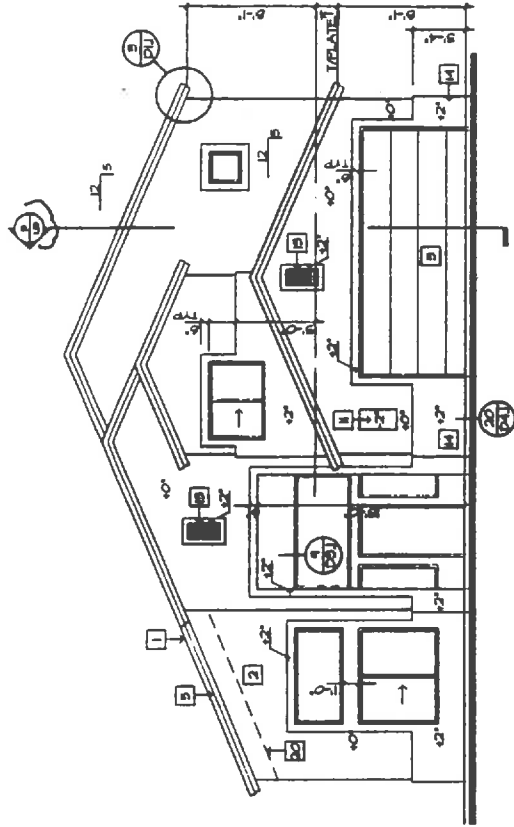
FRONT ELEVATION A



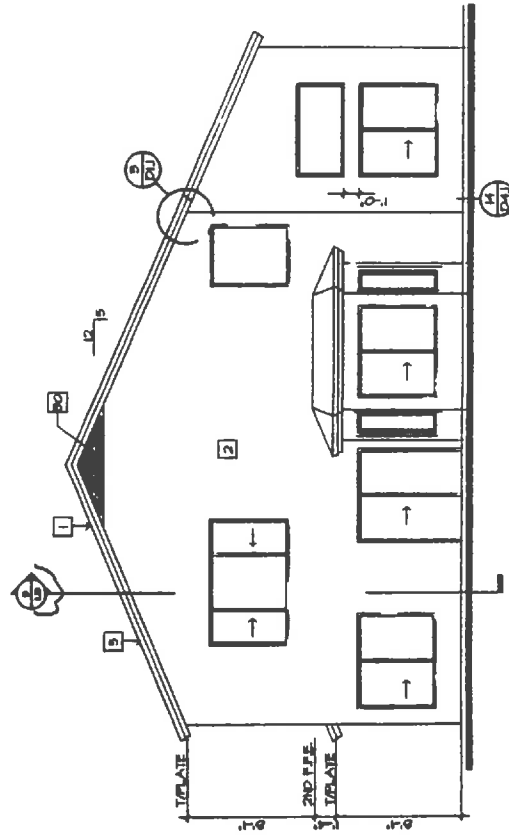
REAR ELEVATION

ELEVATION NOTES

1. CONCRETE ROOF TILE (PLAT OR N) TYPE K200 200
2. PERIMETER REINFORCED STUCCO FINISH K200 400
3. SECTIONAL ROLL-UP GARAGE DOOR
4. _____
5. EXPOSED 2X6 INS. PLYWOOD
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11. STUCCO MESHING
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13. 8" CP X 24" (H) SCREENED & LINED VENT
14. 2" STUCCO POP OUT
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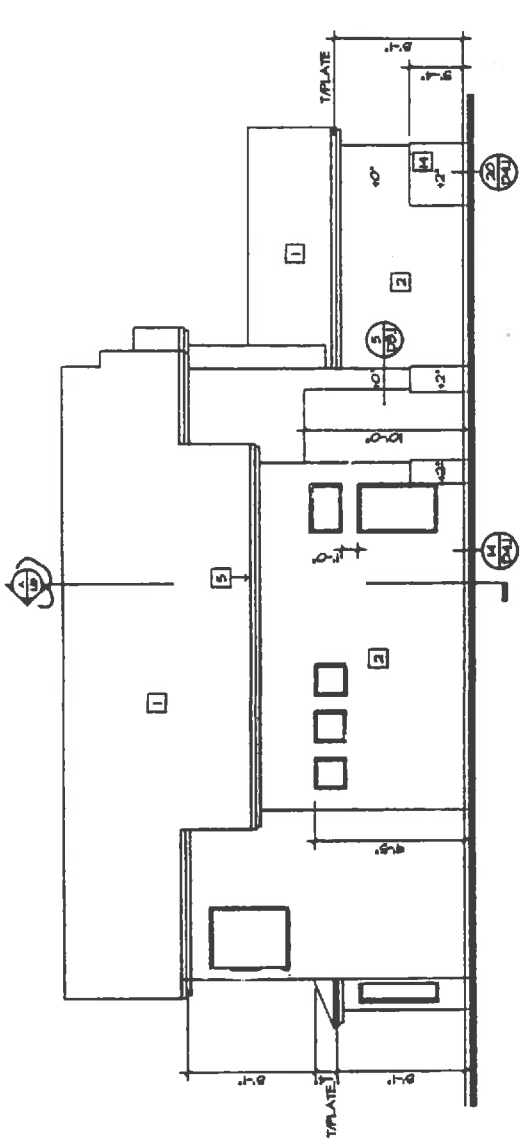


FRONT ELEVATION A

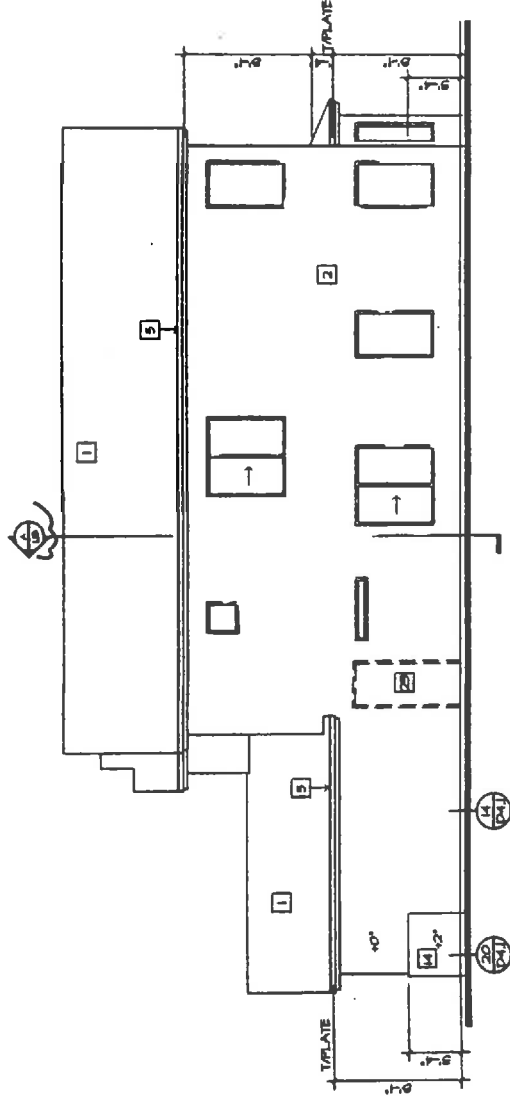
REAR ELEVATION

ELEVATION NOTES

1. CONCRETE ROOF TILE FLAT OR 1" TYPED LERO 200
2. FIBERGLASS REINFORCED STUCCO FINISH LERO 4000
3. .
4. .
5. EXPOSED 2X8 R/L P/ACIA
6. .
7. .
8. .
9. .
10. .
11. .
12. .
13. .
14. 2" STUCCO POP OUT
15. .
16. .
17. .
18. .
19. .
20. .
21. .
22. .
23. LOCATION OF OPTIONAL DOOR
24. .
25. .
26. .
27. .
28. .
29. .
30. .



LEFT ELEVATION



RIGHT ELEVATION

REVISIONS
 CITY OF GILBERT
 1/11/11
 1/11/11
 1/11/11

PLAN 207
 LAUREL POINT

SHEA HOMES
 4040 EAST CAMELBACK ROAD STE. 200
 PHOENIX, ARIZONA 85018
 (602) 952-1009

SCALE
 1/8" = 1'-0"
 DATE
 FEBRUARY 13, 1996
 DRAWN BY
 PLAN 207
 1.11

REVISIONS	
1	CITY OF ALBUQUERQUE
2	REVISIONS 02/20/04
3	
4	

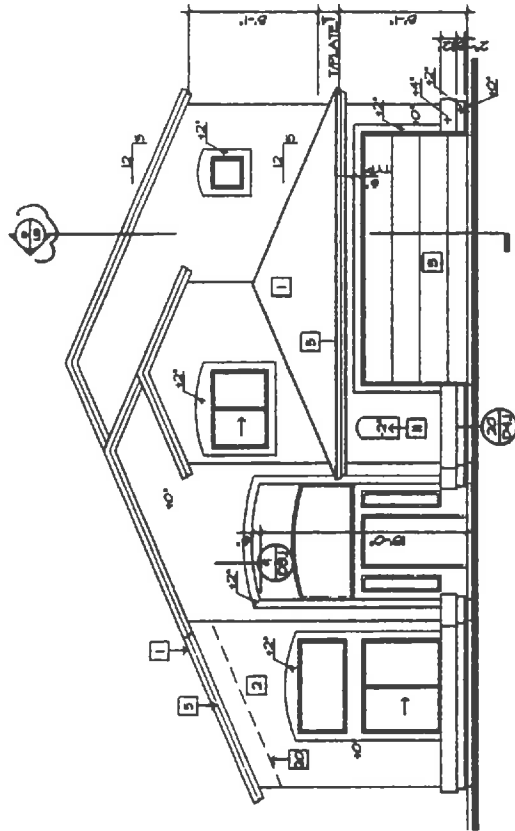
PLAN 207
LAUREL POINT

SHEA HOMES
4040 EAST CAMELBACK ROAD STE. 200
PHOENIX, ARIZONA 85018
(602) 952-1009

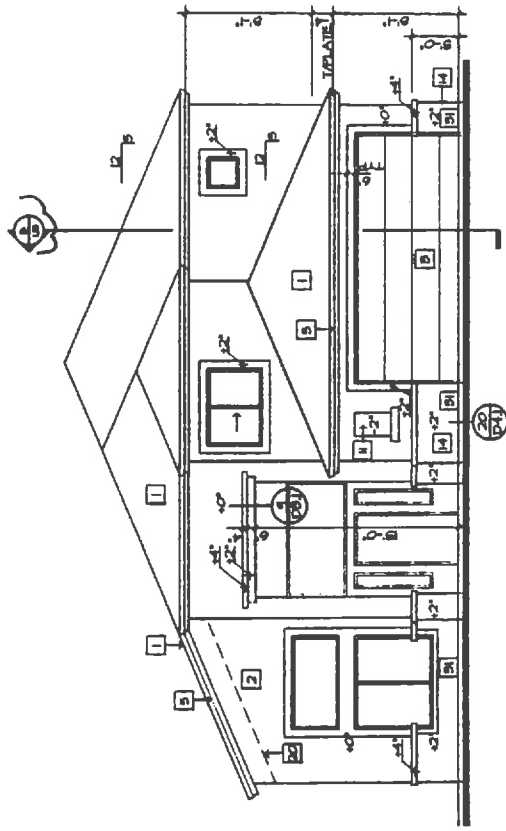
SCALE: 1/2" = 1'-0"
DATE: FEBRUARY 13, 1996
DRAWN BY: JH
PLAN 207
1.12

ELEVATION NOTES

1. CONCRETE ROOF TILE FLAT OR 3" TYPE U200 200
2. FIBERGLASS REINFORCED STUCCO FINISH KIDON 4400
3. SECTIONAL ROLL-UP GARAGE DOOR
- 4.
5. EXPOSED 2X8 R.S. FASCIA
- 6.
- 7.
- 8.
- 9.
- 10.
11. STUCCO RECESSES
- 12.
- 13.
14. 2" STUCCO POP OUT
- 15.
- 16.
- 17.
- 18.
- 19.
20. LINE OF REMOVED TRUSS BEYOND
- 21.
- 22.
- 23.
- 24.
- 25.
- 26.
- 27.
- 28.
- 29.
- 30.
31. OPTIONAL STONE VENEER



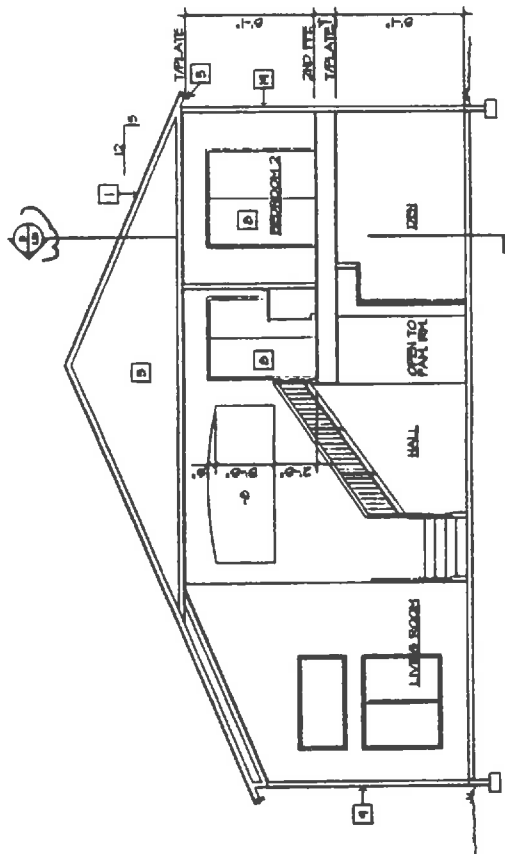
FRONT ELEVATION B



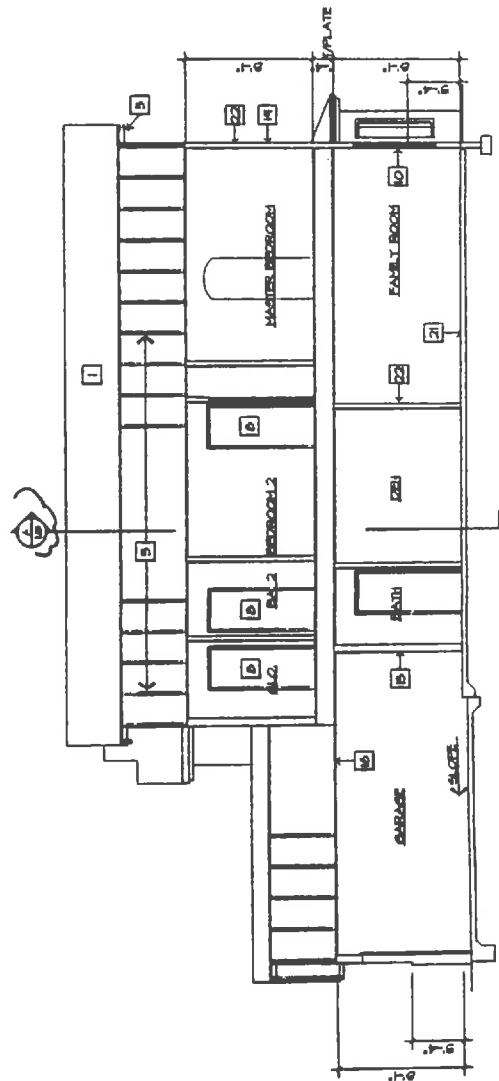
FRONT ELEVATION C

SECTION NOTES

1. ROOFING MATERIAL REFER TO ROOF PLAN
2. ROOF SHEATHING REFER TO FRAMING PLAN
3. PRESUMED ROOF TRUSSES @ 24" O.C.
4. 2" X 8 PASCIA BOARD
5. 2" X 8 PASCIA BOARD
6. 2" X 8 PASCIA BOARD
7. 2" X 8 PASCIA BOARD
8. DOOR - SEE SCHEDULE
9. 2X6 STUDS @ 16" O.C.
10. FRESH - SEE SCHEDULE
11. DOUBLE 2X4 TOP PLATE
12. 2" X 4 STUD MALL
13. 2" X 4 STUD MALL
14. 2" X 4 STUD MALL
15. 2" X 4 STUD MALL
16. GARAGE TO HOUSE WALLS 2X6 TYPE "X" STUDS. N/60 COOLER WALLS @ 8" O.C.
17. GARAGE CEILING 2X6 TYPE "X" STUDS. N/60 COOLER WALLS @ 8" O.C.
18. 2" X 4 STUD MALL
19. 2" X 4 STUD MALL
20. EXTERIOR FINISH REFER TO ELEVATIONS
21. POTSHIELD
22. CONCRETE FLOOR SLAB
23. 2" X 4 STUD MALL



BUILDING SECTION A



BUILDING SECTION B

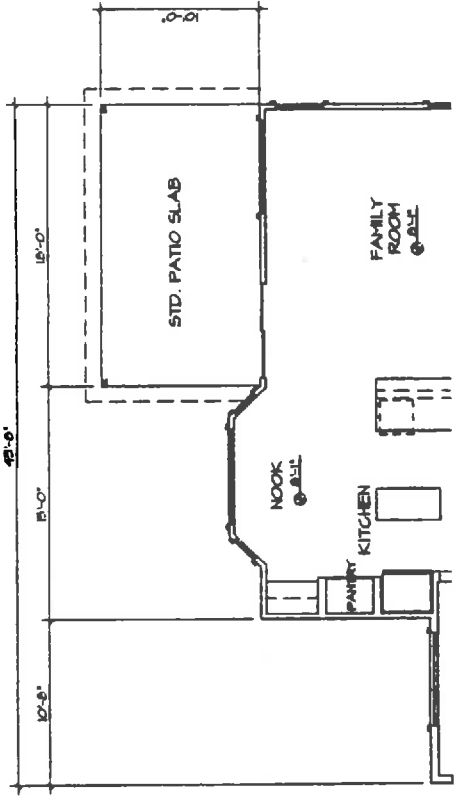
SHEA HOMES
4040 EAST CAMELBACK ROAD STE. 200
PHOENIX, ARIZONA 85018
(602) 952-1009

SCALE
1/8" = 1'-0"
DATE
FEBRUARY 12, 1992
DRAWN BY
JANUARY 28
PLAN 207
1.13
SHEA

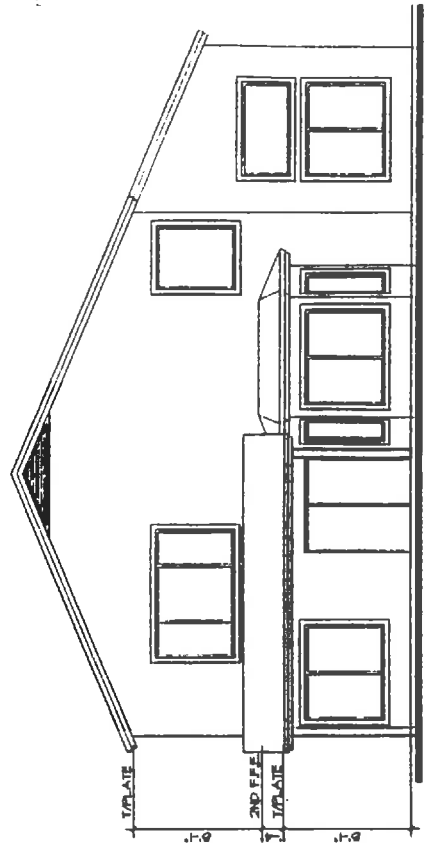
PLAN 207
LAUREL POINT

REVISIONS
1. CITY OF PHOENIX
2. REVISED SECTION
3.
4.

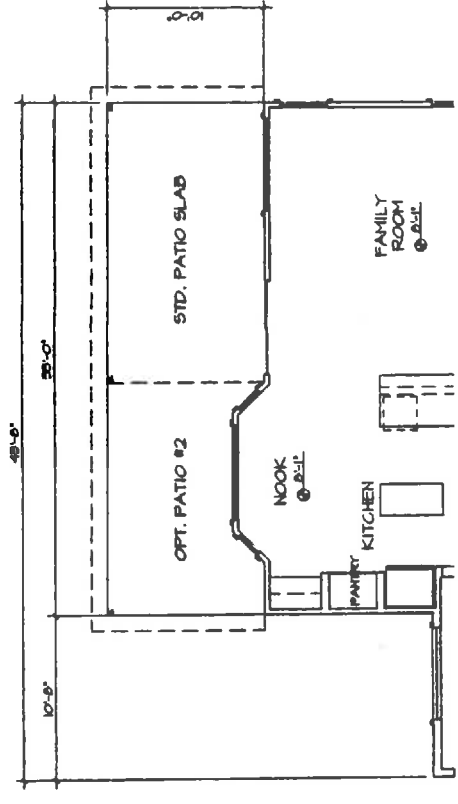
REVISIONS
7
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7



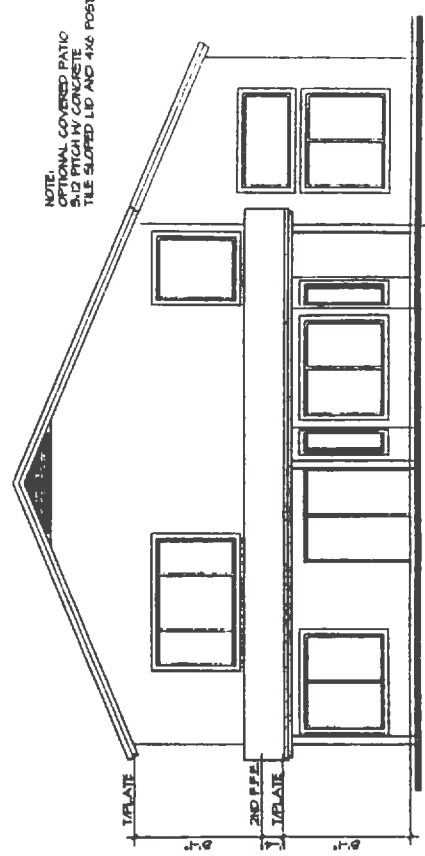
STANDARD PATIO W/ OPTIONAL COVER



STANDARD PATIO W/ OPTIONAL COVER ELEVATION



OPTIONAL PATIO #2 W/ COVER



OPTIONAL PATIO #2 W/ COVER ELEVATION

SHEA HOMES
 4040 EAST CAMELBACK ROAD STE. 200
 PHOENIX, ARIZONA 85018
 (602) 952-1009

PLAN 207
LAUREL POINT

SCALE
1/8" = 1'-0"
DATE
FEBRUARY 12, 1988
PLAN 207
103

EXCERPT

FROM THE MINUTES OF A REGULAR MEETING OF
THE COUNCIL OF THE CITY OF GLENDALE
MARICOPA COUNTY, ARIZONA, HELD AT
7:00 P.M., TUESDAY THE 9TH DAY OF JULY 1996

4. REZONING APPLICATION Z-96-14: 6800 W. ARROWHEAD LOOP ROAD

Mr. Jon Froke, Senior Planner, presented this item. This was a request by Shea Homes to rezone 45.6 acres from R1-6 (Single Residence) to R1-6 PRD (Single Residence, Planned Residential Development), and to rezone 32.9 acres from R1-6 (Single Residence) to R1-7 PRD (Single Residence, Planned Residential Development). The property is located at the northwest corner of 67th Avenue and the Arrowhead Loop Road, within the Sierra Verde at Arrowhead Ranch Development Master Plan.

The property includes two recorded subdivisions which are currently under development in Sierra Verde (formerly Tierra Verde). "Sienna" includes 175 lots on 45.6 acres at a density of 3.8 dwelling units per acre. Lot sizes range from 6,600 to 18,000 square feet with an average lot size of 8,570 square feet. The smallest lot is 60'x 110'. This is shown as Parcel "D" on the development master plan and the request was for R1-6 PRD zoning. "Ventana" includes 100 lots on 32.8 acres at a density of 3 dwelling units per acre. Lot sizes range from 7,700 to 26,000 square feet with an average lot size of 8,600 square feet. The smallest lot is 70'x 110'. This is shown as Parcel "G" on the development master plan and the request was for R1-7 PRD zoning.

After final plat approval, the applicant realized that the existing R1-6 zoning would make it difficult to accommodate some of their newly-designed and upgraded product line. The applicant proposes to use a PRD Overlay to establish custom development standards. Parcel "G" will also be rezoned to R1-7 which is more characteristic of the approved plat. No other change will be made to the existing subdivisions.

The changes to the development standards are as follows:

1. Forty-five (45%) percent lot coverage instead of 40%.
2. Varied front yard setbacks of 18-21 feet instead of 15 feet to living area and 20 feet to garage.
3. A 5-foot patio covering "in the 20-foot minimum rear yard."
4. A minimum distance of 10 feet between building on adjacent lots instead of 15 feet. The side yard setbacks will remain 5 feet and 10 feet.

The Planning Commission unanimously recommended approval of this application, subject to three stipulations on May 23, 1996.

The recommendation was to conduct a public hearing, consider the issues, and determine if the proposal meets the required findings for PRD approval. If the Council decided to approve

EXCERPT OF COUNCIL MINUTES

July 9, 1996

Z-96-14

Page 2

Z-96-14, the approval should be subject to the three stipulations recommended by the Planning Commission.

It was moved by Ewing, and seconded by Lieberman, to approve Rezoning Application Z-96-14, subject to the stipulations recommended by the Planning Commission, except with regard to an amendment to Stipulation No. 3. The stipulations are as follows:

1. Development shall be in substantial conformance with the PRD Plan for Tierra Verde at Arrowhead Ranch, Parcel "D" and "G", dated May 8, 1996.
2. A maximum of 275 lots shall be permitted.
3. The R1-6 and R1-7 development standards shall be amended as shown in the PRD Plan for Sierra Verde at Arrowhead Ranch Parcels "D" and "G", dated May 8, 1996 with the following exception:
 - a) A minimum fifteen (15) foot building separation shall be required on adjacent lots, except between corner lots and the adjacent lot where a minimum of ten (10) foot building separation shall be required.

The motion carried unanimously.



JOHN GITZEN

July 11, 1996

SABINO

Mr. N. Kelly House
Shea Homes
4040 E. Camelback Road
Phoenix, AZ 85018

Dear Kelly,

Subject: CITY COUNCIL APPROVAL OF REZONING APPLICATION Z-96-14

At their regularly-scheduled meeting of July 9, 1996, the Glendale City Council unanimously approved the rezoning application Z-96-14, located at 6800 West Arrowhead Loop Road within Sierra Verde at Arrowhead Ranch. The City Council's approval was subject to the following three stipulations:

1. Development shall be in substantial conformance with the PRD Plan for Sierra Verde at Arrowhead Ranch, Parcel "D" and "G," dated May 8, 1996.
2. A maximum of 275 lots shall be permitted.
3. The R1-6 and R1-7 development standards shall be amended as shown in the PRD Plan for Sierra Verde at Arrowhead Ranch parcels "D" and "G," dated May 8, 1996 with the following exception:
 - a) A minimum fifteen (15) foot building separation shall be required on adjacent lots except between corner lots and the adjacent lot where a minimum ten (10) foot building separation shall be required.

Parcel "D" is now zoned R1-6 PRD and Parcel "G" is now zoned R1-7 PRD. These parcels are subject to the stipulations noted above and the provisions contained within the PRD Plan submitted as part of this application. Please call me at 930-2800 if you have any questions regarding the City Council's approval.

Sincerely,

Jon Froke
Senior Planner
Community Development Group

JF/kl PL620.96



3

CURVE TABLE

UNSUBDIVIDED
PARCEL F-SINGLE FAMILY

EXIST. 40' RIGHT-OF-WAY AND
NO GRASSY LITERARY EASEMENTS

SE. COR. SEC. 24

T.4 N., R.I.E.
M.C.H.D. B.C. IN H.H.

SHEET 2 OF 3

VENTANA - FINAL PLAY -

C.V.L. JOB# 950135
P-95-13

BOOK 412 PAGE 26
OFFICIAL RECORDS OF
HARTFORD COUNTY RECORDS
96-0194145
03/22/96 02:10



NE COR SEC 24
T.4 N. R.1 E.
PD. M.C.H.D. B.C. IN H.H.
W/COR SEC.19
T.4 N. R.2 E.
PD. B.C. IN H.H.



MATCH SHEET 2



SHEET 3 OF 3
COE & VAN LOO
SURVEYORS
1000 WEST STREET
HARTFORD, CT 06102

VENTANA - FINAL PLAT -
C.V.L. 009# 950135
P-95-13

SIERRA VERDE PARCEL "G"

Z-96-14

DEVELOPMENT STANDARDS

SINGLE FAMILY

(70' and 75' x 110')

SABINO

- (a) Lot area. There shall be not less than seven thousand seven hundred (7,700) square feet of lot area per each residence unit. The minimum lot shall be seventy (70) feet in width and one hundred ten (110) feet in depth as measured at the setback line.
- (b) Lot coverage. The main building and all accessory buildings or structures on a lot shall not occupy more than forty-five (45%) percent of the total lot area.
- (c) Front yard. There shall be a front yard having a depth that will vary from eighteen (18) feet to twenty-one (21) feet from the face of the garage door to the property line. Wherever possible, and in most cases, adjacent lots shall not have the same setback.
- (d) Side yards.

1. On interior lots, there shall be two side yards, one of which shall be not less than ten (10) feet in width, and the other not less than five (5) feet in width. A fireplace, bay window, media niche, etc. can encroach two and one half (2 1/2) feet into the 10' sideyard only. Ground mounted mechanical equipment may be located within the sideyard setbacks. There shall be a minimum separation of ten (10) feet between buildings on adjacent lots.
2. On a corner lot, a ten (10) foot side yard shall be maintained on the street side of the lot, for the entire depth of the lot.

- (e) Rear yard. There shall be a rear yard having a depth of not less than twenty (20) feet. A patio cover can extend as much as five (5) feet into the rear yard.
- (f) Height. No building shall exceed a height of two (2) stories or thirty (30) feet.
- (g) Accessory buildings shall not exceed fifteen (15) feet in height.
- (h) Maximum height of an amateur radio tower is seventy-five (75) feet.
- (i) Any accessory building or structure, unless otherwise permitted, must maintain a minimum of ten (10) feet from the principal building or any other accessory structure.

- (j) All other development standards, unless specifically identified above, shall be consistent with the provisions of the R1-6 Zoning District as identified in the Glendale Zoning Ordinance.

7/9/96

APPROVED PLAN

COMMUNITY DEVELOPMENT

CITY OF GLENDALE

BY CITY COUNCIL,
SUBJECT TO 3 STRIPS.

3791

191

3982.